



PLANNING AND ZONING COMMISSION MEETING

Tuesday, November 25, 2025 • 7:00 p.m.

West Branch City Council Chambers, 110 N. Poplar St.

Council Quorum May Be Present

<https://zoom.us/j/5814699699>

or dial in phone number 1-312-626-6799 with Meeting ID 581 469 9699

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
 - a. Approve minutes from the October 14, 2025 meeting.
4. Public Hearing/Non-Consent Agenda. /Move to action.
 - a. Review and Approve Site Plan for the Pickleball Court to be placed at Cubby Park / Move to Action.
 - b. Review and Approve Site Plan for Parkside Partners, Lot 1./ Move to Action
5. Discussion
6. City Staff reports
7. Comments from Chair and Commission Members
8. Next regular Planning & Zoning Commission meeting Tuesday, January 27, 2025
9. Adjourn

Planning & Zoning Commission Members: Chair John Fuller, Vice Chair Ryan Bowers, Brad Bower, Matt Van Scoyoc, Madison Conley, Emilie Walsh, Ryan Foley • **Zoning Administrator:** Terry Goerdts
Mayor: Roger Laughlin • **Council Members:** Mike Horihan, Colton Miller, Jodee Stoolman, Jerry Sexton, Tom Dean
City Administrator: Adam Kofoed **City Clerk:** Alycia Horras • **Fire Chief:** Kevin Stoolman • **Police Chief:** Greg Hall
• **Public Works Director:** Matt Goodale

City of West Branch Planning & Zoning Commission Meeting
October 14, 2025
West Branch City Council Chambers, 110 North Poplar Street

Chair John Fuller called the (Special) Planning & Zoning Commission meeting to order at 7:00 p.m.

Commission members present: John Fuller, Ryan Bowers, Matt Van Scoyoc, Brad Bower

Madison Conley arrived at 7:03pm

Council members present: Mayor Roger Laughlin

Absent: Emile Walsh, Ryan Foley

City Staff present: City Administrator, Adam Kofoed, Zoning Administrator, Terry Goerdts, City Engineer, Dave Schechinger, Fire Chief Kevin Stoolman

APPROVE AGENDA/CONSENT AGENDA/MOVE TO ACTION.

Motion by Fuller, second by Bowers to add Emily Wash as an attendant to last meetings minutes.

Motion approved 4-0

APPROVE MINUTES/MOVE TO ACTION.

Motion by Van Scoyoc, second by Bower. Motion approved 4-0

PUBLIC HEARING/NON-CONSENT AGENDA

- a. Review and Approve Site Plan for Nordex Parking Lot expansion – 155 Faucet Drive / Move to Action.

Fuller noticed a revised vegetation plan. Engineer Chris said there are trees in every island and bushes between the islands on the exterior. Bowers asked if engineer was okay with drawings and Kofoed confirmed. Van Scoyoc asked about if city was okay with sewer easement. Mayor Laughlin said yes. Motioned by Bower, second by Bowers. Motion approved 5-0

Comments from Chair and Commission Members

Inspector Goerdts summarized upcoming building permits going well for multifamily but slow for single member. Would like to amend the ordinance. Kofoed mentioned public surveys will be coming out in the next month or two for the comprehensive plan. Laughlin mentioned Parkside Reimagined passed which comes with a hotel space, some commercial space, and up front money for park and water needs.

Adjourn

Motion by Bower, second by Conley to adjourn the Planning & Zoning Commission meeting. Motion carried on a voice vote. The meeting adjourned at 7:12 p.m.

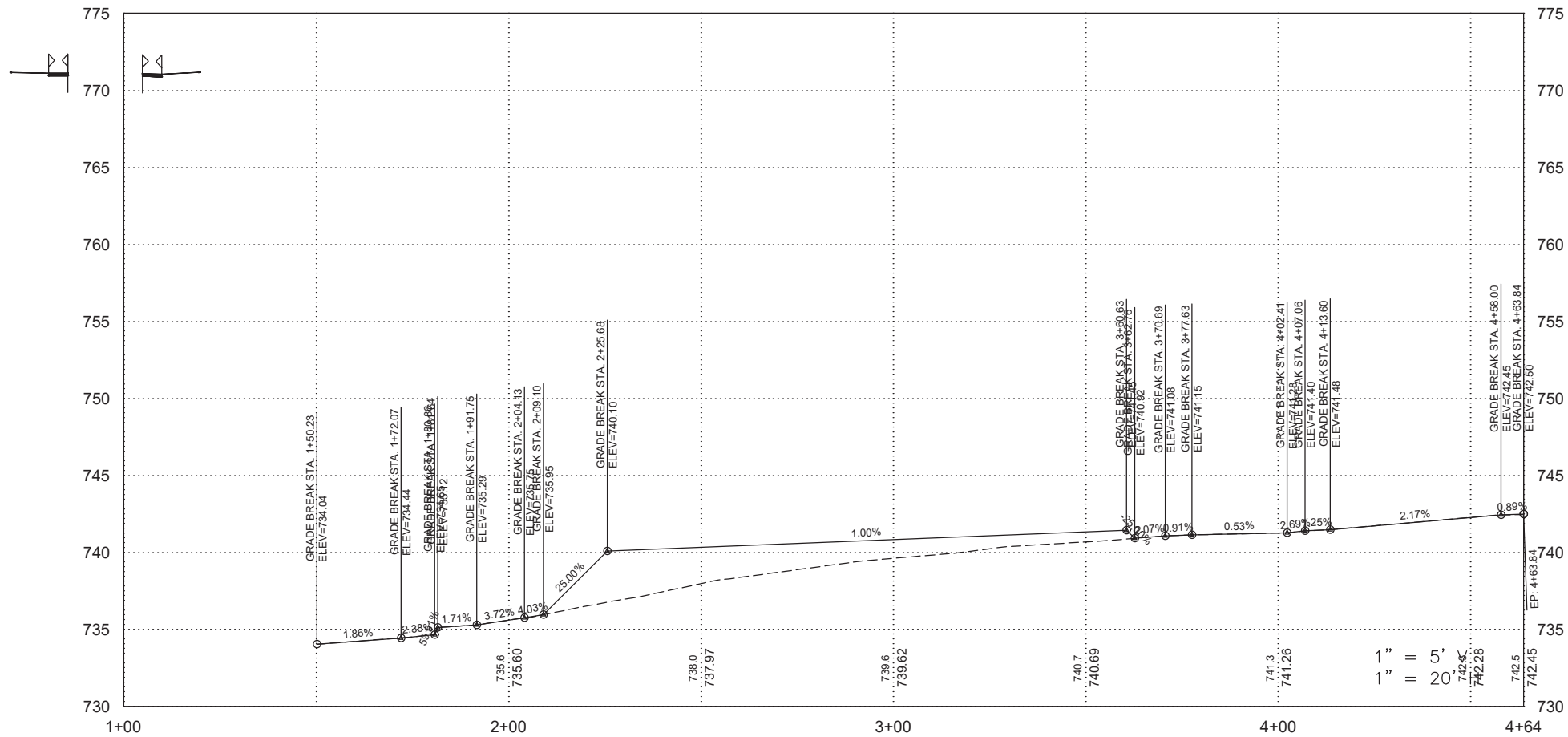
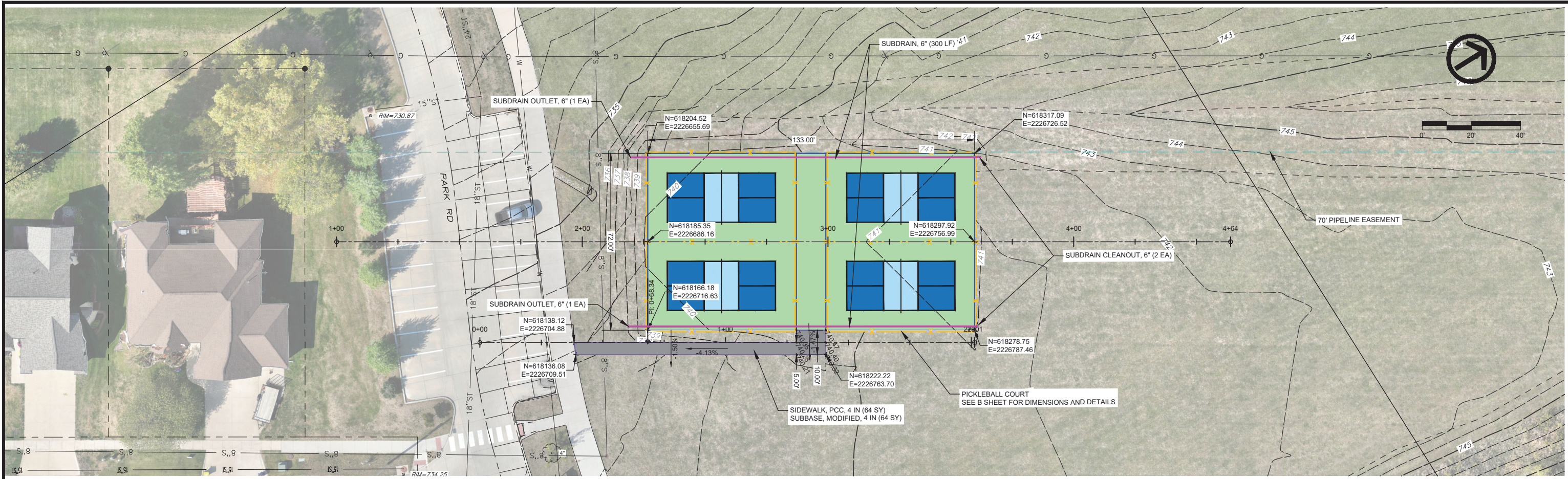
Submitted by:

Adam Kofoed

City Administrator

PLOTTED: Tuesday, November 4, 2025 3:23:39 PM

X-REFS: 368328 Design & 368328 Topo & 368312 WB Surveyed Prop Lines & 368328 Aerial
FILE PATH: c:\vshare\0300\0368-West_Branch\0368-0328_Cubby_Park_Pickleball_Ct_Consult\Plans\Drawings\CADD_Prod\Drawings\ID PLAN AND PROFILE.dwg



DATE	REVISIONS	SCALE	AS NOTED	CUBBY PARK PICKLEBALL COURT CITY OF WEST BRANCH 2600 University Parkway, Suite 1 • Coralville, Iowa 52241 319-466-1000 • 319-466-1008(FAX) • 1-800-241-8000		PLAN AND PROFILE D.01		SHEET NO. D.01	
		DRAWN	CAP						
		CHECKED	XXX						
		APPROVED	XXX						
		DATE	2025.11.04						
		ISSUED FOR	CONCEPT					PROJECT 368328	





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
09-08-2025	CHANGED TO 7 TOTAL LOTS PER JDM - RLW

FINAL PLAT

PARKSIDE HILLS
5TH ADDITION

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

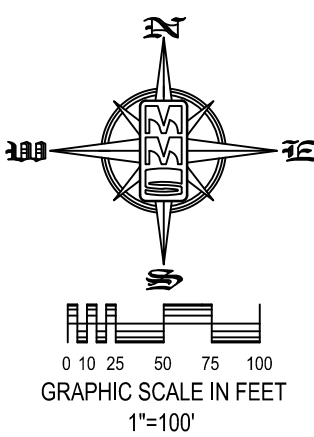
Date:	07-24-2025
Designed by:	JDM
Field Book No:	1239,1336
Drawn by:	RLW
Scale:	1"=100'
Checked by:	RRN
Sheet No:	1
Project No:	12148-004
of:	1

FINAL PLAT

PARKSIDE HILLS - 5TH ADDITION

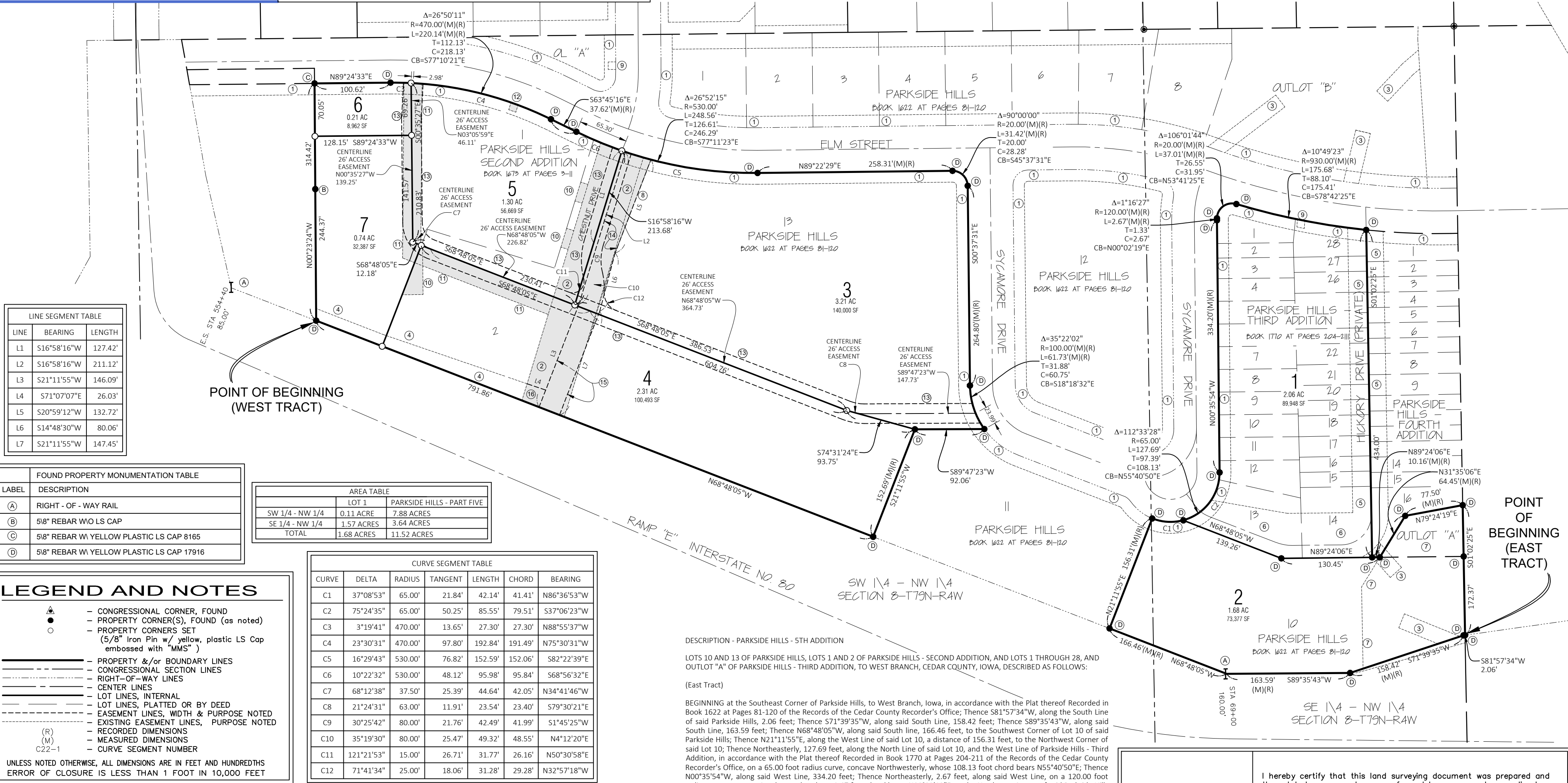
A RESUBDIVISION OF LOTS 10, 11, AND 13 OF PARKSIDE HILLS, LOTS 1 AND 2 OF PARKSIDE HILLS - SECOND ADDITION, LOTS 1 THROUGH 28, AND OUTLOT "A" OF PARKSIDE HILLS - THIRD ADDITION

WEST BRANCH, CEDAR COUNTY, IOWA



LOCATION: LOTS 10, 11, AND 13 OF PARKSIDE HILLS, LOTS 1 AND 2 OF PARKSIDE HILLS - SECOND ADDITION, LOTS 1 THROUGH 28, AND OUTLOT "A" OF PARKSIDE HILLS - THIRD ADDITION, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 79 NORTH, RANGE 4 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA,	SUBDIVIDER: GENESIS DEVELOPMENT GROUP 32 HUMMINGBIRD LANE IOWA CITY, IOWA 52245-9258
LAND SURVEYOR: RICHARD R. NOWOTNY P.L.S. MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	SUBDIVIDER'S ATTORNEY: JAMES D. HOUGHTON 568 HIGHWAY #1 WEST IOWA CITY, IOWA 52246
	PROPRIETOR OR OWNER: PARKSIDE PARTNERS LLC 32 HUMMINGBIRD LANE IOWA CITY, IOWA 52245-9258
	DOCUMENT RETURN INFORMATION: LAND SURVEYOR

FOR COUNTY RECORDER'S USE



LINE	BEARING	LENGTH
L1	S16°58'16"W	127.42'
L2	S16°58'16"W	211.12'
L3	S21°11'55"W	146.09'
L4	S71°07'07"E	26.03'
L5	S20°59'12"W	132.72'
L6	S14°48'30"W	80.06'
L7	S21°11'55"W	147.45'

LABEL	FOUND PROPERTY MONUMENTATION TABLE
(A)	RIGHT - OF - WAY RAIL
(B)	5/8" REBAR W/O LS CAP
(C)	5/8" REBAR W/ YELLOW PLASTIC LS CAP 8165
(D)	5/8" REBAR W/ YELLOW PLASTIC LS CAP 17916

AREA TABLE			
	LOT 1	PARKSIDE HILLS - PART FIVE	
SW 1/4 - NW 1/4	0.11 ACRE	7.88 ACRES	
SE 1/4 - NW 1/4	1.57 ACRES	3.64 ACRES	
TOTAL	1.68 ACRES	11.52 ACRES	

LEGEND AND NOTES	
	CONGRESSIONAL CORNER, FOUND
	PROPERTY CORNER(S), FOUND (as noted)
	PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	EASEMENT LINES, WIDTH & PURPOSE NOTED
	EXISTING EASEMENT LINES, PURPOSE NOTED
	RECORDED DIMENSIONS
	MEASURED DIMENSIONS
	CURVE SEGMENT NUMBER
UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS ERROR OF CLOSURE IS LESS THAN 1 FOOT IN 10,000 FEET	

PLAT/PLAN APPROVED by the City of West Branch	
Mayor	Date:
City Clerk	Date:
UTILITY EASEMENTS, AS SHOWN HEREON, ARE ADEQUATE FOR THE INSTALLATION AND MAINTENANCE OF THE FACILITIES REQUIRED BY THE FOLLOWING AGENCIES:	
ALLIANT ENERGY	Date:
LIBERTY COMMUNICATIONS	Date:
MEDIACOM	Date:

CURVE SEGMENT TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
C1	37°08'53"	65.00'	21.84'	42.14'	41.41'	N86°36'53"W
C2	75°24'35"	65.00'	50.25'	85.55'	79.51'	S37°06'23"W
C3	3°19'41"	470.00'	13.65'	27.30'	27.30'	N88°55'37"W
C4	23°30'31"	470.00'	97.80'	192.84'	191.49'	N75°30'31"W
C5	16°29'43"	530.00'	76.82'	152.59'	152.06'	S82°22'39"E
C6	10°22'32"	530.00'	48.12'	95.98'	95.84'	S68°56'32"E
C7	68°12'38"	37.50'	25.39'	44.64'	42.05'	N34°41'46"W
C8	21°24'31"	63.00'	11.91'	23.54'	23.40'	S79°30'21"E
C9	30°25'42"	80.00'	21.76'	42.49'	41.99'	S1°45'25"W
C10	35°19'30"	80.00'	25.47'	49.32'	48.55'	N4°12'20"E
C11	121°21'53"	15.00'	26.71'	31.77'	26.16'	N50°30'58"E
C12	71°41'34"	25.00'	18.06'	31.28'	29.28'	N32°57'18"W

LABEL	EASEMENT IDENTIFICATION TABLE
①	EXISTING 1500 FOOT PUBLIC UTILITY EASEMENT
②	EXISTING 6000 FOOT ACCESS AND UTILITY EASEMENT (TO BE VACATED)
③	EXISTING 1000 FOOT STORM SEWER AND DRAINAGE EASEMENT
④	EXISTING STORM SEWER AND DRAINAGE EASEMENT
⑤	EXISTING 4700 FOOT WIDE ACCESS AND UTILITY EASEMENT
⑥	EXISTING ACCESS AND UTILITY EASEMENT
⑦	EXISTING STORM WATER DETENTION EASEMENT
⑧	EXISTING SANITARY SEWER EASEMENT (TO BE VACATED)
⑨	EXISTING 1000 X 1000 FOOT MAIL BOX EASEMENT
⑩	EXISTING INGRESS AND EGRESS EASEMENT (TO BE VACATED)
⑪	EXISTING 1400 FOOT WIDE INGRESS AND EGRESS EASEMENT
⑫	EXISTING 1000 X 1000 FOOT MAIL BOX EASEMENT (TO BE VACATED)
⑬	26.00 FOOT WIDE ACCESS EASEMENT
⑭	SANITARY SEWER AND STORM SEWER EASEMENT
⑮	29.00 FOOT SANITARY SEWER, STORM SEWER, AND DRAINAGE EASEMENT
⑯	STORM SEWER AND DRAINAGE EASEMENT
	HATCHED EASEMENTS TO BE VACATED

DESCRIPTION - PARKSIDE HILLS - 5TH ADDITION

LOTS 10 AND 13 OF PARKSIDE HILLS, LOTS 1 AND 2 OF PARKSIDE HILLS - SECOND ADDITION, AND LOTS 1 THROUGH 28, AND OUTLOT "A" OF PARKSIDE HILLS - THIRD ADDITION, TO WEST BRANCH, CEDAR COUNTY, IOWA, DESCRIBED AS FOLLOWS:

(East Tract)

BEGINNING at the Southeast Corner of Parkside Hills, to West Branch, Iowa, in accordance with the Plat thereof Recorded in Book 1622 at Pages 81-120 of the Records of the Cedar County Recorder's Office; Thence S81°57'34"W, along the South Line of said Parkside Hills, 2.06 feet; Thence S71°39'35"W, along said South Line, 158.42 feet; Thence S89°35'43"W, along said South Line, 163.59 feet; Thence N68°48'05"W, along said South Line, 166.46 feet, to the Southwest Corner of Lot 10 of said Parkside Hills; Thence N21°11'55"E, along the West Line of said Lot 10, a distance of 156.31 feet, to the Northwest Corner of said Lot 10; Thence Northeasterly, 127.69 feet, along the North Line of said Lot 10, and the West Line of Parkside Hills - Third Addition, in accordance with the Plat thereof Recorded in Book 1770 at Pages 204-211 of the Records of the Cedar County Recorder's Office, on a 65.00 foot radius curve, concave Northwesterly, whose 108.13 foot chord bears N55°40'50"E; Thence N00°35'54"W, along said West Line, 334.20 feet, along said West Line, on a 120.00 foot radius curve, concave Southeasterly, whose 2.67 foot chord bears N00°02'19"E, to the Northwest Corner of said Parkside Hills - Third Addition; Thence Northeasterly, 37.01 feet, along the North Line of said Parkside Hills - Third Addition, on a 20.00 foot radius curve, concave Southeasterly, whose 31.95 foot chord bears N53°41'25"E; Thence Southeasterly, 175.68 feet, along said North Line, on a 930.00 foot radius curve, concave Northeasterly, whose 175.41 foot chord bears S78°42'25"E, to the Northwest Corner of Parkside Hills - Fourth Addition, in accordance with the Recorded Plat thereof; Thence S01°02'25"E, along the West Line of said Parkside Hills - Fourth Addition, 434.00 feet, to the Southwest Corner of said Parkside Hills - Fourth Addition; Thence N89°24'06"E, along the South Line of said Parkside Hills - Fourth Addition, 10.16 feet; Thence N31°35'06"E, along said South Line, 64.45 feet; Thence N79°24'19"E, along said South Line, 77.50 feet, to the Southeast Corner thereof, and the Northeast Corner of Outlot "A", of said Parkside Hills - Third Addition; Thence S01°02'25"E, along the East Line of said Outlot "A", and the East Line of Lot 10, of said Parkside Hills, 172.37 feet, to the POINT OF BEGINNING. Said East Tract contains 3.75 Acres, and is subject to easements and restrictions of record.

AND ALSO:

(West Tract)

BEGINNING at the Southwest Corner of Parkside Hills - Second Addition, to West Branch, Iowa, in accordance with the Plat thereof Recorded in Book 1673 at Pages 3-11 of the Records of the Cedar County Recorder's Office; Thence N00°23'24"W, along the West Line of said Parkside Hills - Second Addition, 314.42 feet, to the Northwest Corner of said Parkside Hills - Second Addition; Thence N89°24'33"E, along the North Line of said Parkside Hills - Second Addition, 100.62 feet; Thence Southeasterly, 220.14 feet, along said North Line, on a 470.00 foot radius curve, concave Southwesterly, whose 218.13 foot chord bears S77°10'21"E; Thence S63°45'16"E, along said North Line, 37.62 feet; Thence Southeasterly, 248.56 feet, along said North Line, and the North Line of Lot 13, of Parkside Hills, in accordance with the Plat thereof Recorded in Book 1622 at Pages 81-120 of the Records of the Cedar County Recorder's Office, on a 530.00 foot radius curve, concave Northeasterly, whose 246.29 foot chord bears S77°11'23"E; Thence N89°22'29"E, along said North Line of Lot 13, a distance of 258.31 feet, to the Northeast Corner of said Lot 13; Thence Southeasterly, 31.42 feet, along the East Line of said Lot 13, on a 20.00 foot radius curve, concave Southwesterly, whose 28.28 foot chord bears S45°37'31"E; Thence S00°37'31"E, along said East Line, 264.80 feet; Thence Southeasterly, 61.73 feet, along said East Line, on a 100.00 foot radius curve, concave Northeasterly, whose 60.75 foot chord bears S18°18'32"E; Thence S89°47'23"W, along said East Line, 92.06 feet; Thence S21°11'55"W, along said East Line, 152.69 feet, to the Southeast Corner of said Lot 13; Thence N68°48'05"W, along the South Line of said Lot 13, and south Line of said Parkside Hills - Second Addition, 791.86 feet, to the POINT OF BEGINNING. Said West Tract contains 7.77 Acres, and is subject to easements and restrictions of record.

Parkside Hills - Part Five contains 11.52 Acres, and is subject to easements and restrictions of record.

	I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa. RICHARD R. NOWOTNY P.L.S. Iowa Lic. No. 17916 My license renewal date is September 31, 20 ____. Pages or sheets covered by this seal: _____
SEAL	

Signed before me this ____ day of _____, 20____.
Notary Public, in and for the State of Iowa.

165.11 PERMITTED OBSTRUCTION IN REQUIRED YARDS.

The following obstructions, when located in the minimum area required for specified yards, shall be permitted.

1. In all yards:

- A. Chimneys projecting 18 inches or less into the yard;
- B. Flag poles;
- C. Ordinary projections of sills, belt courses, cornices and ornamental features projecting not more than 18 inches into a yard;
- D. Ornamental light standards;
- E. Steps which are necessary for access to permitted buildings or for access to lots from streets and required exterior fire escapes;
- F. Fences, hedges, and walls (see Section [165.43](#) for requirements);
- G. Retaining walls (see Section [165.43](#) and requirements specific to Retaining Walls in [165.43\(7\)](#)).

2. In front yards:

- A. Fuel pumps and air and water outlets in conjunction with automobile service stations, provided they shall be set back at least 15 feet from the front lot line;
- B. One-story bay windows projecting three feet or less into the yard;
- C. Open terraces not over four feet above the average level of the adjoining ground and not projecting over 10 feet into a yard, but not including permanently roofed-over terraces or porches;
- D. Signs and nameplates, as regulated therein.
- E. In all residential districts there shall be a minimum front yard required for that particular zoning district in this chapter; provided, however, that where lots comprising 30 percent or more of the frontage within 200 feet of either side lot line are developed with buildings at a greater or lesser setback than stated in said particular zoning district, the front yard requirement for an undeveloped lot shall be the average of these building setbacks. In computing the average setback, buildings located on reverse corner lots or entirely on the rear half of lots shall not be counted. However, in no case shall the required front yard setback exceed 50 feet.

F. Uncovered patios and decks constructed two feet (2') or less above grade must be set back at least ten feet (10') from any front or street-side lot line and set back at least two feet (2') from any alley right of way. Uncovered patios and decks constructed more than two feet (2') above grade must be set back at least ten feet (10') from any front or street-side lot line.

3. In rear yards:

- A. Air-conditioning condensers for central air conditioning units;
- B. Arbors and trellises;
- C. Balconies of not more than five feet into the required yard;
- D. Breezeways and open porches;
- E. Private garage;
- F. One-story bay windows projecting three feet or less into the yard;
- G. Overhanging roof eaves and gutters, provided eaves and gutters of detached accessory buildings are not less than two feet from a lot line;
- H. Open terraces not over four feet above the average level of the adjoining ground, but not including permanently roofed-over terraces or porches;
- I. Open accessory off-street parking spaces;
- J. Playground and laundry-drying equipment;
- K. Private swimming pools and tennis courts;
- L. Sheds, tool rooms or similar buildings customarily accessory to the principal use.
- M. Satellite dish.

N. Uncovered patios and decks constructed two feet (2') or less above grade no rear setback is required. Uncovered patios and decks constructed more than two feet (2') above grade must be set back at least five feet (5') from any rear lot line.

4. Side yards:

- A. Open accessory off-street parking spaces;
- B. Overhanging eaves and gutters projecting 24 inches or less into the yard;
- C. Air-conditioning condenser for air-conditioner units.

D. Uncovered patios and decks constructed two feet (2') or less above grade no side setback is required. Uncovered patios and decks constructed more than two feet (2') above grade must be set back at least five feet (5') from any side lot line.

ORDINANCE AMENDMENT 2025-02

AN ORDINANCE TO AMEND THE ZONING ORDINANCE CHAPTER 165 SECTION 165.12: PER SENATE FILE 592 07/01/2025

Be It Enacted by the City Council of the City of Durant, Iowa:

Section 1 : Modified Chapter 165 section 165.12 to 165.12A for Accessory Buildings. And:

Adding Section 165.12 (B) Accessory Dwelling Units per Senate File 592 : A minimum of one accessory dwelling unit on the same lot as a single-family residence is hereby allowed, with the following conditions (written and directed by Senate File 592 07/01/2025; State of Iowa Code Section 331.301)

- (1) An accessory dwelling unit shall comply with all applicable building regulations as defined in Chapter 103A of the Code of Iowa.
- (2) An accessory dwelling unit shall not exceed one thousand square feet, or fifty percent of the size of the single-family residence, whichever is larger.
- (3) An accessory dwelling unit shall be prohibited or limited only to the extent that a state historic building code restriction, as adopted by a city in accordance with section 103A.43, subsection 3, a deed restriction, or a rule of a common interest community, as defined in section 499C.1, limits or prohibits the construction or use of an accessory dwelling unit. The imposition of an ordinance, motion, resolution, or amendment regulating accessory dwelling units that is more restrictive when applied to a common interest community than when applied to a single-family residence is prohibited.
- (4) If a manufactured home as defined in section 435.1, subsection 3, or a mobile home as defined in section 435.1 subsection 5, is used as an accessory dwelling unit, the manufactured home or mobile home shall be converted to a real property by being placed on a permanent foundation and assessed for real estate taxes pursuant to section 435.26.
 - (b) Except as otherwise provided in paragraph “a” or by state law, a city shall not impose any of the following limitations or restrictions:
 - (1) Requirements related to the placement or appearance of an accessory dwelling unit that are more restrictive than those imposed on a single-family residence including but not limited to the following: maximum building heights; minimum setback requirements; minimum lot sizes; minimum building frontages; maximum lot coverages; density requirements; and aesthetic or architectural standards or requirements. Additionally, a city shall not require an accessory dwelling unit to match the exterior design, roof pitch, or finishing matters of the single-family residence.
 - (2) Regulations on the use of an accessory dwelling unit as a rental property that are more restrictive than those provided for in subsections 9 and 16 of this section, section 414.1, subsection 1, paragraph “e” and chapter 562A.

- (3) A requirement that the lot containing a single-family residence and an accessory unit have additional parking beyond that required for a single-family residence or payment of a fee in lieu of providing additional parking.
- (4) Restrictions on the occupancy of either the single-family residence or the accessory dwelling unit by any of the following manners: requiring the property owner to be a resident; requiring a familial, marital or employment relationship to exist between the occupants of the single-family residence and the occupants of the accessory dwelling unit; or restricting the occupancy of an accessory dwelling unit based on income or age.
- (5) A requirement of new or separate utility lines between the accessory dwelling unit and public utility service connections. However, if full utility access that includes a separate metering system for the billing purposes cannot be provided to the accessory dwelling unit, then the city can require new or separate utility lines.
- (6) Imposition of a different city impact fee structure or development standard for an accessory dwelling unit than those used for a single-family residence on the same lot.
- (7) The requirement of improvements or repairs to public streets or sidewalks beyond those imposed on the single-family residence on the same lot.

(c) A city shall approve an accessory dwelling unit permit application that meets the requirements set forth in paragraph “a” and by the state law without discretionary review or hearing and consistent with the time frame assigned to the approval of a single-family residence. An Accessory dwelling unit permit application shall not have a review timeline or schedule in excess of a city’s normal review schedule for a single-family residence. If the city denies an accessory dwelling unit permit, the reason for denial shall be provided in writing to the applicant and include any remedy necessary to secure approval.

(d) A city ordinance, motion, resolution, or amendment regulating accessory dwelling units in a manner that conflicts with this subsection is void. Nothing in this subsection prohibits a city from adopting and ordinance, motion, resolution or amendment that is more permissive than the requirements provided in this subsection.

(e.) For the purposes in this subsection:

- (1) Accessory dwelling unit means an additional residential dwelling unit located on the same lot as a single-family residence that is either attached to or detached from the single-family residence.
- (2) Detached includes being part of an accessory structure such as a detached garage.
- (3) Dwelling unit means the same as defined in section 562A.6, subsection 3.
- (4) Single family residence means the same as defined in section 562A.6 subsection 15 except to the extent that a single-family residence may share utility lines with the accessory dwelling unit if full utility access that includes a separate

metering system for billing purposes can be provided to the accessory dwelling unit.

Section 2. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional

Section 3. This ordinance shall be in full force and effect from and after it’s passage and publication as provided by law.

Section 4. That the City Clerk is hereby authorized and directed to cause certified copies of this ordinance, to be properly filed in the office of the County Recorder.

Scott Spengler, Mayor

ATTEST: I, Deana Cavin, City Clerk of the City of Durant, Iowa, hereby certify that the above and forgoing is a true copy of an ordinance passed by the City Council of said City at a meeting held _____ 2025, and published as provided by law in the _____ on _____ 2025.

Deana Cavin, City Operations Officer/Clerk

1st reading _____
2nd reading _____
3rd reading _____



November 21, 2025

Adam Kofoed
City Administrator
City of West Branch
110 N. Poplar Street
West Branch, Iowa 52358

**PARKSIDE HILLS - 5TH ADDITION - LOT 1
SITE PLAN REVIEW**

We have reviewed the Site Plan for Parkside Hills - 5th Addition - Lot1 for conformance with the City of West Branch Site Plan Ordinance and Design Standards. Based on our review, we offer the following comments:

1. Indicate if lighting will be included in the carport area.
2. Parking requirement table lists 18 two bedroom units with 27 spaces required. Correct table to show 36 spaces required for two bedroom units and 81 spaces for total parking required. (noted that 99 spaces provided exceeds 81 spaces required)
3. The northeast building FFE is shown at 740.45. The adjacent grade in the northeast corner is shown to be 731.87. The proposed grade slopes down from the building at 25%. The sidewalk directly east of the corner of the building is proposed at elevation 728.31. The visual appearance in that short distance will be a steep slope to a concrete wall that is 8.6 feet tall to the first floor. The building is proposed to be 3 stories with an overall height above FFE of approximately 40 feet. The building peak will be roughly 52 feet above the sidewalk elevation in this location. The building foundation will be 8.6 feet above grade and roughly 4 feet below grade in the northeast corner. The aesthetics and building height are of concern in this area.
4. Grading on the southwest corner of the 9-plex buildings will need to address drainage. Proposed grading plans show adjacent grade higher than the building and roughly 3' above FFE.

5. The site plan does not show roof drain lines for the buildings. With the short distance and steep slopes, erosion and icing on walkways are of concern.
6. Confirm that additional mailbox units will be installed in the mailbox cluster easement on the north side of the lot.
7. Confirm that each unit will be metered separately and a utility room accessible to public works will be provided.
8. Indicate if there will be secured access to the building and if a Knox Box will be installed on each building.

Should you have any questions or comments, please contact us at 319-466-1000.

VEENSTRA & KIMM, INC.



Dave Schechinger

SITE PLAN APPLICATION

Applicant Information:

Name: _____

Address: _____
Street or PO Box # City State Zip Code

Phone: _____ Email: _____

Additional Contact:

Name: _____

Phone: _____ Email: _____

Property Owner (if other than applicant):

Name: _____

Address: _____
Street or PO Box # City State Zip Code

Phone: _____ Email: _____

Property Information:

Address (if no address, list name of closest streets): _____

Assessor's Parcel # (Attach Legal Description): _____

Current Zoning: _____

During the review process, the Planning and Zoning Commission or City Staff may visit the property. Please sign here if the property owner does not wish to allow Commission or Staff to enter onto the property.

X _____

Signature of Applicant

Date

Submittal deadline: 14 days prior to next regularly scheduled Planning and Zoning Commission meeting.

Site Plan Application Fee: \$200.00. Special Meeting Request fees are \$150.00 per meeting.

*Additional costs that may be charged include: Public Hearing publishing costs, Engineer and Attorney fees, and mailing costs. Applicant will be billed for additional costs and must be paid before Site Plan Application will proceed.

Include with this application:

- ☐ 1 complete copy of this application form.
- ☐ Detailed Site Plan – The site plan shall contain all the information required by Sections 173.04 and 173.06 unless otherwise waived by the Zoning Administrator. Submit 5 copies of site plan and associated documents, no larger than 11 x 17 or email Acrobat “PDF” files of all materials to leslie@westbranchiowa.org for distribution.
- ☐ Other information deemed necessary by the City Staff for the review of the proposed project

For Staff Use:

- _____ Date application received - includes detailed site plan
- _____ Date complete application forwarded to Planning & Zoning Commission, Mayor, City Council, City Engineer , City Attorney, Fire Chief, Public Works Director and Zoning Administrator
- _____ Date of Pre-application conference
- _____ Date comments / recommendations received from City Engineer
- _____ Date comments / recommendations received from Zoning Administrator
- _____ Date of next Planning & Zoning Commission meeting, application must be received at least 14 days prior to the P & Z meeting
- _____ Date of second Planning & Zoning Commission meeting
- _____ Date Planning & Zoning approved Site Plan
- _____ Date of City Council meeting to approve Site Plan (approved by Planning & Zoning)
- _____ Action taken by City Council Approve Deny
- _____ Date applicant notified of City Council decision

Miscellaneous Information:

Signature of City Official

Date



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

OVERALL LAYOUT PLAN

PARKSIDE HILLS - 5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

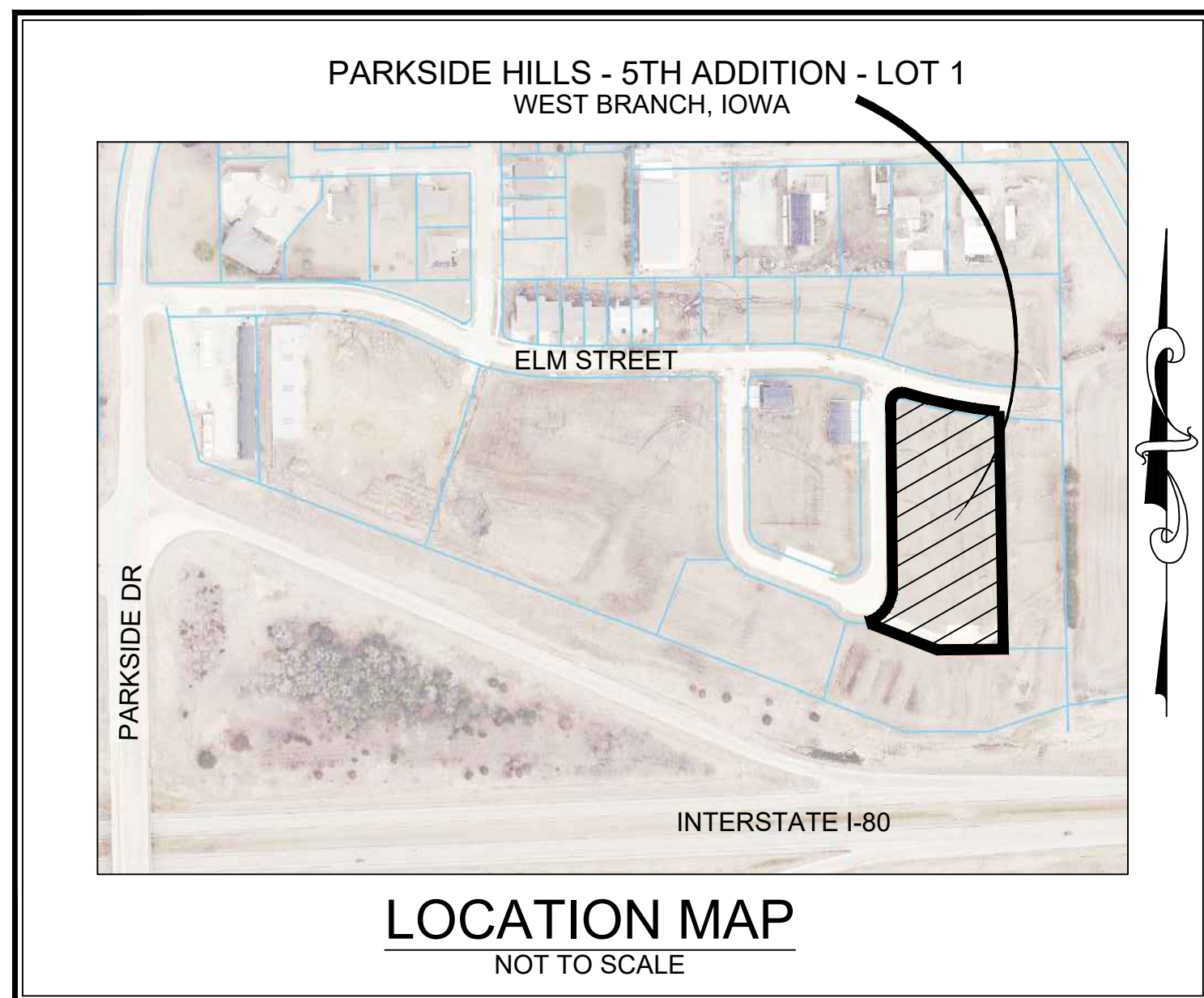
Designed by: BJC Field Book No:

Drawn by: HEH Scale: 1"=30'

Checked by: BJC Sheet No:

Project No: C120

12148-006 of:



LOCATION MAP
NOT TO SCALE

BENCHMARK INFORMATION

POINT	ELEVATION	DATUM	DESCRIPTION
NO. 1	768.968	NAVD88	BOLT ARROW HEAD FOUND AT NORTHING 614540.67, EASTING 2228751.20. MMS POINT 14466.
NO. 2	751.157	NAVD88	BOLT ARROW HEAD FOUND AT NORTHING 614627.10, EASTING 2229386.31. MMS POINT 15486.

HORIZONTAL CONTROL

POINT	NORTHING	EASTING	DESCRIPTION
H1	614604.59	2228636.17	DOT ALUM PIN ON EAST SIDE OF PARKSIDE DRIVE APPROX. 82 FEET EAST OF 401 PARKSIDE DRIVE ENTRANCE. MMS POINT 140000.

SITE PLAN PARKSIDE HILLS - 5TH ADDITION - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

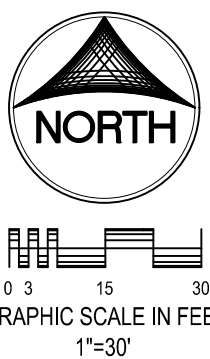
APPLICANT:
GENESIS DEVELOPMENT GROUP LLC
32 HUMMINGBIRD LANE
IOWA CITY, 52245

APPLICANT ATTORNEY:
JAMES D HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240

C120
C121
C121
C140

C141
C142
C160
C500
L100

OVERALL LAYOUT PLAN
DEMOLITION PLAN
LAYOUT AND DIMENSION PLAN
OVERALL GRADING, EROSION CONTROL,
AND SWPPP
GRADING PLAN: NORTH HALF
GRADING PLAN: SOUTH HALF
UTILITY PLAN
GENERAL NOTES AND DETAILS
LANDSCAPE PLAN



STANDARD LEGEND AND NOTES

-EXIST-	-PROP-	-	PROPERTY &/or BOUNDARY LINES
-	-	-	CONGRESSIONAL SECTION LINES
-	-	-	RIGHT-OF-WAY LINES
-	-	-	EXISTING RIGHT-OF-WAY LINES
-	-	-	CENTER LINES
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-	-	-	LOT LINES, INTERNAL
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-	-	-	POWER POLE W/TRANS
-	-	-	POWER POLE W/LIGHT
-	-	-	GUY POLE
-	-	-	LIGHT POLE
-	-	-	SANITARY MANHOLE
-	-	-	FIRE HYDRANT
-	-	-	WATER VALVE
-	-	-	DRAINAGE MANHOLE
-	-	-	CURB INLET
-	-	-	EXISTING SANITARY SEWER
-	-	-	PROPOSED SANITARY SEWER
-	-	-	EXISTING STORM SEWER
-	-	-	PROPOSED STORM SEWER
-	-	-	EXISTING WATER LINES
-	-	-	PROPOSED WATER LINES
-	-	-	ELECTRICAL LINES
-	-	-	TELEPHONE LINES
-	-	-	GAS LINES
-	-	-	CONTOUR LINES (1' INTERVAL)
-	-	-	PROPOSED GROUND
-	-	-	EXISTING TREE LINE
-	-	-	EXISTING DECIDUOUS TREE & SHRUB
-	-	-	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

LEGAL:

PARKSIDE HILLS - 5TH ADDITION - LOT 1, WEST BRANCH, CEDAR COUNTY, IOWA, RECORDED IN THE PLAT THEREOF, CONTAINING 2.06 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

SITE DEVELOPMENT SUMMARY:

ZONING: PUD
SQUARE FOOTAGE: 89,948 SF
PROPOSED USE: RESIDENTIAL

DEVELOPMENT CHARACTERISTICS:

PARKSIDE HILLS - LOT 1 IS TO CONSIST OF 2 (TWO) PROPOSED 9-PLEX BUILDINGS, 2 (TWO) PROPOSED 15-PLEX BUILDINGS, AND 1 (ONE) CARPORT WITH A TOTAL OF 48 UNITS LOCATED ON A 2.06 ACRE LOT.

DEVELOPMENT SCHEDULE

APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2025, WITH AN ESTIMATED COMPLETION DATE IN SPRING 2026.

SITE COVERAGES:

TOTAL LOT AREA	89,948 S.F. (100%)(2.06 AC)
PROPOSED BUILDING AREA	21,036 S.F. (23.4%)
PROPOSED PAVING AREA	32,411 S.F. (36.0%)
EXISTING PAVING AREA	9,986 S.F. (11.1%)
TOTAL IMPERVIOUS AREA	63,433 S.F. (70.5%)
TOTAL OPEN AREA	26,451 S.F. (29.5%)

LOT REQUIREMENTS:

FRONT YARD SETBACK	15 FEET
SIDE YARD SETBACK	0 FEET
REAR YARD SETBACK	0 FEET

PARKING REQUIREMENTS:

REQUIRED PARKING:
48 TOTAL UNITS (30 ONE BEDROOM, 18 TWO BEDROOM)
30 ONE BEDROOM = 45 SPACES
18 TWO BEDROOM = 27 SPACES
TOTAL PARKING REQUIRED = 72 SPACES

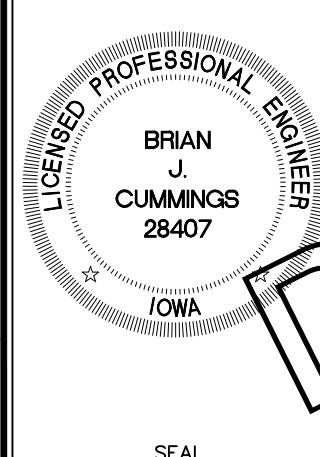
PARKING PROVIDED:
ELM STREET PARKING = 7 SPACES
CARPORT PARKING = 34 SPACES
OUTDOOR PARKING = 51 SPACES
EXISTING PARKING = 7 SPACES
TOTAL PARKING PROVIDED = 99 SPACES

SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-6889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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I hereby certify that this engineering document was prepared by me or under my direct supervision and approval by a duly licensed Professional Engineer under the laws of the State of Iowa.

BRIAN J. CUMMINGS, P.E. Iowa Lic. No. 28407

Expiry Date: December 31, 2025

Pages covered by this seal:

SEAL



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ENVIRONMENTAL SPECIALISTS

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DEMOLITION PLAN

PARKSIDE HILLS -
5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

Designed by: BJC Field Book No:

Drawn by: HEH Scale: 1"=20'

Checked by: BJC Sheet No:

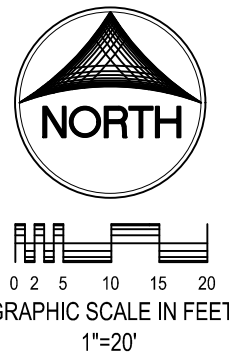
Project No: C121

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C142
C160
C500
L100

OVERALL LAYOUT PLAN
DEMOLITION PLAN
LAYOUT AND DIMENSION PLAN
OVERALL GRADING, EROSION CONTROL,
AND SWPPP
GRADING PLAN: NORTH HALF
GRADING PLAN: SOUTH HALF
UTILITY PLAN
GENERAL NOTES AND DETAILS
LANDSCAPE PLAN



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
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- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- 22-1
- (R)
- 22-1
- EXIST-
22-1
- PROP-
22-1
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
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- CONTOUR LINES (1' INTERVAL)
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- EXISTING TREE LINE
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- EXISTING EVERGREEN TREES & SHRUBS

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DEMOLITION KEYNOTES

NUMBER	KEYNOTE	DETAIL
1	GRIND EXISTING 6" CURB AND GUTTER	
2	ABANDON EXISTING 1 1/2" WATER SERVICE	
3	ABANDON EXISTING 4" SANITARY SERVICE	
4	ABANDON EXISTING 6" SANITARY SERVICE	
5	REMOVE AND RELOCATE HYDRANT. SEE SHEET C160 FOR PROPOSED LOCATION	
6	ABANDON SUBDRAIN	

UTILITIES

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OF ANY DIGGING OR EXCAVATION.



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Date Revision

LAYOUT AND
DIMENSION PLAN

PARKSIDE HILLS -
5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

Designed by: BJC Field Book No:

Drawn by: HEH Scale: 1"=20'

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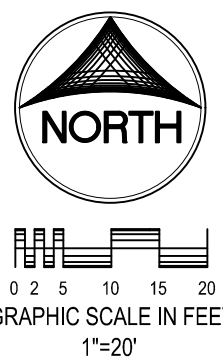
Project No: C122

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C140

OVERALL LAYOUT PLAN
DEMOLITION PLAN
LAYOUT AND DIMENSION PLAN
OVERALL GRADING, EROSION CONTROL,
AND SWPPP
GRADING PLAN: NORTH HALF
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UTILITY PLAN
GENERAL NOTES AND DETAILS
LANDSCAPE PLAN

C141
C142
C160
C500
L100



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
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KEYNOTES

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVEWAY (THICKNESS AND MATERIAL AS NOTED THIS SHEET)	
2	INSTALL PARKING SPACES	
3	INSTALL TYPE "A" DRIVE ENTRANCE	
4	GRIND EXISTING CURB AND GUTTER	
5	INSTALL STANDARD 6" CURB AND GUTTER	
6	TRANSITION FROM 6" CURB AND GUTTER TO 3" ROLL CURB	
7	INSTALL THICKENED EDGE SIDEWALK	
8	INSTALL PCC SIDEWALK PER CITY OF WEST BRANCH STANDARDS	
9	INSTALL PCC SIDEWALK PER CITY OF WEST BRANCH STANDARDS WITH HANDRAIL. REFER TO GRADING PLAN	
10	INSTALL ACCESSIBLE RAMP	
11	INSTALL ACCESSIBLE PARKING SIGN	
12	INSTALL ACCESSIBLE PARKING SYMBOL AND STRIPING	
13	INSTALL 4" WIDE PAVEMENT MARKINGS	
14	INSTALL DUMPSTER ENCLOSURE	
15	EXISTING 3" ROLL CURB	
16	INSTALL 3" ROLL CURB	

PAVING LEGEND

- 6" PCC PAVING
9,665 SF
- 7" PCC PAVING
17,747 SF
- 6" PCC SIDEWALK
9,148 SF

NOTE: THESE QUANTITIES TAKE INTO ACCOUNT ALL AREAS SHOWN ON THIS PLAN SET (INCLUDING WORK WITHIN RIGHT OF WAYS AND ON ADJACENT PROPERTIES)

UTILITIES

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Date: _____ Revision: _____

OVERALL GRADING, EROSION CONTROL, AND SWPPP

PARKSIDE HILLS - 5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
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MMS CONSULTANTS, INC.

Date: 10/10/2025

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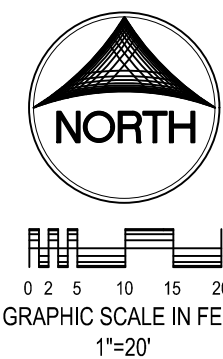
Project No: C140

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OVERALL LAYOUT PLAN
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NOTES:

- TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
- FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 2.06 ACRES
TOTAL AREA TO BE DISTURBED: 1.91 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

GRADING NOTES

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5; HORIZONTAL TO 1: VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH SUDAS DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-6989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



SILT FENCE DETAIL

N.T.S.

INSTALLATION

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS. FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

MAINTENANCE

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

EROSION CONTROL LEGEND

-----	FINAL FILTER SOCK	-----	PERIMETER SILT FENCE
-----	SILT FENCE/FILTER SOCK	-----	EROSION CONTROL MATING
-----	LIMITS OF DISTURBED AREA	-----	TEMPORARY SOIL STOCKPILE AREA
-----	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT	-----	DIRECTION OF OVERLAND FLOW
-----	TEMPORARY PARKING AND STORAGE	-----	DUMPSTER FOR CONSTRUCTION WASTE
-----	CONCRETE TRUCK/EQUIPMENT WASHOUT	-----	RIP RAP OUTLET PROTECTION
-----	PORTABLE RESTROOM	-----	OTHER MEASURE: _____
-----	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)	-----	OTHER MEASURE: _____
-----	FILTER SOCK INLET PROTECTION	-----	OTHER MEASURE: _____
-----	FILTER SOCK BEHIND CURB AT CURB RAMP	-----	OTHER MEASURE: _____

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.





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Date Revision

DETAILED GRADING
PLAN: NORTH HALF

PARKSIDE HILLS -
5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

Designed by: BJC Field Book No:

Drawn by: HEH Scale: 1"=10'

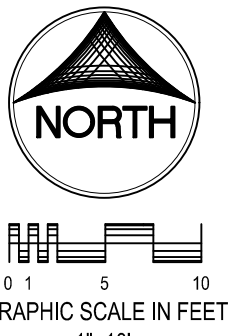
Checked by: BJC Sheet No:

Project No: C141

12148-006 of:

C120
C121
C140

OVERALL LAYOUT PLAN
DEMOLITION PLAN
LAYOUT AND DIMENSION PLAN
OVERALL GRADING, EROSION CONTROL,
AND SWPPP
GRADING PLAN: NORTH HALF
GRADING PLAN: SOUTH HALF
UTILITY PLAN
GENERAL NOTES AND DETAILS
LANDSCAPE PLAN



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
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- PROPOSED STORM SEWER
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- PROPOSED WATER LINES
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- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

GRADING LEGEND

- 000.00EX = EXISTING SURFACE
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- 000.00TC = TOP CURB
- 000.00TR = TOP RIM
- 000.00WT = FG AT TOP WALL
- 000.00WB = FG AT BOTTOM WALL
- 000.00TOP = TOP OF STEPS
- 000.00BOT = BOTTOM OF STEPS

UTILITIES

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SYCAMORE DRIVE

ELM STREET

FF=735.60

FF=740.35

FF=741.30

1



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Date Revision

DETAILED GRADING
PLAN: SOUTH HALF

PARKSIDE HILLS -
5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

Designed by: BJC Field Book No:

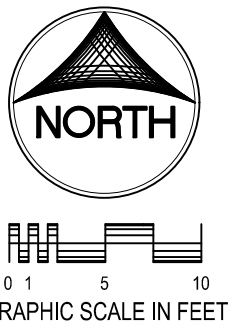
Drawn by: HEH Scale: 1"=10'

Checked by: BJC Sheet No:

Project No: C142

12148-006 of:

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AND SWPPP
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C142 GRADING PLAN: SOUTH HALF
C160 UTILITY PLAN
C500 GENERAL NOTES AND DETAILS
L100 LANDSCAPE PLAN



STANDARD LEGEND AND NOTES

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- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

(R)
22-1

- EXIST-
 - POWER POLE
 - POWER POLE W/DROP
 - POWER POLE W/TRANS
 - POWER POLE W/LIGHT
 - GUY POLE
 - SANITARY MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - DRAINAGE MANHOLE
 - CURB INLET
 - FENCE LINE
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING WATER LINES
 - PROPOSED WATER LINES
 - ELECTRICAL LINES
 - TELEPHONE LINES
 - GAS LINES
 - CONTOUR LINES (1' INTERVAL)
 - PROPOSED GROUND
 - EXISTING TREE LINE
 - EXISTING DECIDUOUS TREE & SHRUB
 - EXISTING EVERGREEN TREES & SHRUBS
- PROP-
 - POWER POLE
 - POWER POLE W/DROP
 - POWER POLE W/TRANS
 - POWER POLE W/LIGHT
 - GUY POLE
 - SANITARY MANHOLE
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UTILITY PLAN

PARKSIDE HILLS -
5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

Designed by: BJC Field Book No:

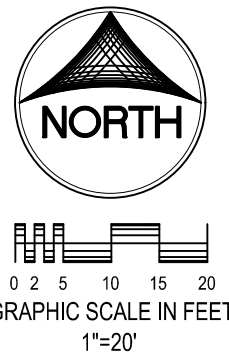
Drawn by: HEH Scale: 1"=20'

Checked by: BJC Sheet No:

Project No: C160

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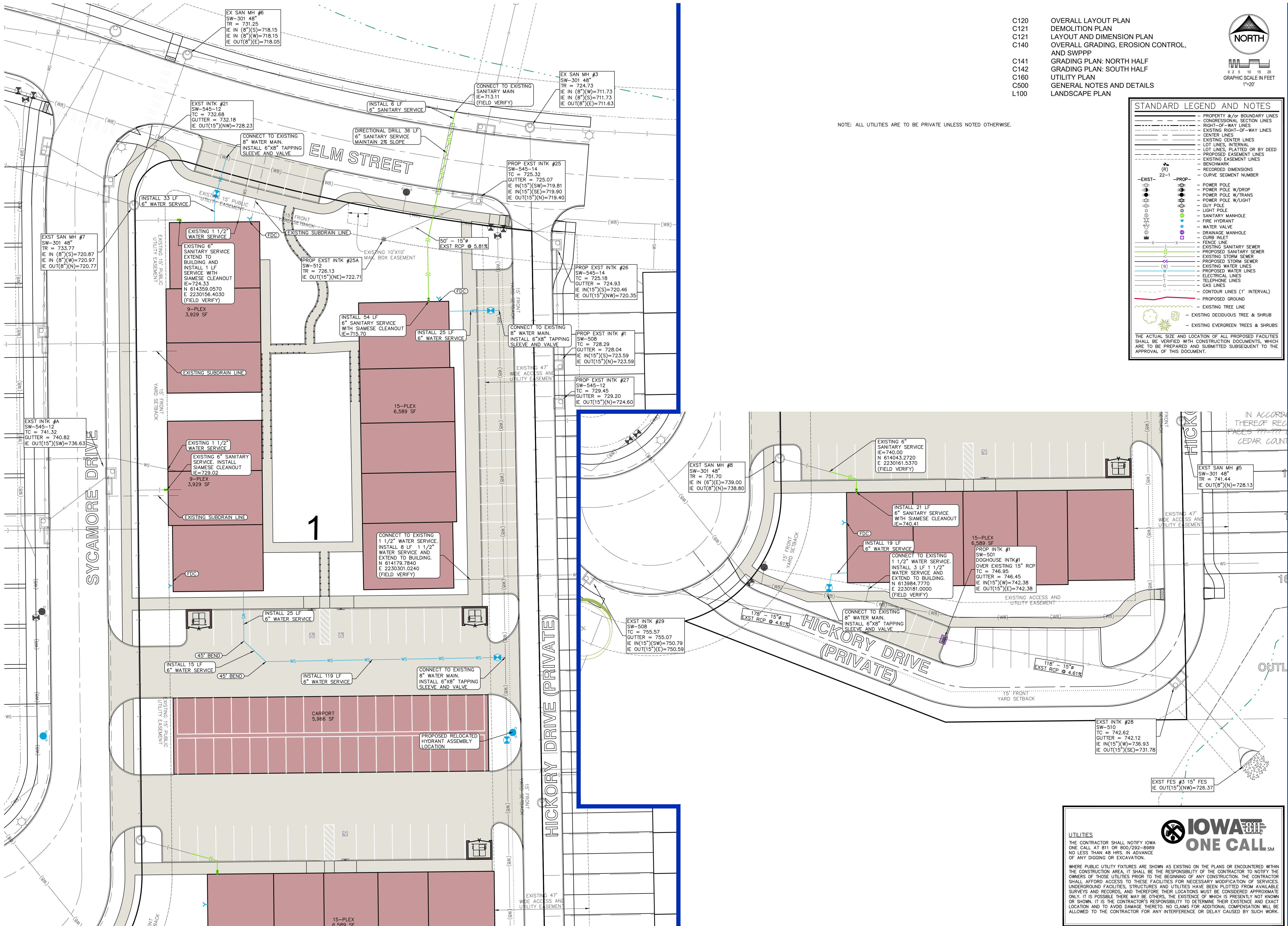
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STANDARD LEGEND AND NOTES	
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	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
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NOTE: ALL UTILITIES ARE TO BE PRIVATE UNLESS NOTED OTHERWISE.



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- 1) SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SDAS) SPECIFICATIONS (2018) AS AMENDED.
- 2) SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SDAS 4010.2.0.1.E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQL. AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SPP-0.35 WITH GASKETED JOINTS.
- 3) WATER MAINS SHALL BE DR-18 PVC PIPE.
- 4) CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- 5) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 412.00.4 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 6) ALL SANITARY SEWERS SHADED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - A. AVAILABLE EXCAVATED MATERIAL
 - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- 7) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH CRUSHED STONE BEDDING.
- 8) CONTRACTOR SHALL PROVIDE SDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- 9) ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL, OR CITY ENGINEER APPROVED EQL.
- 10) ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
 - 1) WILL NOT SHOW STEPS.
 - 2) WILL HAVE EXTERNAL CHIMNEY SEAL BY INFILSHED UNBAND, CRETEX, OR APPROVED EQL.
 - 3) WILL HAVE MANHOLE FRAME AND LID TO BE NENHAR R-1642 SELF-SEALING WITH CITY LOGO.
 - 4) WILL HAVE RISING FROM THE TOP OF THE PCC-RING, AMERICAN RUBBER PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC, IF PCC RINGS ARE USED, SHALLS TO LEVEL MANHOLE FRAME, MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE.
 - 5) WILL NOT BE ALLOWED, IE. WOOD, BRICK, ROCKS, ETC.
 - 6) WILL USE LINK-SEAL PENETRATION SEALS FOR PIPE PENETRATIONS.

- 9) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
- 10) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- 11) THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
- 12) ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL PROVIDE WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING HAVE 3-PIECE FLEXING CASTING

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS EXCAVED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - A. SUITABLE SHAVED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO 1.0 D.T. STANDARD SPECIFICATION 412.024 OF A 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 7) ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RAMP TO SUBGRADE. IF PIPE ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.

2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.

3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.

4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.

5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH B_d.

ID INCHES	B _d FEET & INCHES
12	2-3
15	2-9
18	3-0
21	3-3
24	3-6
27	4-0
30	4-3
36	4-9
42	5-6
48	6-3

N.T.S.

IOWA STANDARD ROAD PLAN
DETAIL: PM-111 "WPSB"

NOTE: SYMBOL TO BE CENTERED IN PARKING SPACE AND ORIENTED AS ILLUSTRATED ON PLANS.

24"

29"

4" (TYP)

PAINT "BLUE"

PAINT "TRAFFIC WHITE"

PAINT "TRAFFIC WHITE"

[illegible]

The image contains two architectural drawings of a dumpster enclosure. The top drawing is a 'WALL SECTION' showing a cross-section of the structure. It features a concrete footing at the base, followed by a concrete foundation. Above the foundation is a wall made of 8-inch split face CMU (typical). The wall is topped with a bond beam, which is part of a rockface block (color: granite blend) masonry. The total height of the masonry is 106 inches. The drawing also indicates the 'TOP OF MASONRY' and 'GRADE' levels. The bottom drawing is a 'PLAN VIEW' showing the top-down layout of the enclosure. It is a rectangular structure with a width of 12.63 feet and a depth of 9.83 feet. The plan view shows the interior layout, including roller wheels on the gate (typical) and a door. The drawing also indicates the 'TOP OF FOUNDATION' and 'CONCRETE FOUNDATION' levels.

N.T.S.

NOTE: DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH ROCKFACE BLOCK (COLOR: GRANITE BLEND) MATERIALS CONSISTENT WITH THOSE USED ON THE BUILDINGS AND IN ACCORDANCE WITH CITY STANDARDS.

106'-0"

TOP OF MASONRY

BOND BEAM - SEE STRUC.

8" SPLIT FACE CMU (TYP.)

GRADE

100'-0"

TOP OF FOUNDATION

CONCRETE FOUNDATION

CONCRETE FOOTING

WALL SECTION

FRONT VIEW

ROLLER WHEELS ON GATE TYP.

9.83'

12.63'

PLAN VIEW

Diagram illustrating the connection of a hydrant to a water main, showing the hydrant stand pipe, valve box and gate valve, trench backfill, water main, thrust block, and anchoring tee or standard tee (swivel tee preferred). The diagram also indicates the required concrete pad and backfill w/ gravel to 18" above bottom of hydrant stand pipe.

Labels and specifications in the diagram include:

- HYDRANT
- 18" MIN.
- 2" LESS
- VALVE BOX AND GATE VALVE
- MAIN TRENCH
- TRENCH BACKFILL
- DEPTH AS SPECIFIED 5 1/2" MINIMUM
- ANCHORING PIPE (RESTRAINING SPOCK)
- WATER MAIN
- THRUST BLOCK
- AS REQUIRED
- 12" x 12" x 4" CONCRETE PAD
- BACKFILL W/ GRAVEL TO 18" ABOVE BOTTOM OF HYDRANT STAND PIPE
- THRUST BLOCK
- ANCHORING TEE OR STANDARD TEE (SWIVEL TEE PREFERRED)

RUN TRACER WIRE OUTSIDE OF HYDRANT VALVE BOX, THEN DRILL HOLE JUST BELOW VALVE BOX COVER AND TERMINATE TRACER WIRE INSIDE VALVE BOX.

HYDRANT ASSEMBLIES SHALL HAVE THREE NOZZLES (TWO 2½" AND ONE 4½" PUMPER NOZZLE). PUMPER NOZZLE SHALL BE STORZ STYLE. OPERATING UNIT SHALL BE TAPERED 11/16" TO 3/4" SQUARE NUT, OPENING RIGHT (CLOCKWISE)

- 1) I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- 2) CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 3) PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLANS PY-101, CURRENT REVISION.
- 4) THE CONCRETE AGGREGATE SHALL BE CLASS 3; DURABILITY AS SPECIFIED IN SECTION 4115.01C OF THE I.D.O.T. STANDARD SPECIFICATIONS.
- 5) ALL SAVED JOINTS SHALL BE SEALED.

NTS.

1" CHAMFER

#4 BAR CONT.

PAVEMENT AS INDICATED

6"

1'

4"

The image contains two technical drawings of parking stall curb and subbase details, labeled N.T.S. (Not To Scale).

Top Drawing: A cross-section of a parking stall curb. The stall width is 18". The curb is 6" thickened. The subbase consists of 6" granular subbase gradation 12. The existing PCC drive is shown. A 6" PCC sidewalk is adjacent to the curb. A 7" walk is shown. A 4" clear (typ) is indicated for the curb height. The curb is labeled "GRIND EXISTING 6" CURB".

Bottom Drawing: A cross-section of a parking stall curb. The stall width is 18". The curb is 6" thickened. The subbase consists of 6" granular subbase gradation 12. The existing PCC drive is shown. A 6" PCC sidewalk is adjacent to the curb. A 7" walk is shown. The curb is labeled "EXISTING 3" ROLL CURB".

Right Side Detail: A detail of a curb corner showing a 4" clear (typ) and a 6" PCC sidewalk.

N.T.S.

4" CLEAR (TYP)

NO. 4'S (TYP)

FRAM. AND LID NEENAH R-1792-CL. OR EQUAL

4'-0"

POURED IN PLACE P.C.C. SLAB

PLAN

NO. 4'S EACH WAY

PROPOSED GROUND SURFACE (SEE PLANS)

2 LAYERS BUILDING PAPER OR FIBER PACKING BETWEEN PIPE AND CONCRETE SLAB

CLEANOUT BEND AND RISER TO BE THE SAME SIZE AND MATERIAL AS SEWER MAIN

INVERT ELEVATION (SEE PLANS)

SEE PLANS FOR DIAMETER OF SEWER MAIN

This technical drawing illustrates the installation of a sewer main. The top portion is a cross-section showing the sewer pipe embedded in a concrete slab. The slab is reinforced with 'NO. 4'S EACH WAY'. A layer of '2 LAYERS BUILDING PAPER OR FIBER PACKING' is shown between the pipe and the concrete. Above the slab, the 'PROPOSED GROUND SURFACE' is indicated. The bottom portion is a plan view showing the sewer main with cleanout bends and risers. A label specifies that the 'CLEANOUT BEND AND RISER TO BE THE SAME SIZE AND MATERIAL AS SEWER MAIN'. The 'INVERT ELEVATION' is also indicated. A final note at the bottom refers to the 'SEE PLANS FOR DIAMETER OF SEWER MAIN'.

PARKSIDE HILLS -
5TH ADDITION - LOT 1

Date: 12/12/2025

Designed by:	BJC	Field Book No.
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Checked by:	Sheet No:
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C500

61.



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

LANDSCAPE PLAN

PARKSIDE HILLS -
5TH ADDITION - LOT 1

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/10/2025

Designed by: BJC Field Book No:

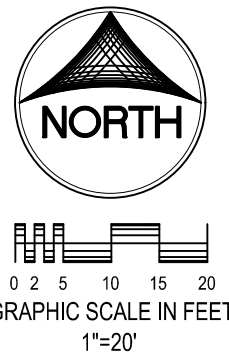
Drawn by: HEH Scale: 1"=20'

Checked by: BJC Sheet No:

Project No: L100

12148-006 of:

- C120 OVERALL LAYOUT PLAN
C121 DEMOLITION PLAN
C121 LAYOUT AND DIMENSION PLAN
C140 OVERALL GRADING, EROSION CONTROL,
AND SWPPP
C141 GRADING PLAN: NORTH HALF
C142 GRADING PLAN: SOUTH HALF
C160 UTILITY PLAN
C500 GENERAL NOTES AND DETAILS
L100 LANDSCAPE PLAN



UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL

STANDARD LEGEND AND NOTES

PROPERTY &/or BOUNDARY LINES
CONGRESSIONAL SECTION LINES
RIGHT-OF-WAY LINES
EXISTING RIGHT-OF-WAY LINES
CENTER LINES
EXISTING CENTER LINES
LOT LINES, INTERNAL
LOT LINES, PLATTED OR BY DEED
PROPOSED EASEMENT LINES
EXISTING EASEMENT LINES
BENCHMARK
RECORDED DIMENSIONS
CURVE SEGMENT NUMBER

EXIST-
22-1

PROP-
22-1

POWER POLE
POWER POLE W/DROP
POWER POLE W/TRANS
POWER POLE W/LIGHT
GUY POLE
LIGHT POLE
SANITARY MANHOLE
FIRE HYDRANT
WATER VALVE
DRAINAGE MANHOLE
CURB INLET
FENCE LINE
EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
EXISTING STORM SEWER
PROPOSED STORM SEWER
EXISTING WATER LINES
PROPOSED WATER LINES
ELECTRICAL LINES
TELEPHONE LINES
GAS LINES
CONTOUR LINES (1' INTERVAL)
EXISTING TREE LINE
EXISTING DECIDUOUS TREE & SHRUB
EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

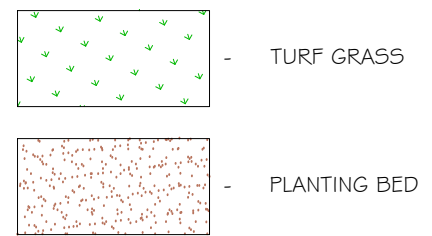
LANDSCAPE REQUIREMENTS

25% OF TOTAL LOT AREA REQUIRED FOR OPEN SPACE.
89,943 X 0.25 = 22,486 SF

1 TREE PER 1,500 SF OF OPEN SPACE
22,486 / 1,500 = 15 TREES REQUIRED
32 TREES PROVIDED

1 SHRUB PER 1,000 SF OF OPEN SPACE
22,486 / 1,000 = 23 SHRUBS REQUIRED
23 SHRUBS PROVIDED

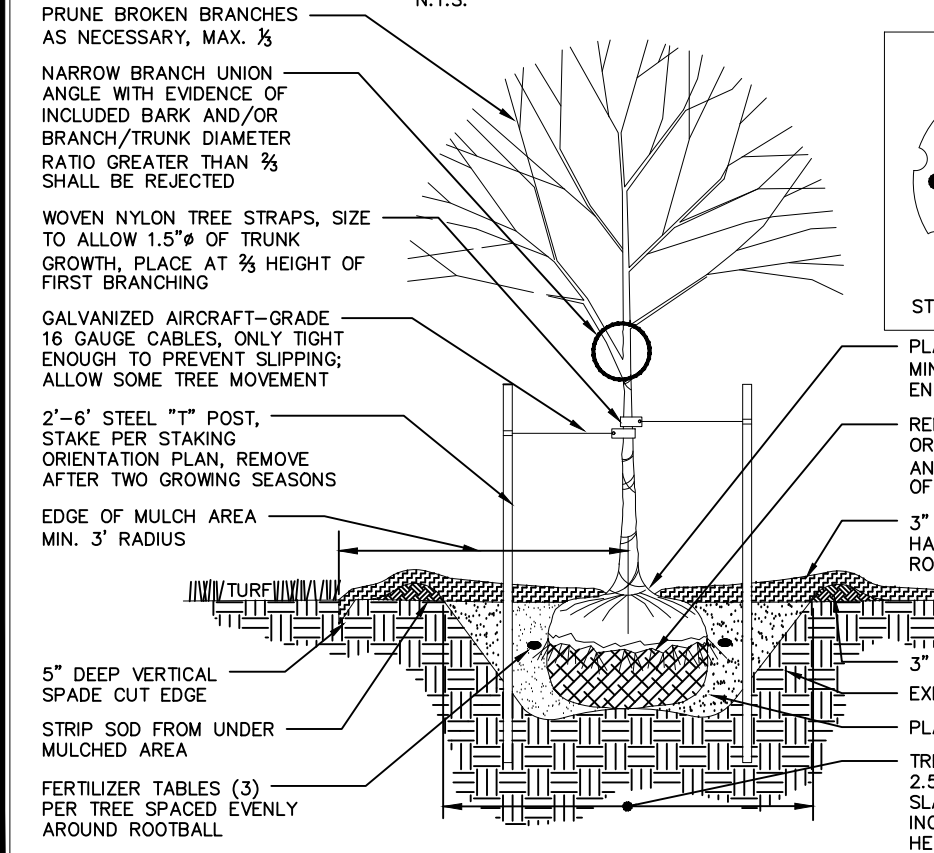
LANDSCAPE LEGEND



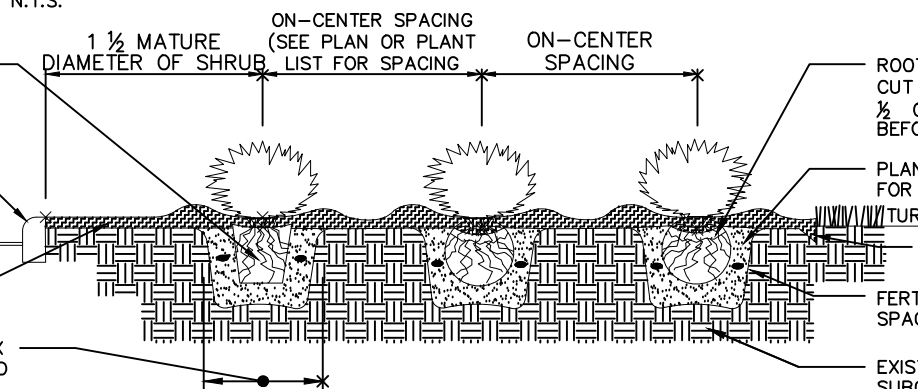
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
TREES							
	AG	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" Cal.	B4B	25' x 20'
	CC	6	Cercis canadensis	Eastern Redbud	1.5" Cal.	B4B	30' x 25'
	CF	6	Cornus florida	Flowering Dogwood	1.5" Cal.	B4B	30' x 35'
	GT	4	Gleditsia triacanthos inermis 'Skycole' TM	Skyline Thornless Honey Locust	2" Cal.	B4B	45' x 35'
	GD	3	Gymnocladus dioica 'Espresso-JF5'	Espresso Kentucky Coffeetree	2" Cal.	B4B	50' x 35'
	MP	4	Malus x 'Prairifire'	Prairifire Crabapple	1.5" Cal.	B4B	20' x 20'
	QB	2	Quercus bicolor	Swamp White Oak	2" Cal.	B4B	60' x 60'
	UM	3	Ulmus x 'Morton Glossy' TM	Triumph Elm	2" Cal.	B4B	60' x 40'
SHRUBS, ORNAMENTAL GRASSES & PERENNIALS							
	CS	9	Cornus sericea 'Arrow' TM	Arctic Fire Red Twig Dogwood	24" Ht.	Container	4' x 4'
	SB	8	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	18" Ht.	Container	3' x 4'
	TM	6	Taxus x media 'Densiformis'	Dense Yew	18" Ht.	Container	3' x 5'

TYPICAL TREE PLANTING DETAIL



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)





City of West Branch
110 N. Poplar Street
West Branch, IA 52358

SITE PLAN REVIEW CHECKLIST

Project Name Parkside Hills 5th Addition - Lot 1

Engineer MMS

Reviewer DRS

Reviewed Date 11/21/2025

1. SITE PLAN ☒

- A. Site plans shall only be required whenever any person proposes to place any structure for which a building permit is required under any other section of this Code, on any tract or parcel of and within any district of the West Branch Zoning Ordinance, and for any use, except one and two family dwellings.

2. DESIGN STANDARDS ☒

- A. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines nor increase the danger of erosion, flooding, landslide, or other endangerment of adjoining or surrounding property
- B. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illumination of required perimeter yards, refuse containers, and impairment of light and air.
- C. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets
- D. The proposed development shall conform to all applicable provisions of the Code of Iowa, as amended, Iowa Statewide Urban Design and Specifications (SUDAS), Iowa Stormwater Management Manual and all applicable provisions of the Code of Ordinances of the City of West Branch, as amended

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110 N. Poplar Street
West Branch, IA 52358

SITE PLAN:

1. Prepared by a licensed Engineer or Land Surveyor ☒ YES ☐ NO
2. Date of preparation, North point and scale no smaller than 1"=100'.
Comments: ☒ YES ☐ NO
3. Legal description and address of the property to be developed.
Comments: ☒ YES ☐ NO
4. Name and address of the record property owner, the applicant, and the person or firm preparing the site plan
Comments: ☒ YES ☐ NO
5. The existing topography with a maximum of two (2) foot contour intervals. Where existing ground is on a slope of less than two percent (2%), either one (1) foot contours or spot elevations where necessary but not more than fifty (50) feet apart in both directions, shall be indicated on site plan.
Comments: ☒ YES ☐ NO
6. Existing and proposed utility lines and easements in accordance with Iowa Statewide Urban Design and Specifications (SUDAS) and City of West Branch Subdivision Regulations.
Comments: ☒ YES ☐ NO
7. Structure Information:
 - a. Total number and type of dwelling units proposed ☒ YES ☐ NO
 - b. Proposed uses for all buildings ☒ YES ☐ NO
 - c. Total floor area of each building ☒ YES ☐ NO
 - d. Estimated number of employees for each proposed use where applicable ☐ YES ☐ NO N/A
 - e. Any other information, including peak demand, which may be necessary to determine the number of off-street parking spaces and loading spaces. ☐ YES ☐ NO N/A
8. Location, shape, and all exterior elevation views of all proposed buildings, for the purpose of understanding the structures and building materials to be used, the location of windows, doors, overhangs, projection height, etc. and the grade relationship to floor elevation and the number of stories of each existing building to be retained and of each proposed building. ☐ YES ☐ NO

This is a concern
9. Property lines and all required yard setbacks. ☒ YES ☐ NO
10. Location, grade and dimensions of all existing and proposed paved surfaces and all abutting streets. ☒ YES ☐ NO

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11. Complete traffic circulation and parking plan, showing the location and dimensions of all existing and proposed parking stalls, loading areas, entrance and exit drives, sidewalks, dividers, planters, and other similar permanent improvements. ☒ YES ☐ NO
12. Location and type of existing or proposed signs and of any existing or proposed lighting on the property which illuminates any part of any required yard. ☐ YES ☐ NO None proposed
13. Location of existing trees six (6) inches or larger in diameter, landslide areas, springs and streams and other bodies of water, and any area subject to flooding by a one hundred (100) year storm on site and downstream off site. ☐ YES ☐ NO N/A
14. Location, amount and type of any proposed landscaping. Location of proposed plantings, fences, walls, or other screening as required by the zoning regulations and the design standards set forth in Section 173.03. ☒ YES ☐ NO
15. A vicinity map at a scale of 1" = 500' or larger, showing the general location of the property, and the adjoining land uses and zoning. ☒ YES ☐ NO
16. Soil tests and similar information, if deemed necessary by the City Engineer, to determine the feasibility of the proposed development in relation to the design standards set forth in Section 173.03. ☐ YES ☐ NO N/A
17. Where possible ownership or boundary problems exist, as determined by the Zoning Administrator, a property survey by a licensed land surveyor may be required. ☐ YES ☐ NO N/A
18. Stormwater Pollution Prevention Plan. ☒ YES ☐ NO
19. Stormwater Management Plan. ☒ YES ☐ NO
20. Pre-Application Conference. ☒ YES ☐ NO
21. Provide 25% of open space
 - a. Said open space shall be unencumbered with any structure, or off-street parking or roadways and drives, and shall be landscaped and maintained with grass, trees and shrubbery. ☒ YES ☐ NO
 - b. Each principal structure of an apartment or office complex on same site shall be separated from any other principal structure in the complex by an open space of not less than sixteen (16) feet. ☒ YES ☐ NO
22. Landscaping Requirements
 - a. Minimum requirements at the time of planting - Two (2) trees minimum or one (1) tree of the following size per 1,500 square feet of open space, whichever is greater: 40 Percent 1½" - 2" caliper diameter. Balance 1" - 1½" caliper diameter. (Evergreen trees shall not be less than three (3) feet in height.) ☒ YES ☐ NO
 - b. Minimum requirements at the time of planting - 6 shrubs, or 1 shrub per 1,000 square feet of open space, whichever is greater. ☒ YES ☐ NO



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

23. Buffer Required

- a. Any other zoning district, other than an Agricultural A-1 District, that abuts any residential district shall require a buffer as described in this section. The buffer shall be provided by the non-residential use when adjoining a residential district. ☐ YES ☐ NO **N/A**
- b. All Industrial Districts that abut any other district shall provide a buffer as required by this section. ☐ YES ☐ NO **N/A**
- c. Any storage area, garbage storage, junk storage or loading docks, and loading areas, in any District shall be screened from public street view by a buffer ☒ YES ☐ NO

24. Buffers

- a. Buffer Wall: A buffer wall shall not be less than six (6) feet in height; constructed of a permanent low maintenance material such as concrete block, cinder block, brick, concrete, precast concrete or tile block; the permanent low-maintenance wall shall be designed by an architect or engineer for both structural adequacy and aesthetic quality. ☐ YES ☐ NO **N/A**
- b. Landscape Buffer: A landscape buffer shall not be less than twenty-five (25) feet in width, designed and landscaped with earth berm and predominant plantings of evergreen type trees, shrubs and plants so as to assure year around effectiveness. ☐ YES ☐ NO **N/A**

25. Surfacing Requirements.

- a. All off-street parking and loading areas and access roadways shall have a durable and dustless surface paved with asphaltic or Portland cement concrete pavement or pervious pavement. Off-street parking of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other mobile vehicles shall be on an asphaltic or Portland cement concrete paved off-street parking area and not parked or stored within the landscaped open space area of the front yard. All off-street parking areas and associated driveways, access roadways and frontage roads, except driveways for single family residences, shall be constructed with permanent, integrally attached 6" high curbing or curbing of alternate height. ☒ YES ☐ NO
- b. Portland Cement Concrete shall have a minimum thickness of five (5) inches. ☒ YES ☐ NO
- c. Asphaltic Cement Concrete shall have a minimum thickness of six (6) inches. ☐ YES ☐ NO **N/A**
- d. Material utilized in the subgrade shall be well drained and not susceptible to frost boils. Driveways for attached townhouse style residences shall be Portland cement concrete or asphaltic concrete with minimum thickness of five (5) inches and six (6) inches, with well-drained subgrade base and not greater than eighteen (18) feet in width. ☒ YES ☐ NO

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26. Landscaping, Screening and Open Space Requirements.

- a. All parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their use. ☒ YES ☐ NO
- b. Parking areas shall be effectively screened from general public view and contain shade trees within parking islands where multiple aisles of parking exist. Not less than five (5) percent of the interior parking area shall be landscaped within parking islands. ☒ YES ☐ NO

27. Off-Street Parking Access to Public Streets and Internal Traffic Circulation.

- a. forward movement of the vehicle. ☒ YES ☐ NO
- b. Driveway approach returns shall not extend beyond the side lot line as extended. ☒ YES ☐ NO
- c. The number of ingress/egress access points to public streets from offstreet parking areas located to limit vehicular conflicts, preserve proper traffic safety. ☒ YES ☐ NO

28. Handicap Accessible Parking Requirements - comply with the parking space minimum requirements.

☒ YES ☐ NO

29. Traffic Analysis Requirements. Any project which contains 100 dwelling units or 1,000 average day trips.

☐ YES ☐ NO N/A

30. Architectural Standards - architectural plans for buildings shall be submitted for review and approval.

☒ YES ☐ NO

Note that typical section on building shows siding down to just above ground level
The NE corner of the NE building will be several feet above finish grade. This should
be discussed to determine if the wall surfacing should be covered or the building stepped.