



**PLANNING AND ZONING COMMISSION MEETING**  
**Tuesday, September 24, 2024 • 7:00 p.m.**  
**West Branch City Council Chambers, 110 N. Poplar St.**  
*Council Quorum May Be Present*

<https://zoom.us/j/5814699699>

*or dial in phone number 1-312-626-6799 with Meeting ID 581 469 9699*

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
4. Public Hearing/Non-Consent Agenda. /Move to action.
  - a. Approve a revised Final Plat for Heritage Hill. / Move to action.
5. City Staff reports
6. Comments from Chair and Commission Members.
7. Next regular Planning & Zoning Commission meeting Tuesday, November 26, 2024.
8. Adjourn

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**Planning & Zoning Commission Members:** Chair John Fuller, Vice Chair Ryan Bowers, Brad Bower,  
Matt Van Scoyoc, Madison Conley, Max Kober, Ryan Foley • **Zoning Administrator:** Terry Goerd  
**Mayor:** Roger Laughlin • **Council Members:** Mike Horihan, Colton Miller, Jodee Stoolman, Jerry Sexton, Tom Dean  
**City Administrator:** Adam Kofoed **City Clerk:** Leslie Brick • **Fire Chief:** Kevin Stoolman • **Police Chief:** Greg Hall  
• **Public Works Director:** Matt Goodale



CIVIL ENGINEERS  
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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
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### OVERALL SITE LAYOUT AND DIMENSION PLAN

### HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: **08-04-22**

Designed by: **KJC** Field Book No: **1343, PG. 39**

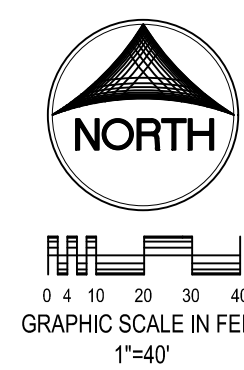
Drawn by: **TAV** Scale: **1"=40'**

Checked by: **KJB** Sheet No:

Project No: **C120**

11186-002 of:

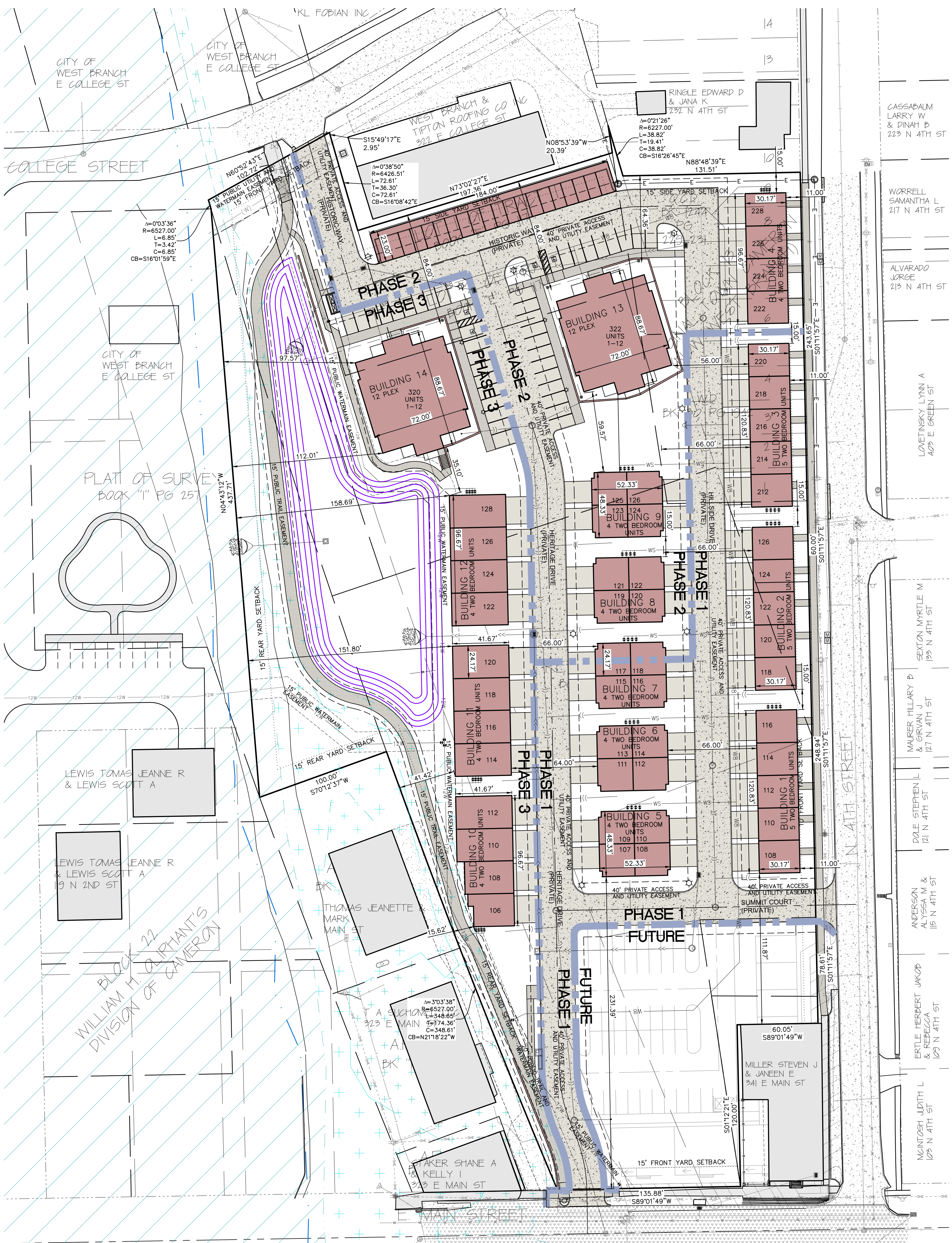
# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BBCO LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240



- HILLSIDE DRIVE:**  
BUILDING 1 108, 110, 112, 114 AND 116 HILLSIDE DRIVE  
BUILDING 2 118, 120, 122, 124 AND 126 HILLSIDE DRIVE  
BUILDING 3 212, 214, 216, 218 AND 220 HILLSIDE DRIVE  
BUILDING 4 222, 224, 226 AND 228 HILLSIDE DRIVE  
BUILDING 5 108 AND 110 HILLSIDE DRIVE  
BUILDING 6 112 AND 114 HILLSIDE DRIVE  
BUILDING 7 116 AND 118 HILLSIDE DRIVE  
BUILDING 8 120 AND 122 HILLSIDE DRIVE  
BUILDING 9 124 AND 126 HILLSIDE DRIVE
- HERITAGE DRIVE:**  
BUILDING 5 107 AND 109 HERITAGE DRIVE  
BUILDING 6 111 AND 113 HERITAGE DRIVE  
BUILDING 7 115 AND 117 HERITAGE DRIVE  
BUILDING 8 119 AND 121 HERITAGE DRIVE  
BUILDING 9 123 AND 125 HERITAGE DRIVE  
BUILDING 10 106, 108, 110 AND 112 HERITAGE DRIVE  
BUILDING 11 114, 116, 118, AND 120 HERITAGE DRIVE  
BUILDING 12 122, 124, 126 AND 128 HERITAGE DRIVE
- HISTORIC WAY:**  
BUILDING 13 322 HISTORIC WAY UNITS 1-12  
BUILDING 14 320 HISTORIC WAY UNITS 1-12

**UTILITIES**  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

**STANDARD LEGEND AND NOTES**

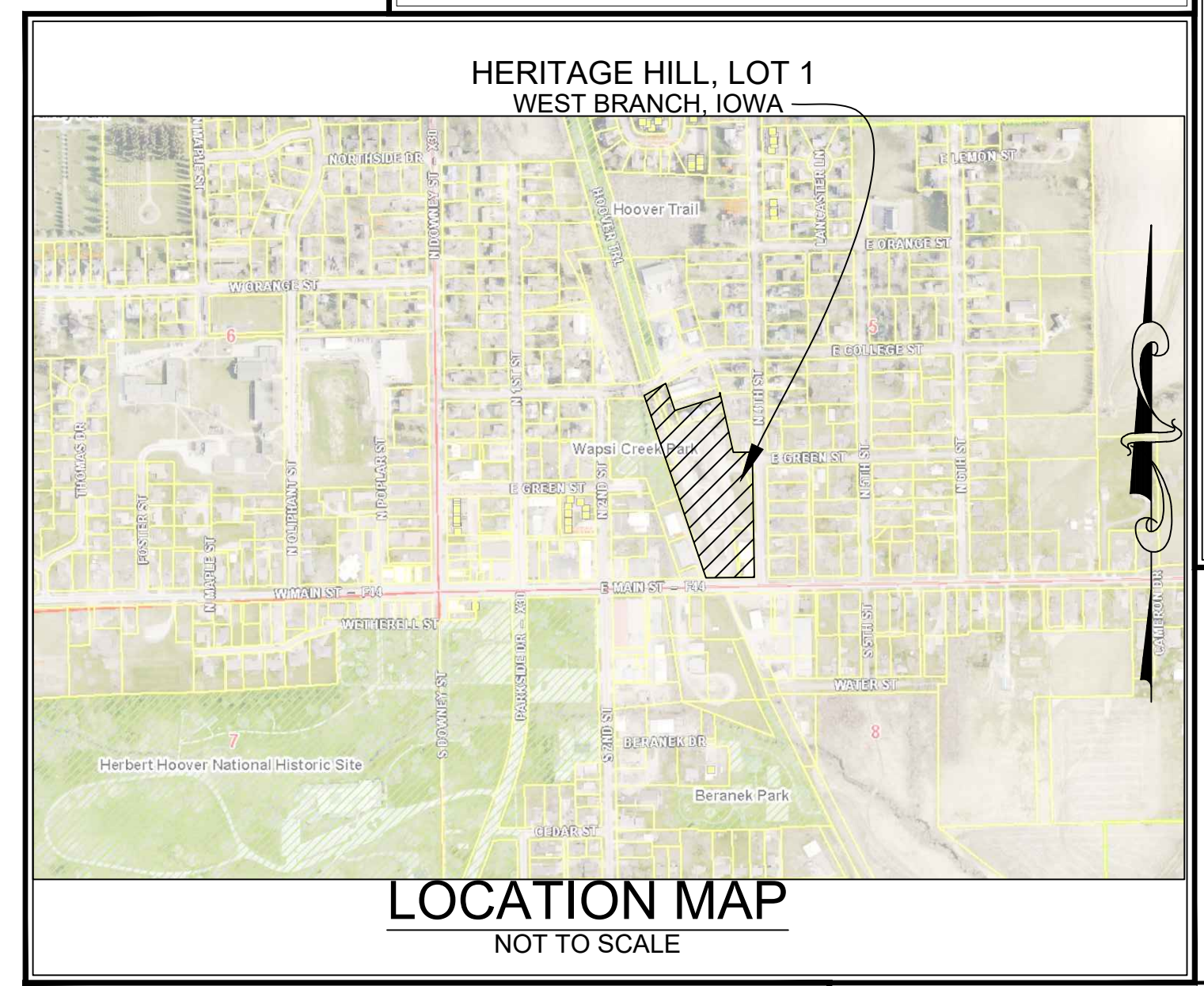
- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

**EXISTING:**

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
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- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

**FEMA NOTE:**  
A PORTION OF THIS SITE RESIDES WITHIN THE FEMA FLOODWAY AREA IN ZONE AE, THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE), AND THE ZONE X (0.2% CHANCE) AS NOTED IN FEMA PANEL NUMBER 19031C0212C, EFFECTIVE DATE: 08/19/2013. SEE LEGEND BELOW.

- FLOODWAY AREA IN ZONE AE
- THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE)
- THE ZONE X (0.2% CHANCE)



- PAVING CONSTRUCTION NOTES**
- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
  - I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
  - PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
  - SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
  - ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

**PAVEMENT LEGEND**

MATERIAL	TOTAL*
7" PCC	5,195 SY
6" PCC	2,479 SY
4" PCC	1,732 SY

\*TOTALS INCLUDE ALL SF OF MATERIAL INCLUDING OUTSIDE OF PROPERTY LINE

**LEGAL:**  
HERITAGE HILL - LOT 1 IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 5.93 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

**SITE DEVELOPMENT SUMMARY:**  
ZONING: PUD  
SQUARE FOOTAGE: 258,182 SF  
PROPOSED USE: RESIDENTIAL

**DEVELOPMENT CHARACTERISTICS:**  
HERITAGE HILL - LOT 1 ON GREEN STREET IS TO BE A 5.93 ACRE. THE PLAN WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-PLEX BUILDINGS, AND FIFTY FIVE (55) PROPOSED RESIDENTIAL 2 (TWO) BEDROOM UNITS.

**DEVELOPMENT SCHEDULE:**  
APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2022, WITH AN ESTIMATED COMPLETION DATE IN FALL 2023.

**SITE COVERAGES:**  
TOTAL LOT AREA 258,182 S.F. (100%)  
PROPOSED BUILDING AREA 53,558 S.F. (20.7%)  
PROPOSED PAVING AREA 80,539 S.F. (31.2%)  
TOTAL IMPERVIOUS AREA 134,097 S.F. (51.9%)  
TOTAL OPEN AREA 124,085 S.F. (48.1%)

**LOT REQUIREMENTS:**  
FRONT YARD SETBACK (N. 4TH ST) 13 FEET  
(E. MAIN ST) 15 FEET  
SIDE YARD SETBACK (E. COLLEGE ST) 15 FEET  
REAR YARD SETBACK 15 FEET

**PARKING REQUIREMENTS:**  
2 SPACES PER UNIT/ 12 UNITS (TWO BEDROOM EACH) PER BUILDING/ 2 BUILDINGS  
2\*(12+12) = 48 SPACES  
TOTAL PARKING PROVIDED = 60 SPACES  
2 SPACES PER UNIT (TWO BEDROOM EACH) PER BUILDING/ 55 BUILDINGS  
2\*(55) = 110 SPACES  
TOTAL PARKING PROVIDED = 220 SPACES (110 GARAGE SPACES AND 110 DRIVE SPACES)

SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.

100 YEAR FLOOD ELEVATION = 713.20

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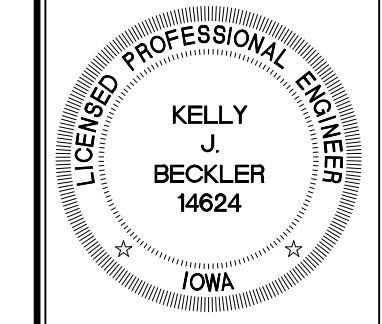
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CD100	EXISTING FEATURES AND DEMOLITION PLAN
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

**KELLY J. BECKLER**, P.E. Iowa Lic. No. 14624

My license renewal date is December 31, 2024.

Pages or sheets covered by this seal:





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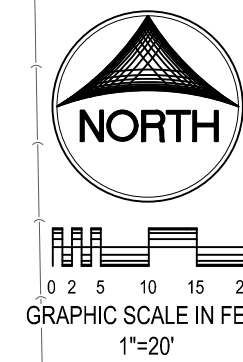
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PO BOX 2777  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240



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**KEYNOTES**

EXIST	PROP	DESCRIPTION
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		EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

**SHEET INDEX**

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NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'B1'-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET C1500	
8	INSTALL ADA RAMP	
9	INSTALL 3" ROLL CURB AND GUTTER	
10	TRANSITION TO 6" CURB	
11	TRANSITION CURB TO ZERO	
12	MATCH EXISTING CURB AND GUTTER	
13	INSTALL DUMPSTER ENCLOSURE	
14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
17	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	
18	INSTALL ADA COMPLIANT SAFETY RAIL	
19	INSTALL COVERED PARKING	
20	INSTALL STAIRWAY	
21	INSTALL MAILBOX CLUSTER	

## DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF

## HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.  
Date: 08-04-22  
Designed by: KLC Field Book No: 1343, PG 39  
Drawn by: TAV Scale: 1"=20'  
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### STANDARD LEGEND AND NOTES

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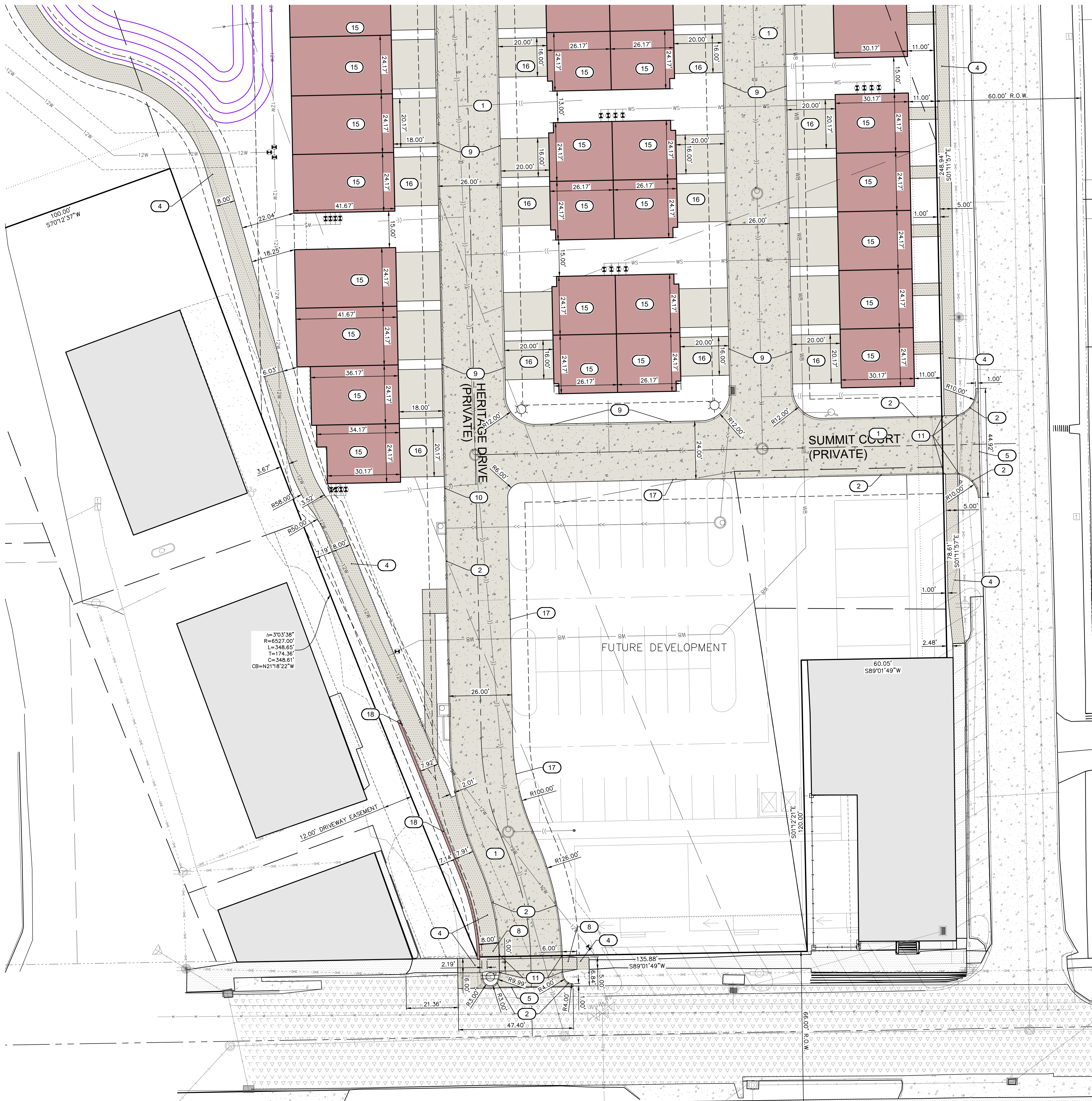
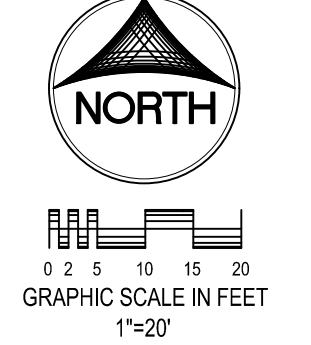
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### KEYNOTES

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1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT'-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET G	
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9	INSTALL 3" ROLL CURB AND GUTTER	
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14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
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16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
17	EDGE OF PAVEMENT, NO CURB	
18	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	

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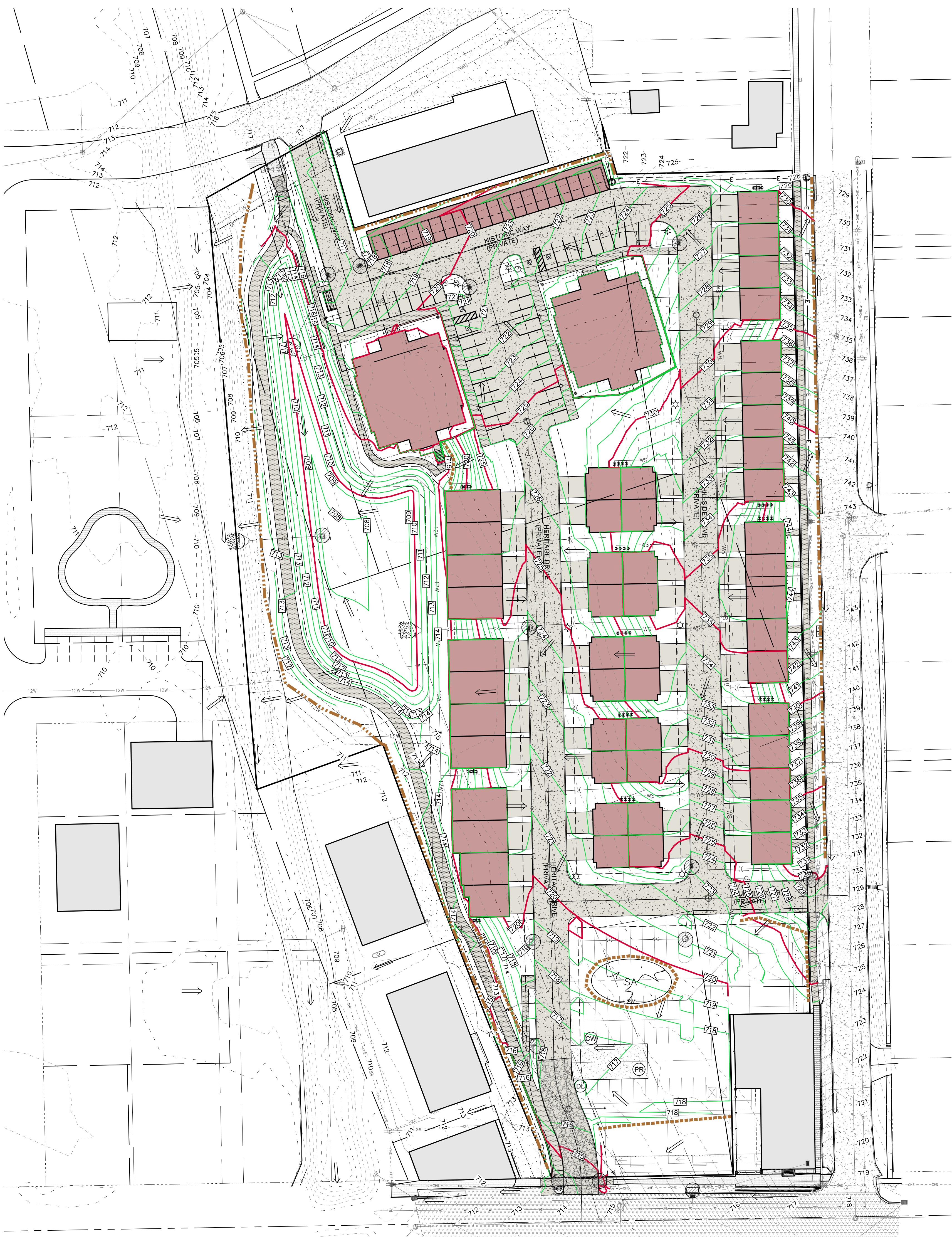
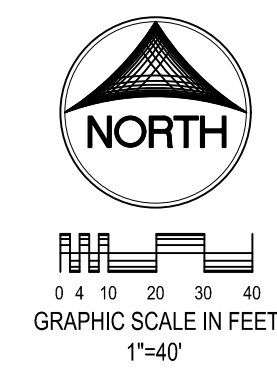
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# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BBCO LLC  
JAMES D. HOUGHTON  
PO BOX 277  
WEST LIBERTY, IOWA 52240

APPLICANT'S ATTORNEY:  
216 STEVENS DRIVE  
IOWA CITY, IA 52240



**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

**IOWA ONE CALL**

**STANDARD LEGEND AND NOTES**

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
(R)	22-1
---	EXIST- POWER POLE
---	PROP- POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

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C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

**SILT FENCE DETAIL**  
N.T.S.

**INSTALLATION**

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- ANY FENCE FABRIC NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO ALLOW THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER FABRIC SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRDED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

**MAINTENANCE**

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**GRADING AND EROSION CONTROL NOTES**

TOTAL SITE AREA: 5.93 ACRES  
TOTAL AREA TO BE DISTURBED: 5.93 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

- GRADING NOTES**
- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
  - NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
  - WHERE HEIGHT OF FILL IS GREATER THAN 30" AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
  - COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
  - ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
  - PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
  - STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
  - SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
  - ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH SUDAS DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

**EROSION CONTROL LEGEND**

-----	FINAL FILTER SOCK	-----	PERIMETER SILT FENCE
-----	SILT FENCE	-----	EROSION CONTROL MATTING
-----	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT	-----	TEMPORARY SOIL STOCKPILE AREA
-----	TEMPORARY PARKING AND STORAGE	-----	DIRECTION OF OVERLAND FLOW
(CW)	CONCRETE TRUCK/EQUIPMENT WASHOUT	(D)	DUMPSTER FOR CONSTRUCTION WASTE
(PR)	PORTABLE RESTROOM	(O1)	RIP RAP OUTLET PROTECTION
(DL)	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)	(O2)	OTHER MEASURE: _____
(C)	FILTER SOCK INLET PROTECTION	(O3)	OTHER MEASURE: _____
(C)	FILTER SOCK BEHIND CURB AT CURB RAMP		

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

**NOTES:**

- TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
- FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

## SITE GRADING AND EROSION CONTROL PLAN AND SWPPP

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

**MMS CONSULTANTS, INC.**

Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG. 39

Drawn by: TAV Scale: 1"=40'

Checked by: KJB Sheet No:

Project No: C140

11186-002 of:

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

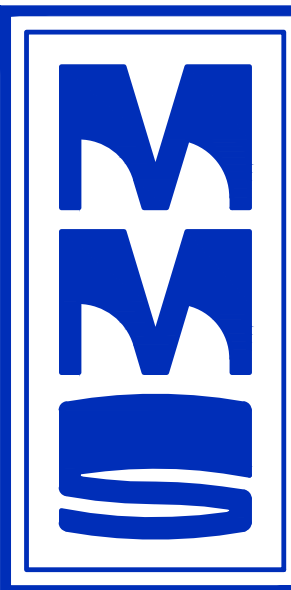
PLAT PREPARED BY:  
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IOWA CITY, IA 52240

APPLICANT:  
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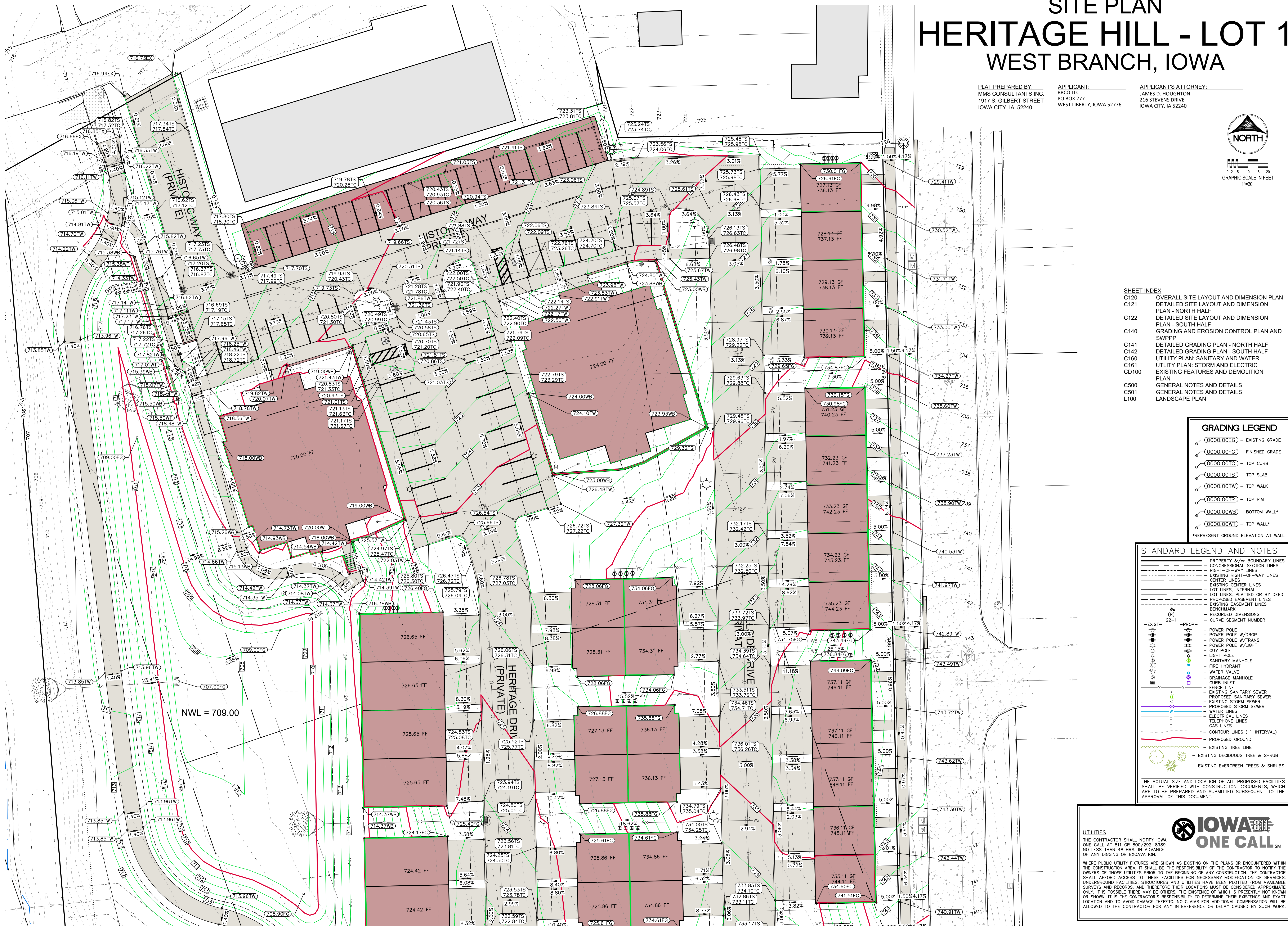


GRAPHIC SCALE IN FEET  
1"=20'



CIVIL ENGINEERS  
LAND PLANNERS  
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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
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www.mmsconsultants.net



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**GRADING LEGEND**

	EXISTING GRADE
	FINISHED GRADE
	TOP CURB
	TOP SLAB
	TOP WALK
	TOP RIM
	BOTTOM WALL*
	TOP WALL*

\*REPRESENT GROUND ELEVATION AT WALL

**STANDARD LEGEND AND NOTES**

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### DETAILED GRADING PLAN - NORTH HALF

### HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

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**IOWA ONE CALL**

**MMS CONSULTANTS, INC.**

Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG. 39

Drawn by: TAV Scale: 1"=20'

Checked by: KJB Sheet No:

Project No: C141

11186-002 of:



CIVIL ENGINEERS  
LAND PLANNERS  
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LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

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Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC
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11/18/22	STREET NAMES AND EASEMENTS - TAV
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# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

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APPLICANT'S ATTORNEY:  
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216 STEVENS DRIVE  
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GRAPHIC SCALE IN FEET  
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0000.00TW	- TOP WALK
0000.00TR	- TOP RIM
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## DETAILED GRADING PLAN - SOUTH HALF

## HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG 39

Drawn by: TAV Scale: 1"=20'

Checked by: KJB Sheet No:

Project No: C142

11186-002 of:



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
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### UTILITY PLAN: SEWER AND WATER

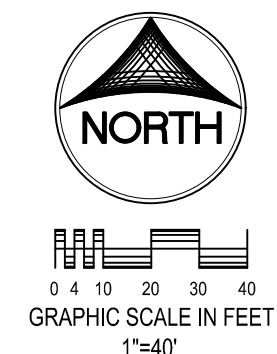
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MMS CONSULTANTS, INC.

Date: 08-04-22

Designed by: KLC	Field Book No: 1343, PG. 39
Drawn by: TAV	Scale: 1"=40'
Checked by: KJB	Sheet No: C160
Project No: 11186-002	of:

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



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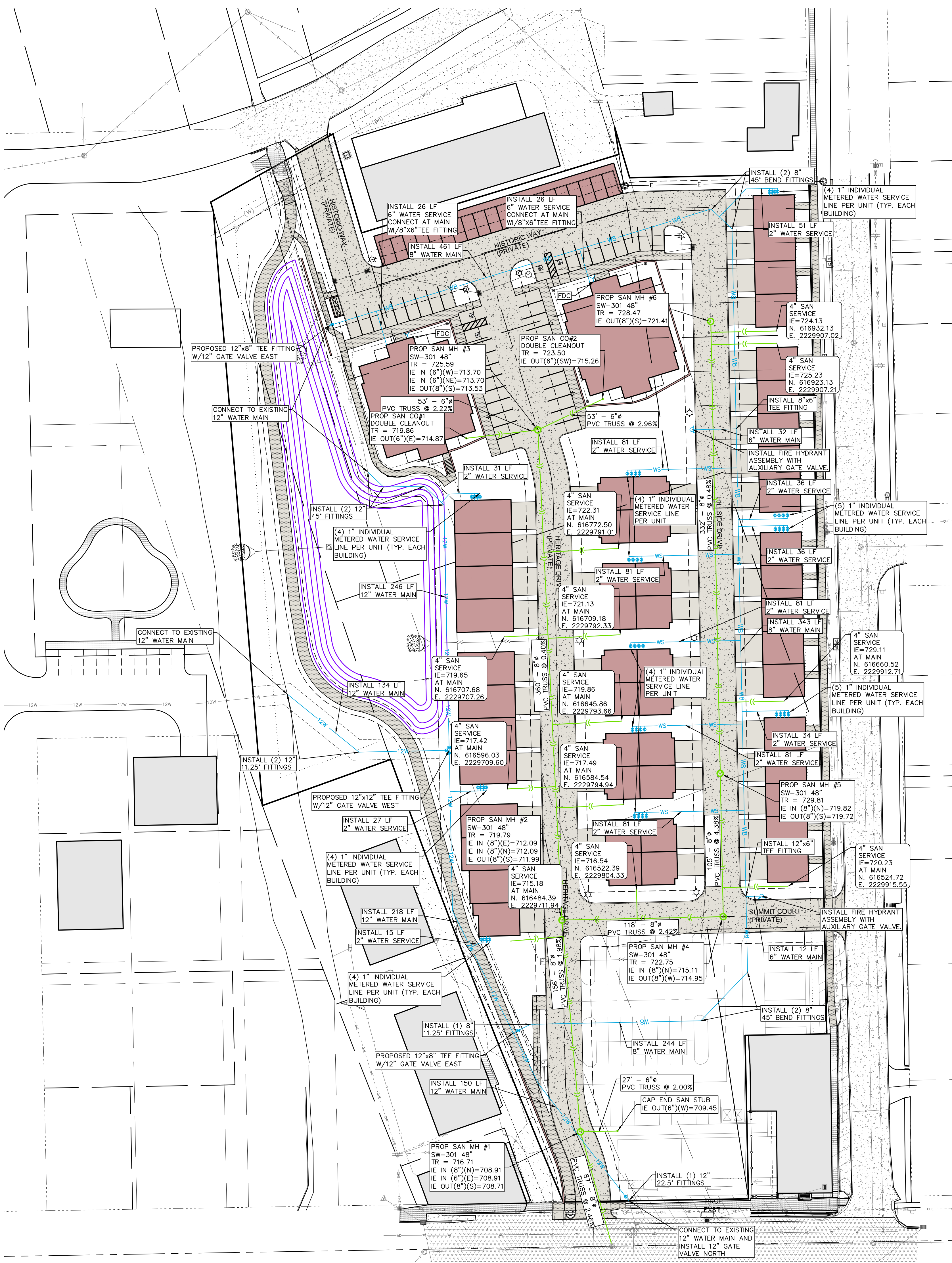
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--- (Dashed)	PROPERTY &/or BOUNDARY LINES
--- (Dotted)	CONGRESSIONAL SECTION LINES
--- (Dash-dot)	RIGHT-OF-WAY LINES
--- (Long Dash)	EXISTING RIGHT-OF-WAY LINES
--- (Short Dash)	CENTER LINES
--- (Dash-dot-dot)	EXISTING CENTER LINES
--- (Dash-dot-dot-dot)	PROPOSED EASEMENT LINES
--- (Dash-dot-dot-dot-dot)	EXISTING EASEMENT LINES
--- (Dash-dot-dot-dot-dot-dot)	LOT LINES, PLATTED OR BY DEED
--- (Dash-dot-dot-dot-dot-dot-dot)	PROPOSED CASSEMENT LINES
--- (Dash-dot-dot-dot-dot-dot-dot-dot)	EXISTING CASSEMENT LINES
--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot)	BENCHMARK
--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot-dot)	RECORDED DIMENSIONS
--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	CURVE SEGMENT NUMBER

--- (Solid)	POWER POLE
--- (Dashed)	POWER POLE W/DROP
--- (Dash-dot)	POWER POLE W/TRANS
--- (Dash-dot-dot)	POWER POLE W/LIGHT
--- (Dash-dot-dot-dot)	GUY POLE
--- (Dash-dot-dot-dot-dot)	LIGHT POLE
--- (Dash-dot-dot-dot-dot-dot)	SANITARY MANHOLE
--- (Dash-dot-dot-dot-dot-dot-dot)	FIRE HYDRANT
--- (Dash-dot-dot-dot-dot-dot-dot-dot)	WATER VALVE
--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot)	DRAINAGE MANHOLE
--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot-dot)	CURB INLET
--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	FENCE LINE
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--- (Dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	CONTOUR LINES (1' INTERVAL)
--- (Dash-dot)	PROPOSED GROUND
--- (Dash-dot)	EXISTING TREE LINE
--- (Dash-dot)	EXISTING DECIDUOUS TREE & SHRUB
--- (Dash-dot)	EXISTING EVERGREEN TREES & SHRUBS

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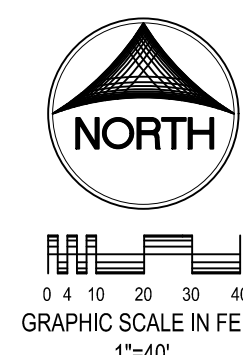


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# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY: MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT: BBO LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY: JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240

- SHEET INDEX**
- C120 OVERALL SITE LAYOUT AND DIMENSION PLAN
  - C121 DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
  - C122 DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
  - C140 GRADING AND EROSION CONTROL PLAN AND SWPPP
  - C141 DETAILED GRADING PLAN - NORTH HALF
  - C142 DETAILED GRADING PLAN - SOUTH HALF
  - C160 UTILITY PLAN: SANITARY AND WATER
  - C161 UTILITY PLAN: STORM AND ELECTRIC
  - CD100 EXISTING FEATURES AND DEMOLITION PLAN
  - C500 GENERAL NOTES AND DETAILS
  - C501 GENERAL NOTES AND DETAILS
  - L100 LANDSCAPE PLAN

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/232-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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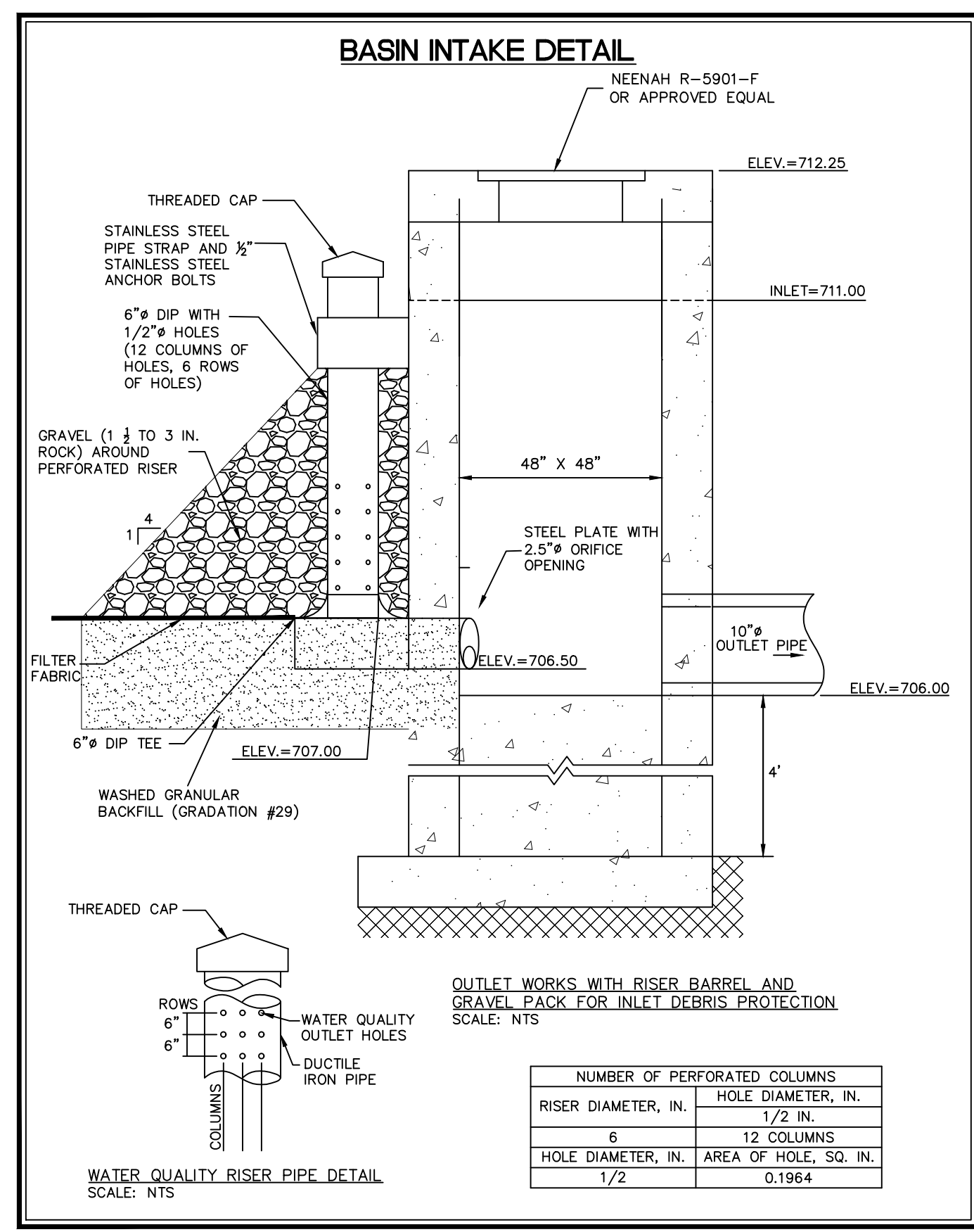
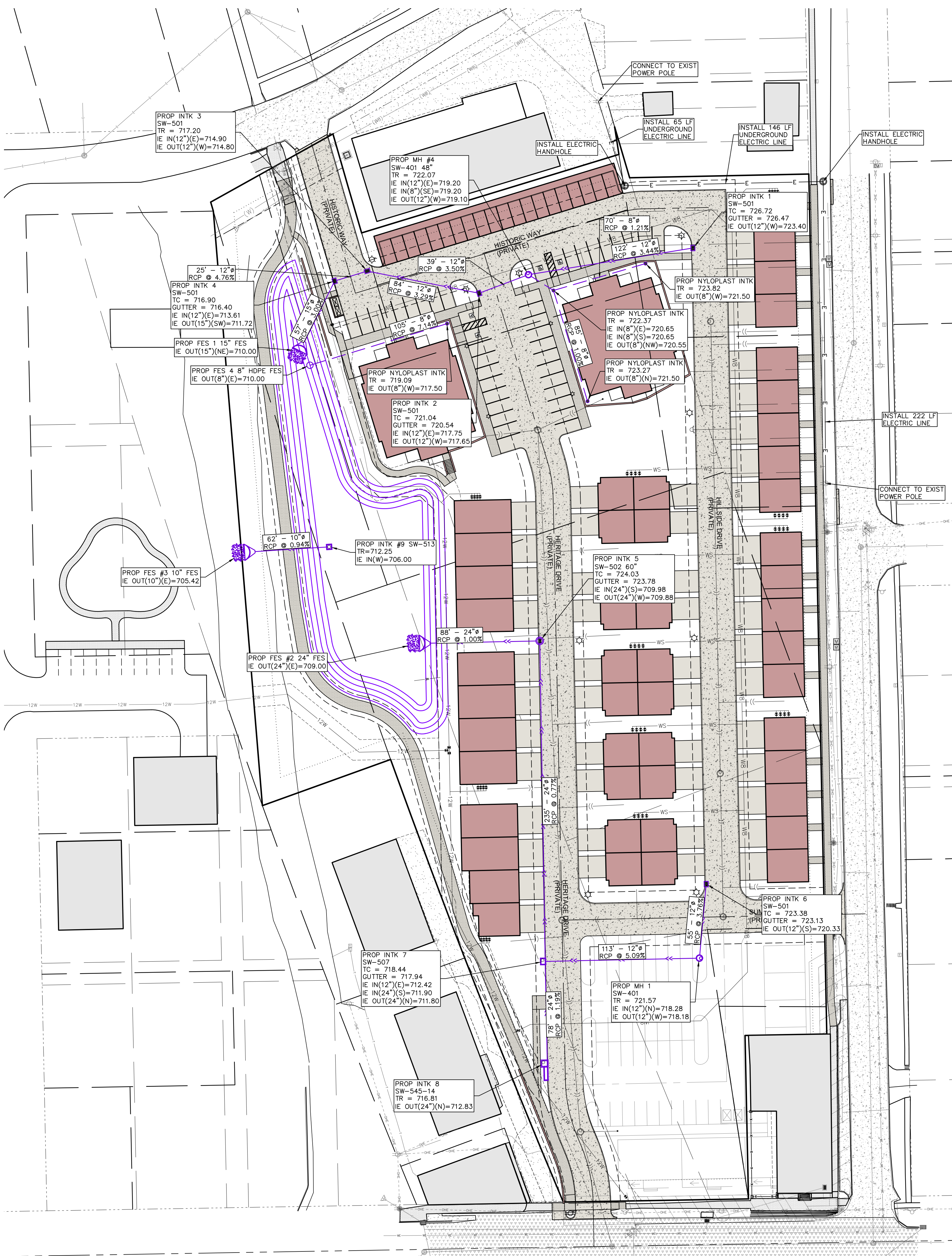
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- CURVE SEGMENT NUMBER

**EXISTING**

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- POWER POLE W/DROP
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## UTILITY PLAN: STORM AND ELECTRIC

## HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.  
Date: 08-04-22  
Designed by: KLC Field Book No: 1343, PG 39  
Drawn by: TAV Scale: 1"=40'  
Checked by: KJB Sheet No:  
Project No: C161  
11186-002 of:



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EXISTING FEATURES AND DEMOLITION PLAN

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG 39

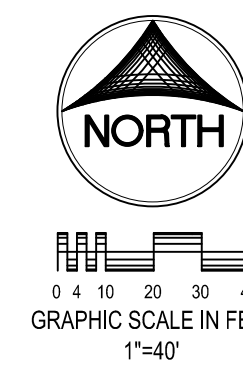
Drawn by: TAV Scale: 1"=40'

Checked by: KJB Sheet No:

Project No: CD100

11186-002 of:

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BBOCO LLC  
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**IOWA ONE CALL**

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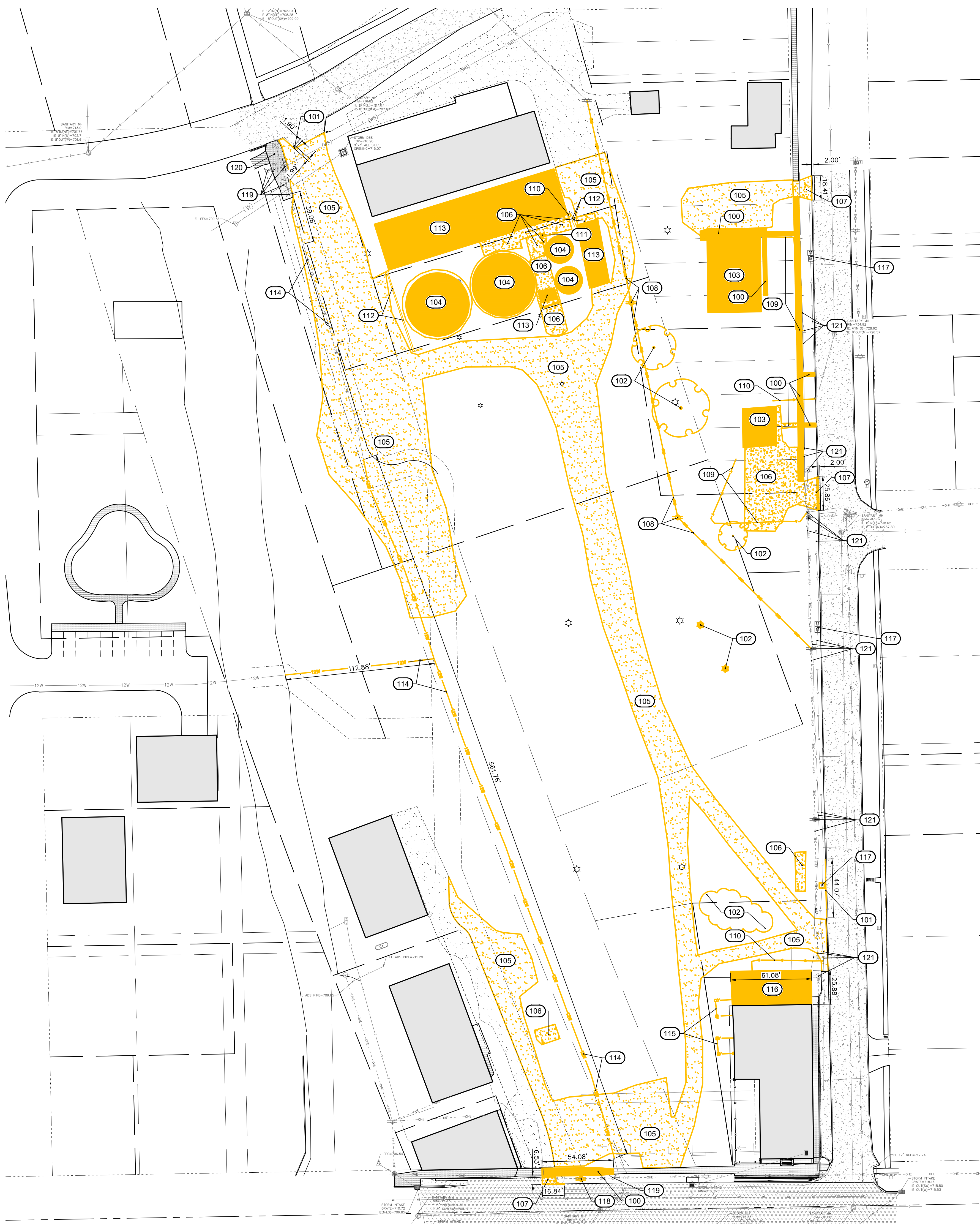
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**DEMOLITION KEYNOTES**

NUMBER	KEYNOTE
100	REMOVE CONCRETE SIDEWALK TO THE NEAREST JOINT.
101	GRIND 6" CURB LINE.
102	REMOVE TREES AND TREE CLUSTERS
103	REMOVE EXISTING RESIDENTIAL HOUSE
104	REMOVE EXISTING BINS AND FOOTINGS
105	REMOVE ROCK DRIVE.
106	REMOVE CONCRETE PAVING AND ANY ROCK SUB-BASE UNDERNEATH THE PAVING.
107	REMOVE CONCRETE DRIVE ALONG WITH 2' STREET CURB AND GUTTER SECTION ADJOINING DRIVE. REPLACEMENT NOTED ON SHEETS C121 & 122.
108	REMOVE POWER POLES AND LINES. TO BE DONE BY OTHERS. TO BE REPLACED BY UNDERGROUND LINE IN NEW LOCATION. (SEE C161)
109	REMOVE TELEPHONE SERVICE LINES AND STRUCTURES. TO BE DONE BY OTHERS.
110	REMOVE EXISTING GAS SERVICE LINES AND VALVES. TO BE DONE BY OTHERS.
111	REMOVE EXISTING STEPS.
112	REMOVE EXISTING RETAINING WALLS
113	REMOVE EXISTING GRAIN ELEVATOR BUILDINGS
114	REMOVE EXISTING WATER MAIN. TO BE REPLACED IN NEW LOCATION. (SEE C160)
115	REMOVE EXISTING FENCE.
116	REMOVE EXISTING BUILDING TO PARTY WALL.
117	REMOVE EXISTING MAILBOXES ASSOCIATED WITH PROPOSED PROPERTY. MAILBOXES FOR THE ADJOINING SIDE OF THE STREET ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
118	REMOVE AND RELOCATE POWER POLE. TO BE DONE BY OTHERS. FOR NEW LOCATION OF POLE SEE C161)
119	PROTECT EXISTING FIRE HYDRANT AND WATER VALVES DURING CONSTRUCTION.
120	EXISTING HOOVER TRAIL EXTENSION. PROTECT DURING CONSTRUCTION.
121	PROTECT EXISTING ABOVEGROUND UTILITY FEATURES AND UTILITY MAINS DURING CONSTRUCTION.





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GENERAL NOTES AND DETAILS

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22  
Designed by: KLC Field Book No: 1343, PG.39  
Drawn by: TAV Scale: N/A  
Checked by: KJB Sheet No:  
Project No:

C500

11186-002 of

SANITARY SEWER AND WATERMAIN NOTES

- SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2018) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.2.01.E), CONTECH 4-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- WATER MAINS SHALL PVC DR-18 PIPE.
- CONTRACTOR TO PROVIDE FERNOCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHOWN ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN FEET OF PAVING ARE TO BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
  - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
  - WILL NOT SHOW STEPS.
  - WILL HAVE EXTERNAL CHIMNEY SEAL BY INFILSHED UNIBAND, CRETEX, OR APPROVED EQUAL.
  - WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
  - WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED. IE: WOOD, BRICK, ROCKS, ETC.
  - WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
- TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
  - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
  - THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
  - ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING.

AIR TESTING

- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
 

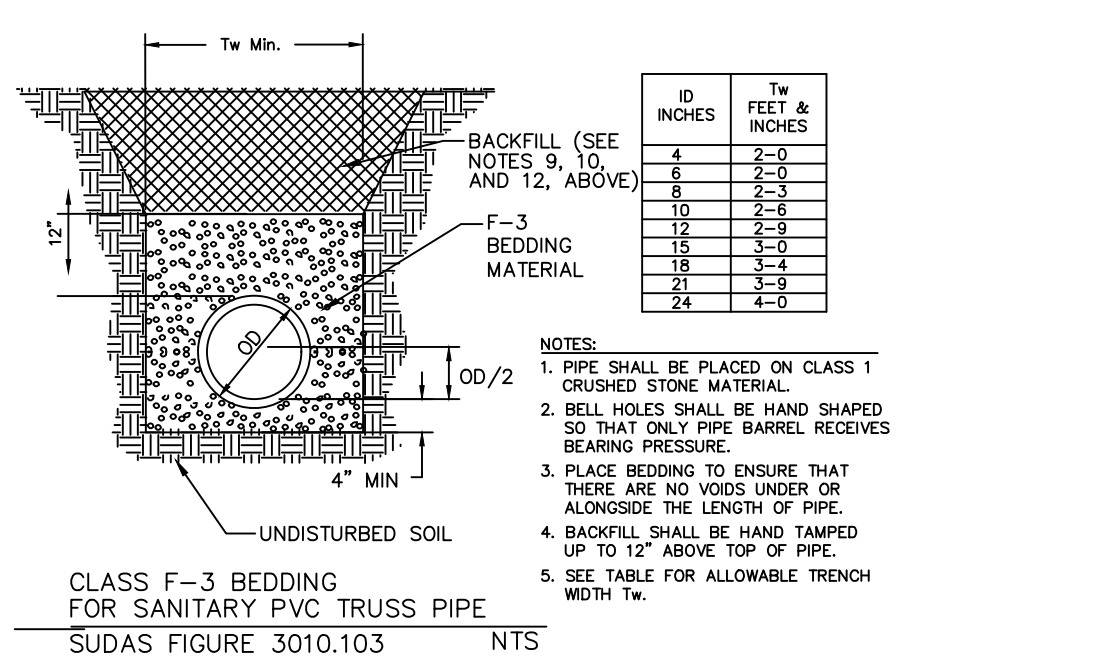
NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.

  - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
  - PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
  - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psig & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
  - LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
  - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
  - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5

- IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.5 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.
- LOCATE, REPAIR AND RETEST LEAKS.

- AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
  - ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
    - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
    - DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
    - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



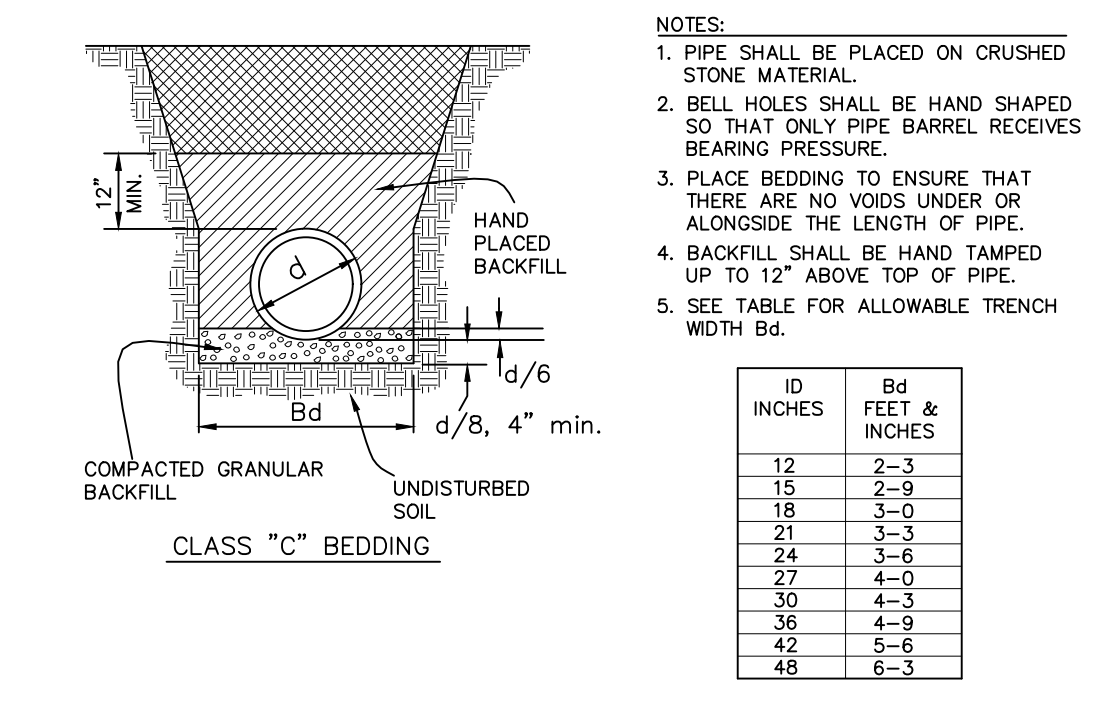
- THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED:
- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
  - WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
  - VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
  - WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
  - NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
  - EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
  - THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 PSI FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 PSI.
  - WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
  - FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
  - BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
  - ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIAL ADDITIVE INCORPORATED IN THE CONCRETE MIX.

- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

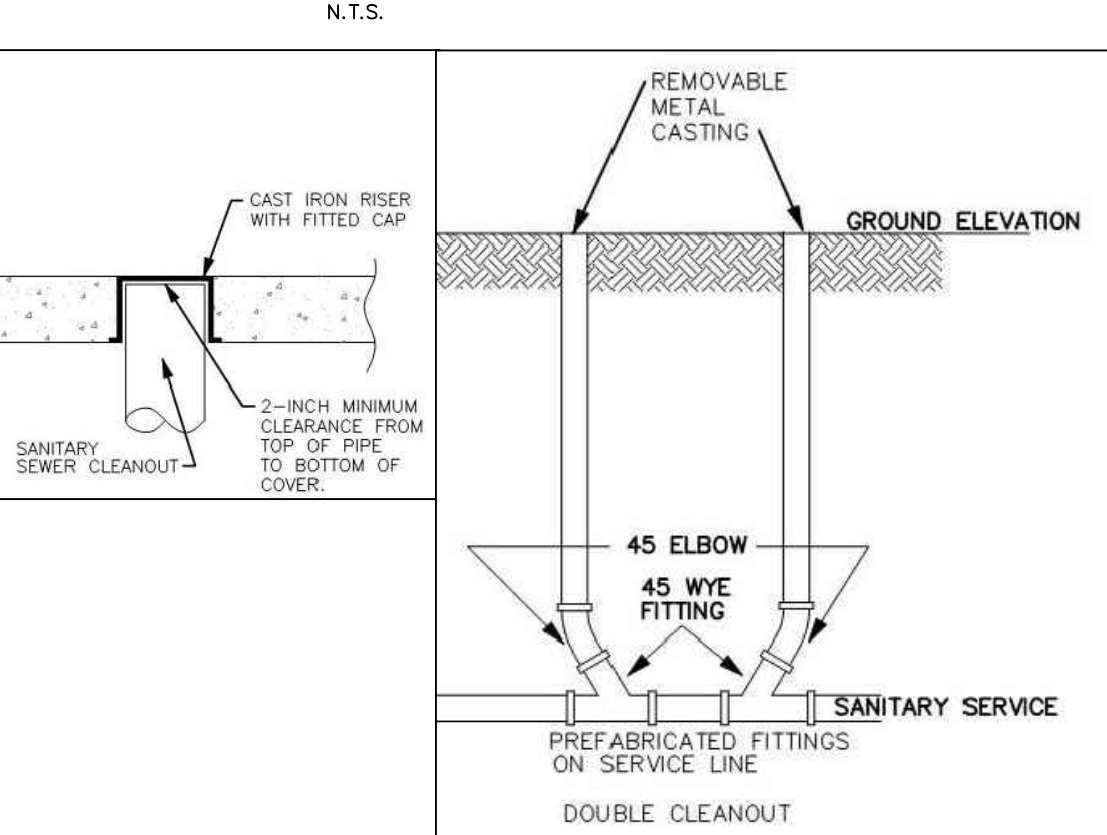
STORM SEWER NOTES

- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- STORM SEWERS SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
  - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

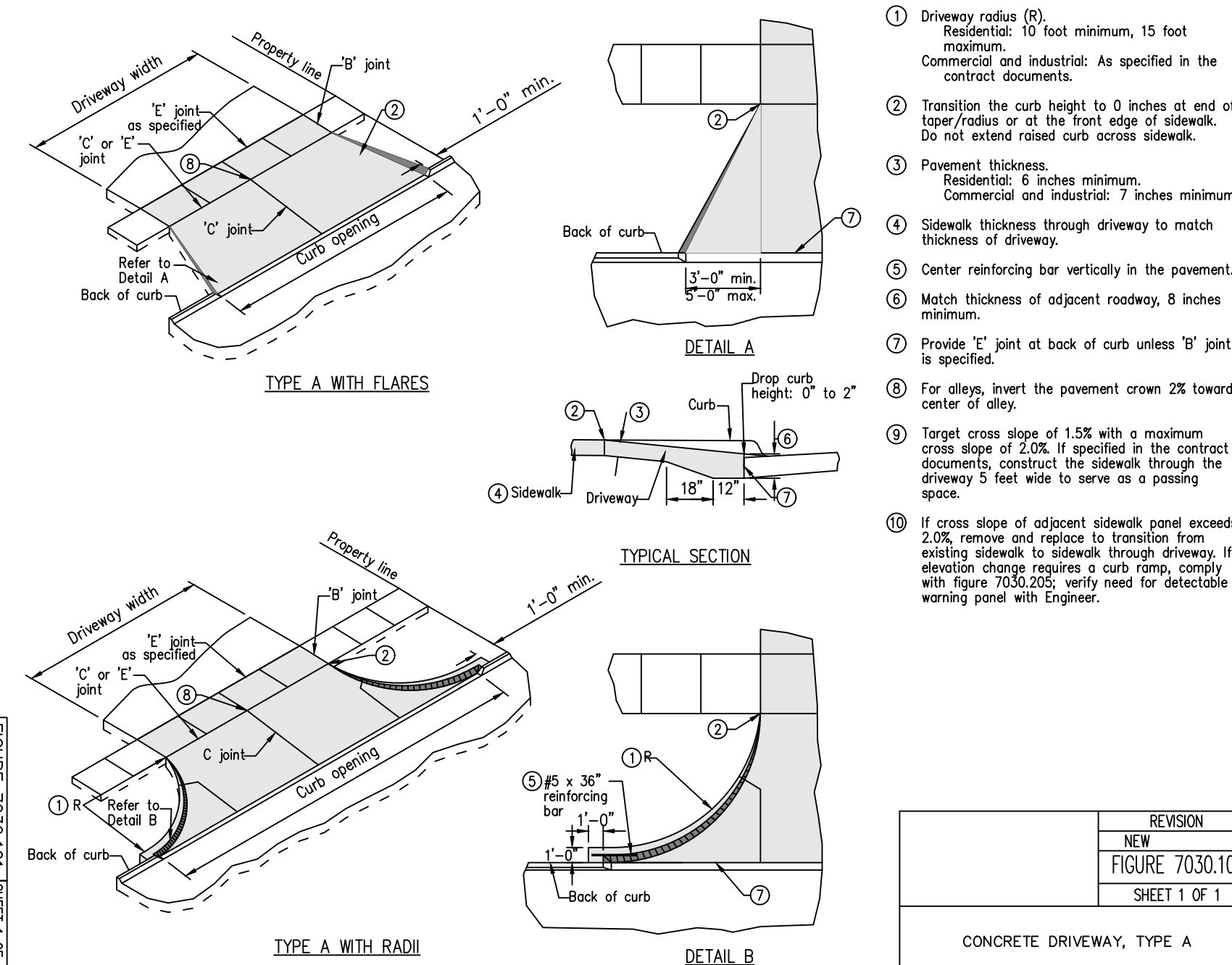


SIAMESE DETAIL



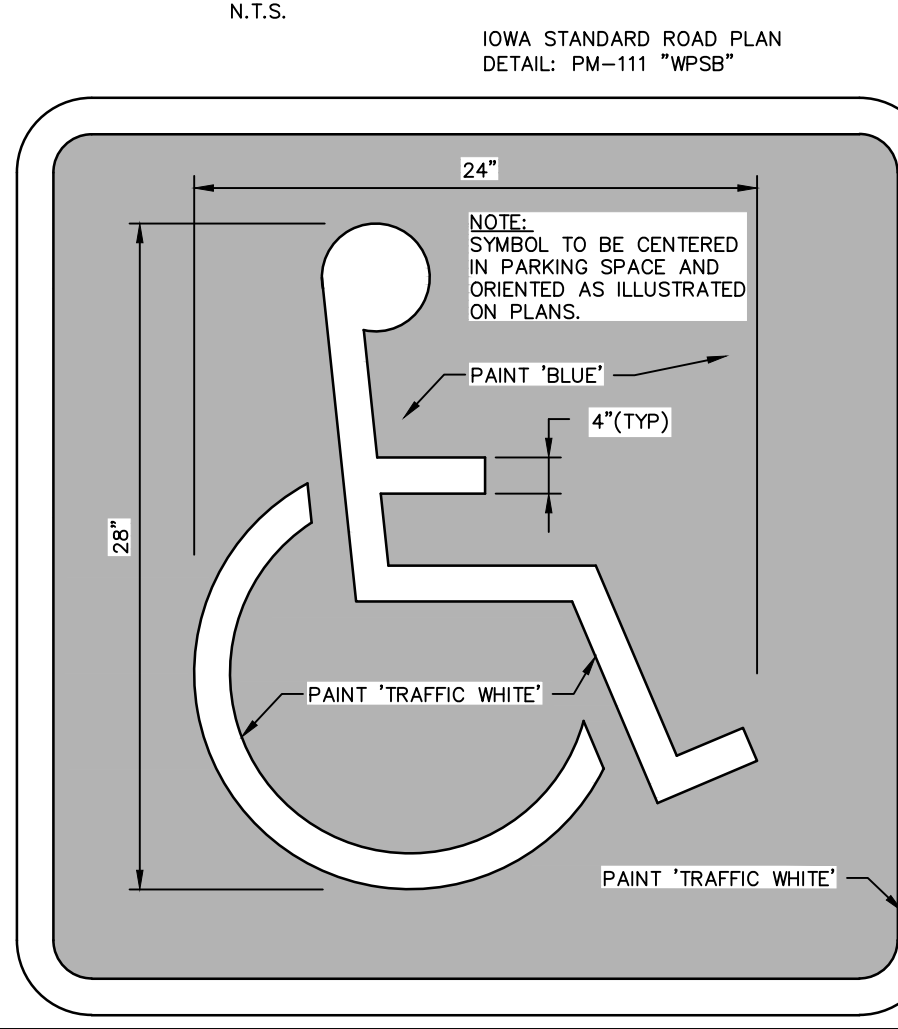
SHEET INDEX

C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
C122	DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
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C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
CD100	EXISTING FEATURES AND DEMOLITION PLAN
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

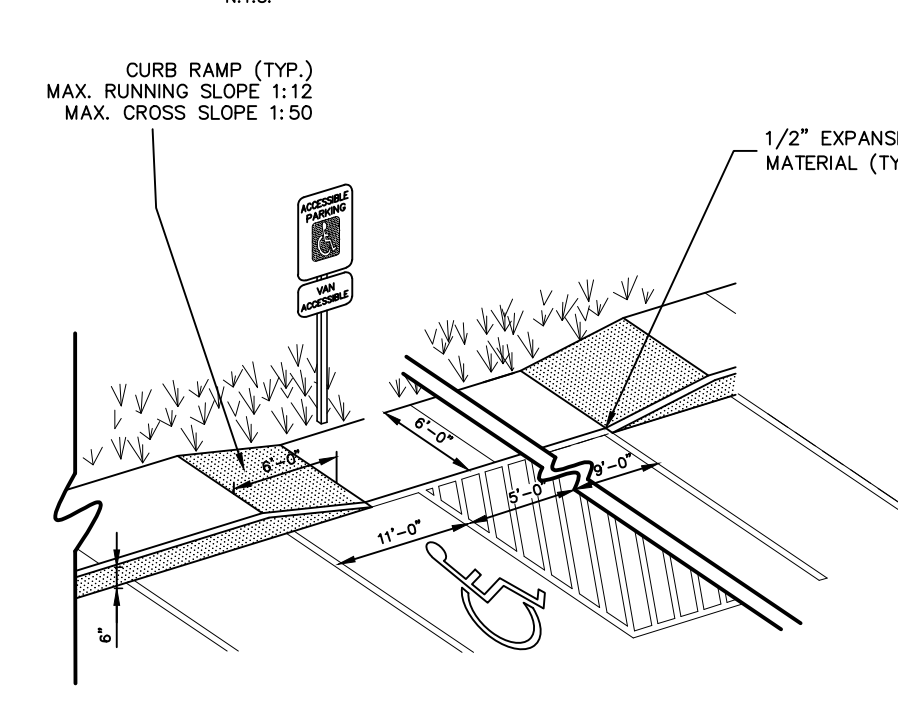


REVISION
NEW
FIGURE 7030.101
SHEET 1 OF 1

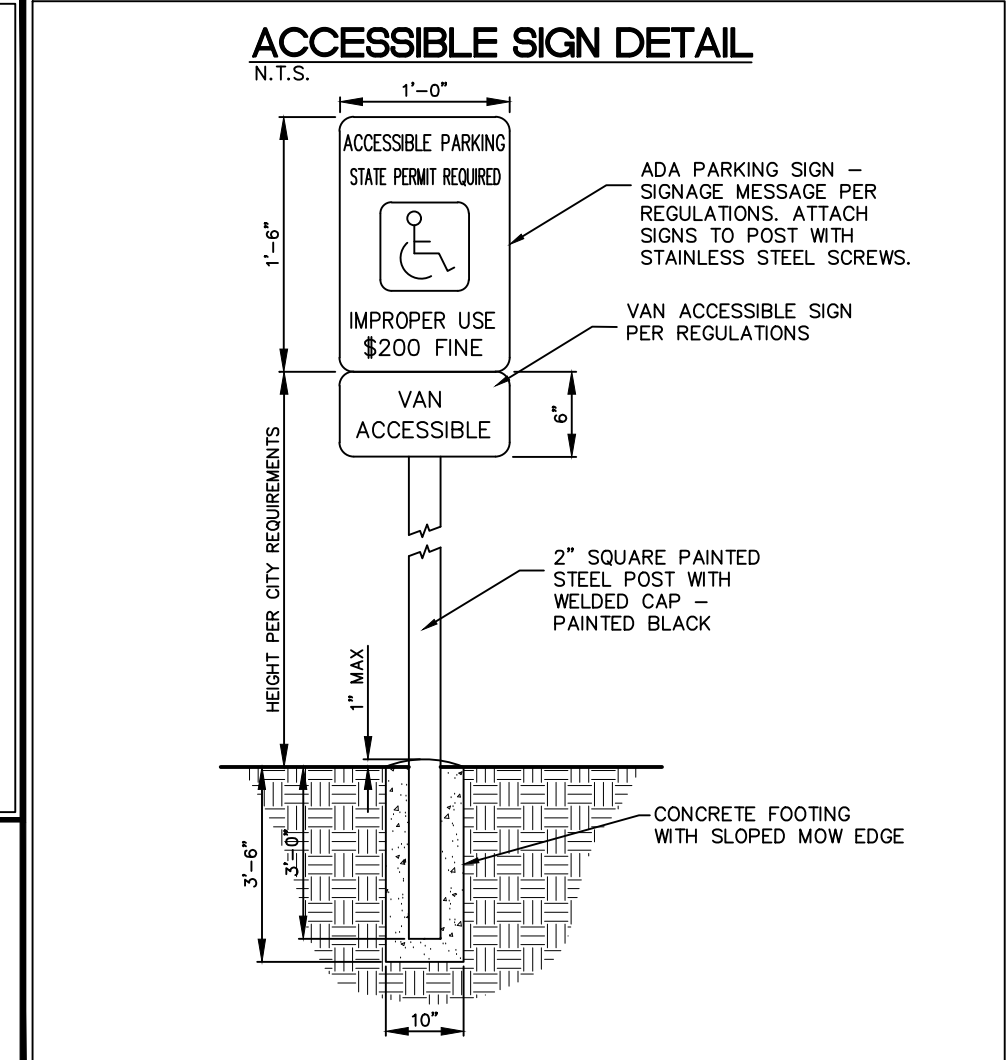
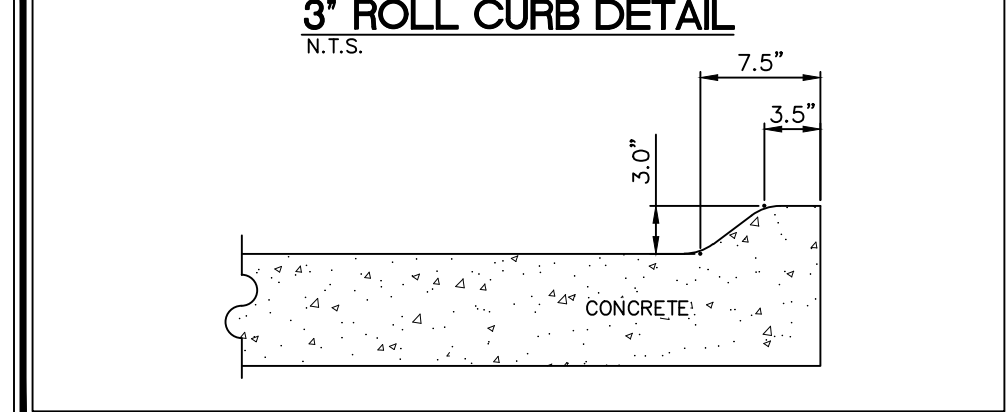
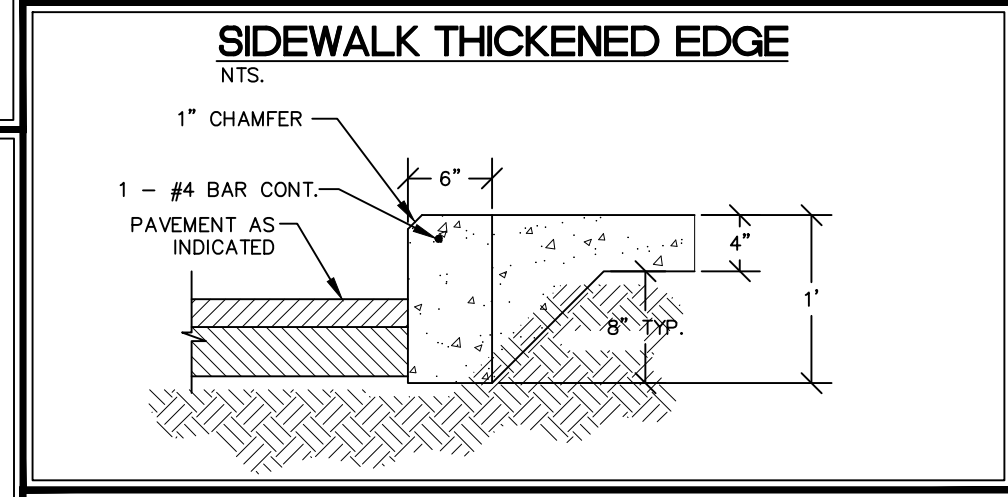
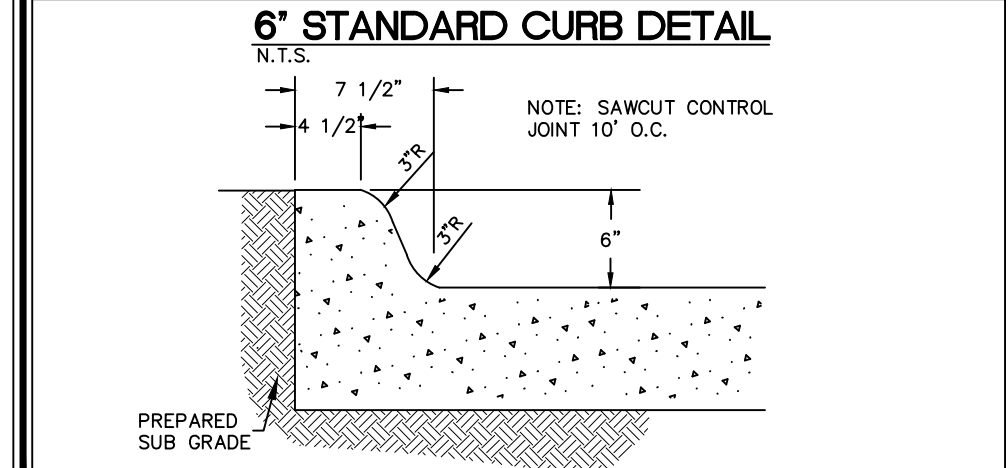
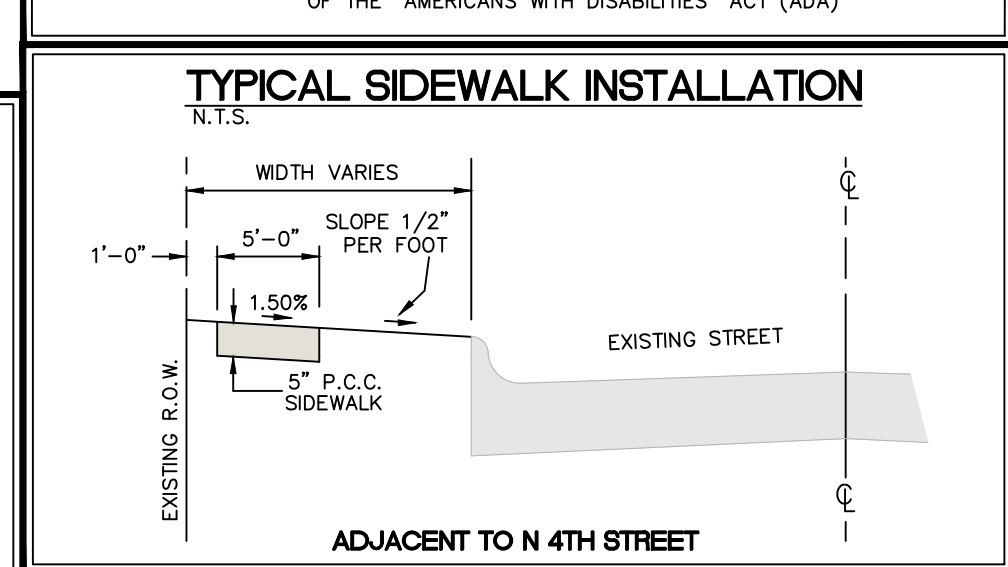
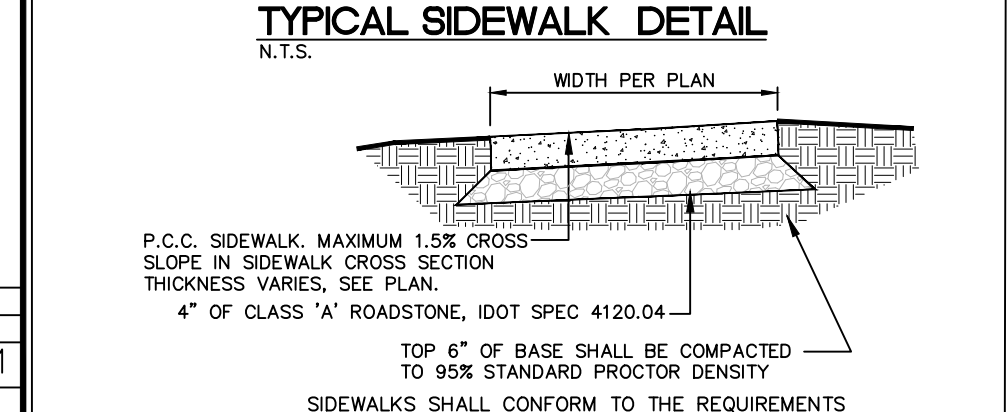
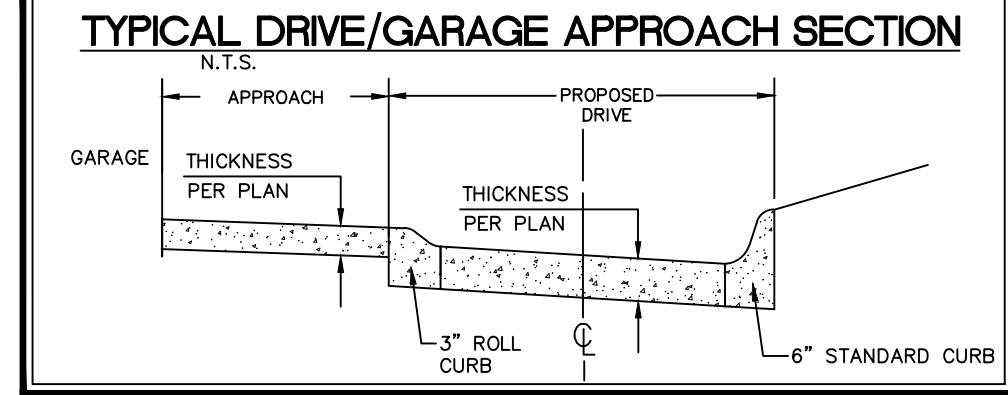
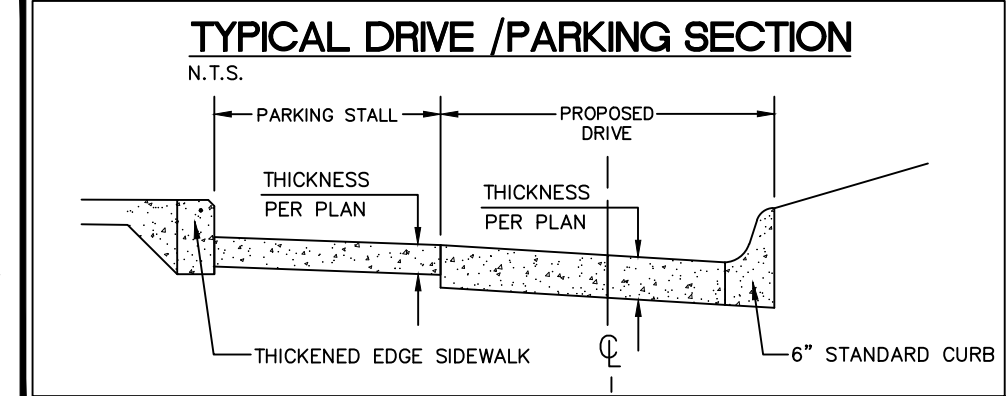
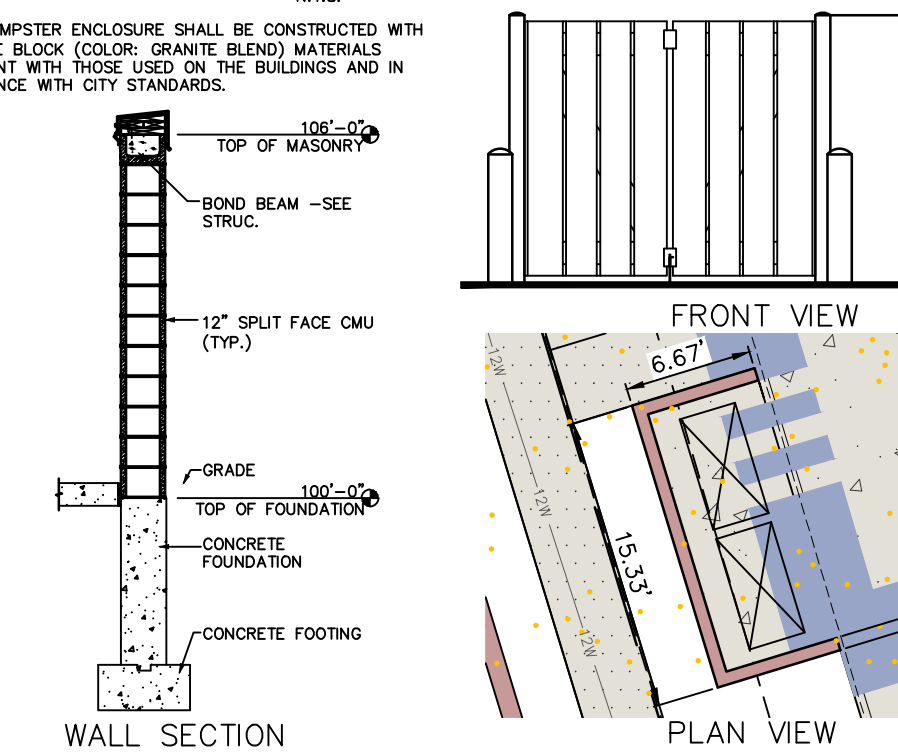
ACCESSIBLE PARKING SYMBOL



ACCESSIBLE PARKING DETAIL



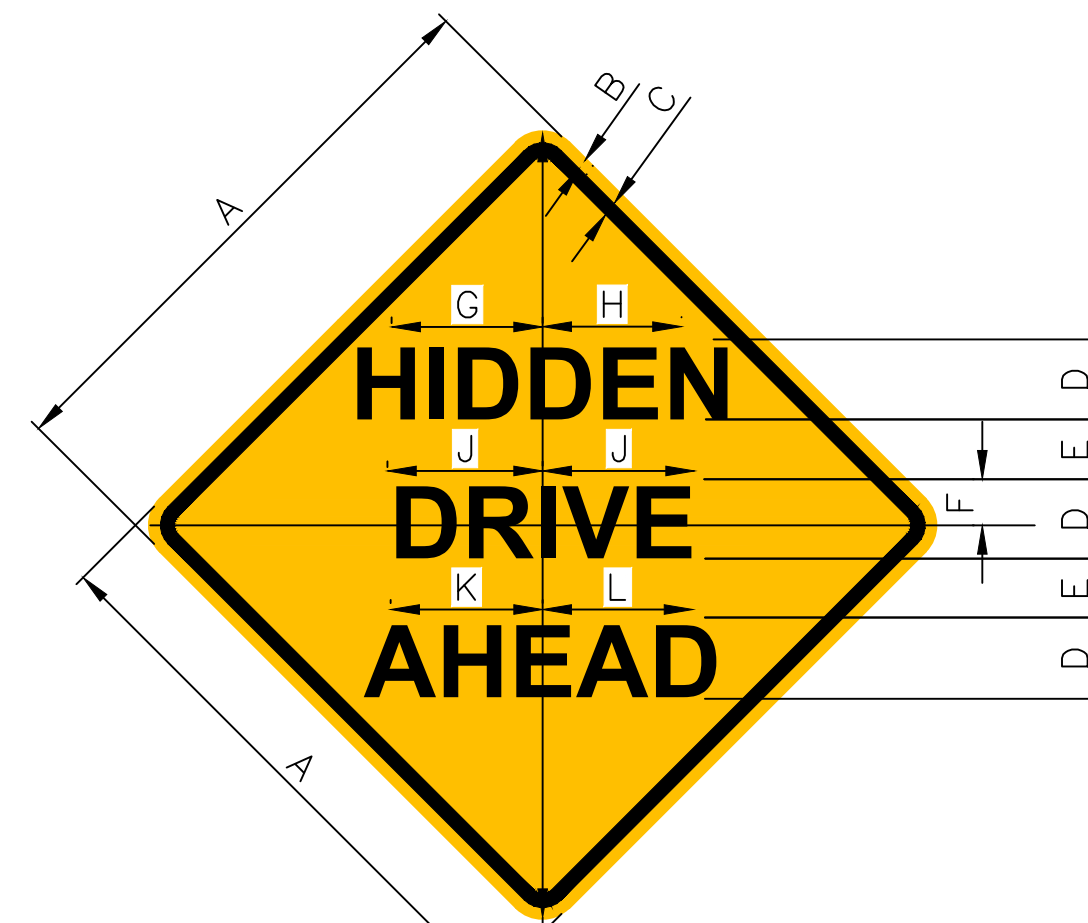
TRASH ENCLOSURE DETAIL





CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

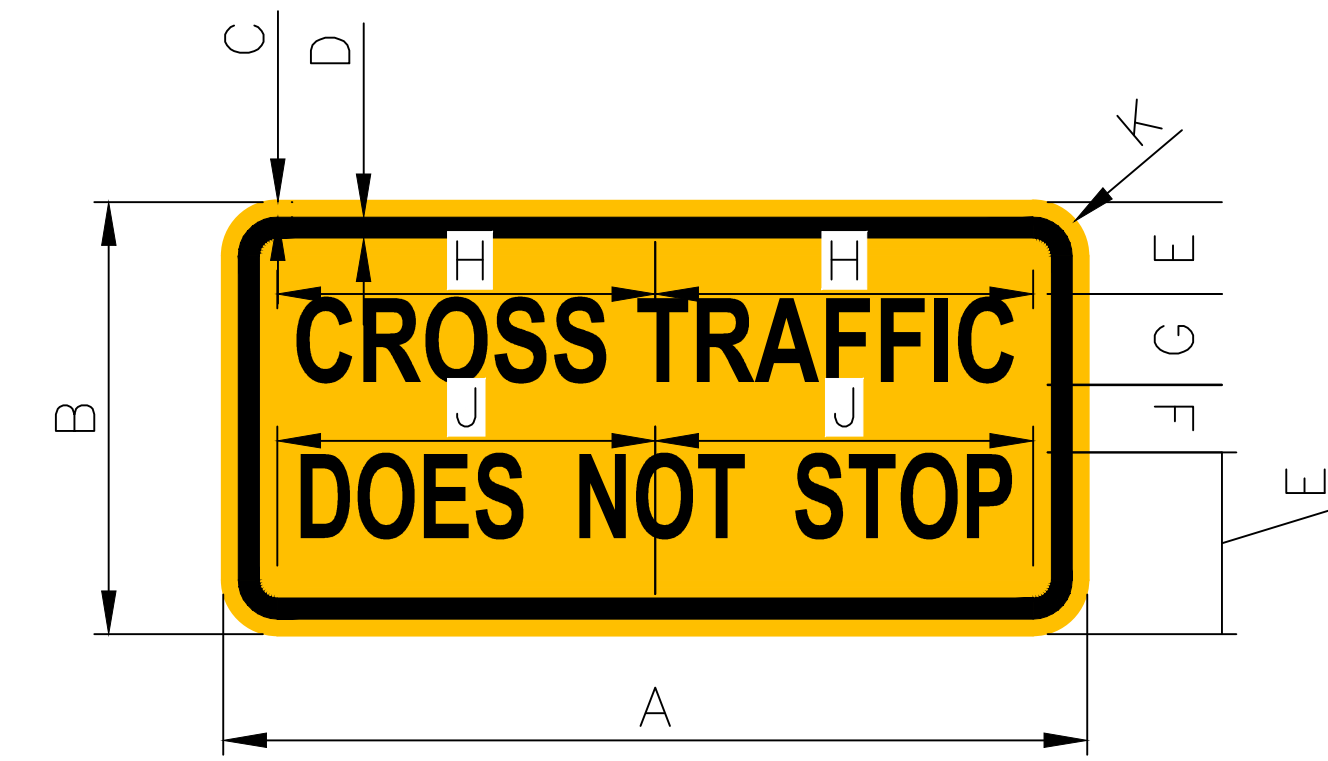
1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net



K-6530  
36"x36"

A	B	C	D	E	F	G	H	J	K	L	M
24	.375	.625	4D	3	2	4.803	6	9.747	5.844	5.724	1.5
30	.5	.75	5D	3.802	2.601	5.764	7.765	12.189	7.285	7.165	1.875
36	.625	.875	6D	4.483	3	6.845	9.367	14.631	8.886	8.446	2.25
48	.75	1.25	7D	5.243	3.522	8.326	10.608	17.052	10.167	10.047	3

COLORS: LEGEND — BLACK  
BACKGROUND— YELLOW (RETROREFLECTIVE)



W4-4p  
36" x 18"

MUTCD W4-4B SIGN

A	B	C	D	E	F	G	H	J	K	L	M	N	
24	12	.375	.625	3	2.25	C	1.5	9.314	9.63	1.5	10.106	9.779	2.25
30	15	.5	.75	3.5	3	C	2	12.423	12.423	1.875	12.902	13.039	3
36	18	.625	.875	4	3.5	C	3	14.487	14.978	2.25	15.721	15.212	3.5
48	24	.75	1.25	5.5	4.5	C	4	18.628	19.259	3	20.214	19.56	4.5

COLORS: LEGEND — BLACK  
BACKGROUND— YELLOW (RETROREFLECTIVE)

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC
9/13/22	BASIN REVISION - KJC
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7/25/24	REVIEW REVISIONS - ADP
8/28/24	PER CITY COMMENTS - HEH

GENERAL NOTES AND DETAILS

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

SHEET INDEX

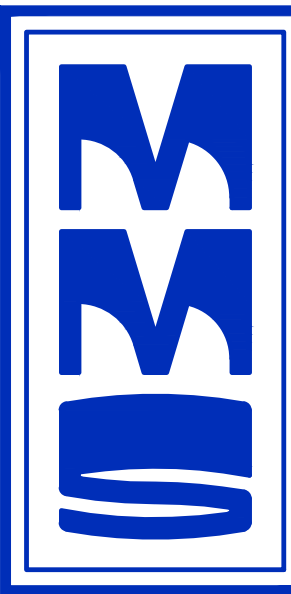
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L100	LANDSCAPE PLAN

MMS CONSULTANTS, INC.

Date:	08-04-22
Designed by:	KLC
Field Book No.:	1343, PG 39
Drawn by:	TAV
Scale:	N/A
Checked by:	KJB
Sheet No.:	

Project No: C501  
of:

11186-002



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

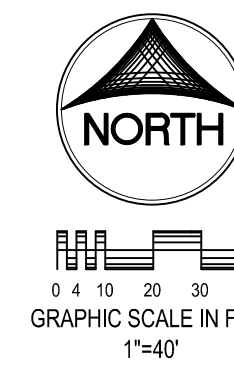
1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BBO LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240



### LANDSCAPE LEGEND



### LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED:  
25% OF TOTAL LOT AREA SHALL BE OPEN SPACE  
25% (82 SF X 0.25 = 20.5 SF REQUIRED)  
64,542 SF REQUIRED OPEN SPACE  
(64,542 / 1,000 = 64.542 SF PROVIDED)

LANDSCAPING REQUIRED:  
TWO PER 1,000 SF OF REQUIRED OPEN SPACE  
(64,542 / 1,000 = 64.542 TREES)

1 SHRUB PER 1,000 SF OF REQUIRED OPEN SPACE  
(64,542 / 1,000 = 64 SHRUBS)

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
TREES	AK	6	Aster raietum 'Autumn Flame'	Autumn Flame Red Maple	2" Cal.	B&B	50' x 40'
	BN	4	Betula nigra	River Birch	2" Cal.	B&B	40' x 40'
	CC	5	Cercis canadensis	Eastern Redbud	1.5" Cal.	B&B	30' x 25'
	GT	4	Gladiolus trichostachyus 'Tajador' TM	Styrene Thornless Honey Locust	2" Cal.	B&B	35' x 25'
	LT	4	Lindulobos latifolia	Tulip Poplar	2" Cal.	B&B	60' x 30'
	MP	2	Malus x 'Phenice'	Phenice Crabapple	1.5" Cal.	B&B	15' x 15'
	QB	3	Quercus bicolor	Swamp White Oak	2" Cal.	B&B	50' x 50'
	QR	4	Quercus rubra	Red Oak	2" Cal.	B&B	50' x 50'
	SR	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	20' x 15'
	MP	2	Malus x 'Phenice'	Phenice Crabapple	1.5" Cal.	B&B	15' x 15'
SR	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	20' x 15'	
SHRUBS	CA	21	Calluna vulgaris 'acutifolia' 'Karl Foerster'	Karl Foerster Feather Reed Grass	24" Ht.	Container	4' x 2.5'
	MS	19	Macarostachya americana 'Gracilior'	Silba Grass	15" Ht.	Container	4' x 4'
	FV	72	Fragaria virginiana 'Francis Pine'	Francis Pine Dutch Grass	24" Ht.	Container	4' x 3'
	TM	6	Taxus x media 'Densiformis'	Dense Yew	24" Ht.	Container	3' x 5'
	TO	33	Thuja occidentalis 'Eldorado' TM	Techniko Arborvitae	30" Ht.	Container	C x 2.5'
	VT	4	Viburnum trilobum 'Baby Compact'	Baby's Compact American Cranberry Bush	30" Ht.	Container	C x 5'

### STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

- EXIST - POWER POLE
- PROP - POWER POLE W/DROP
- EXIST - POWER POLE W/TRANS
- PROP - POWER POLE W/TRANS
- EXIST - GUY POLE
- PROP - GUY POLE
- EXIST - LIGHT POLE
- PROP - LIGHT POLE
- EXIST - SANITARY MANHOLE
- PROP - SANITARY MANHOLE
- EXIST - FIRE HYDRANT
- PROP - FIRE HYDRANT
- EXIST - WATER VALVE
- PROP - WATER VALVE
- EXIST - DRAINAGE MANHOLE
- PROP - DRAINAGE MANHOLE
- EXIST - CURB INLET
- PROP - CURB INLET
- EXIST - FENCE LINE
- PROP - FENCE LINE
- EXIST - EXISTING SANITARY SEWER
- PROP - PROPOSED SANITARY SEWER
- EXIST - EXISTING STORM SEWER
- PROP - PROPOSED STORM SEWER
- EXIST - WATER LINES
- PROP - WATER LINES
- EXIST - ELECTRICAL LINES
- PROP - ELECTRICAL LINES
- EXIST - TELEPHONE LINES
- PROP - TELEPHONE LINES
- EXIST - GAS LINES
- PROP - GAS LINES
- EXIST - CONTOUR LINES (1' INTERVAL)
- PROP - PROPOSED GROUND
- EXIST - EXISTING TREE LINE
- PROP - EXISTING DECIDUOUS TREE & SHRUB
- PROP - EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC
9/13/22	BASIN REVISION - KJC
11/18/22	STREET NAMES AND EASEMENTS - TAV
3/20/23	REVIEW REVISIONS - LSS
7/28/24	REVIEW REVISIONS - ADP
8/28/24	PER CITY COMMENTS - HEH

### LANDSCAPE PLAN

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.  
Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG.39  
Drawn by: TAV Scale: 1"=40'  
Checked by: KJB Sheet No:

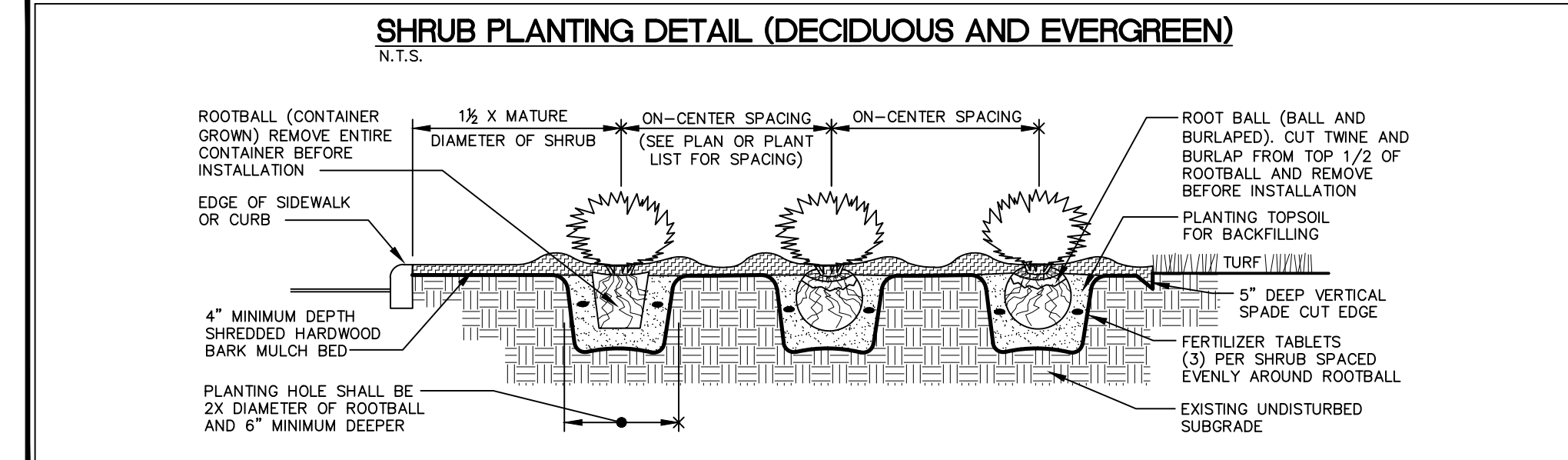
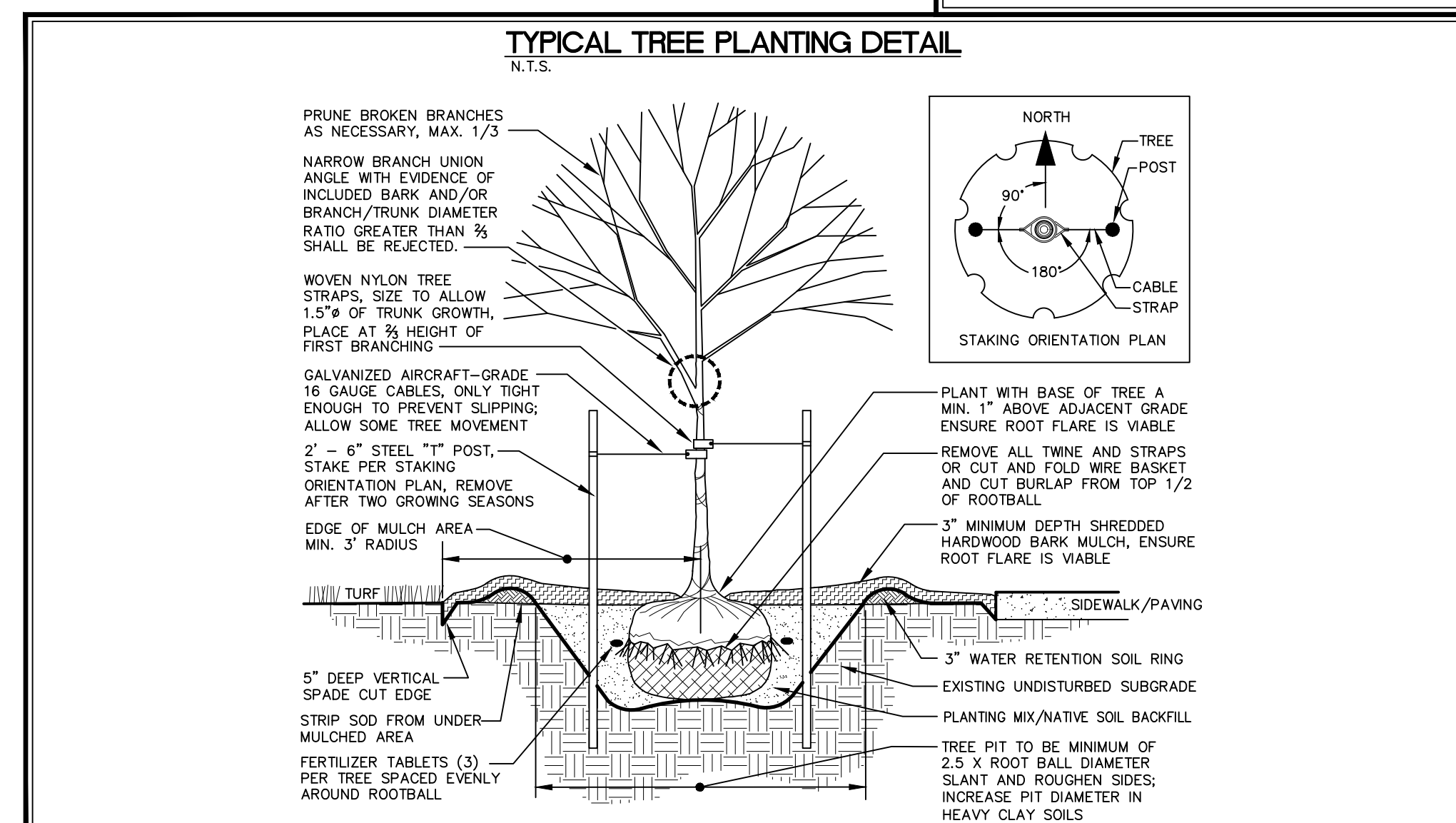
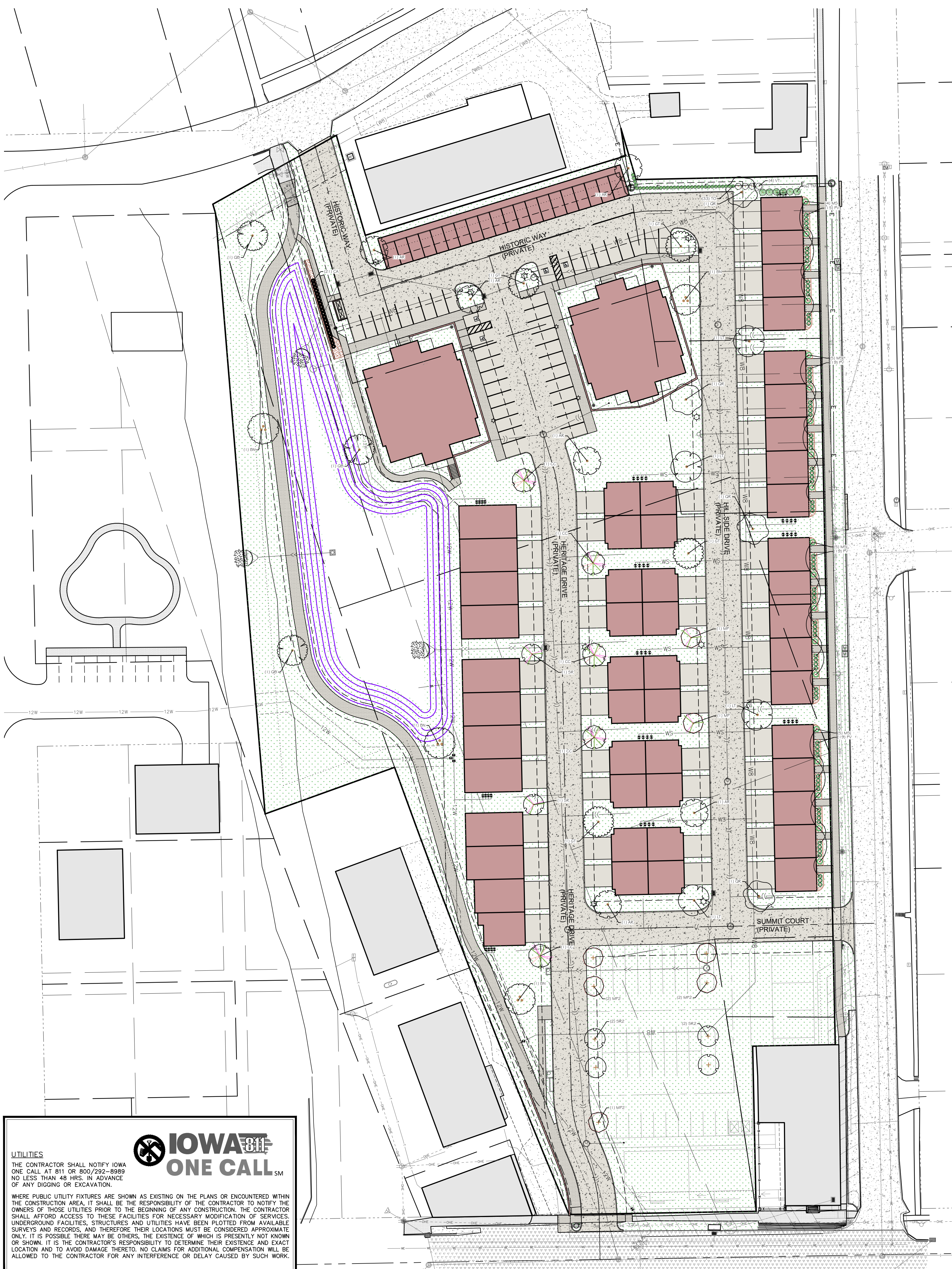
Project No: L100

11186-002 of

**IOWA ONE CALL**  
SM

UTILITIES  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8899 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



# FINAL PLAT

## A RESUBDIVISION OF LOT 1 OF HERITAGE HILL SUBDIVISION

# HERITAGE HILL SUBDIVISION - PART TWO

## SHEET 1 OF 2

### WEST BRANCH, CEDAR COUNTY, IOWA

DESCRIPTION - HERITAGE HILL SUBDIVISION - PART TWO

<b>LOCATION:</b> LOT 1 OF HERITAGE HILL SUBDIVISION LOCATED IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA	<b>SUBDIVIDER:</b> BBCC LLC 32 HUMMINGBIRD LANE IOWA CITY, IOWA 52245-9258
<b>LAND SURVEYOR:</b> RICHARD R. NOWOTNY P.L.S. MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	<b>SUBDIVIDER'S ATTORNEY:</b> JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IOWA 52240
<b>DATE OF SURVEY:</b> 05-16-2022	<b>PROPRIETOR OR OWNER:</b> BBCC LLC 32 HUMMINGBIRD LANE IOWA CITY, IOWA 52245-9258
	<b>DOCUMENT RETURN INFORMATION:</b> ATTORNEY

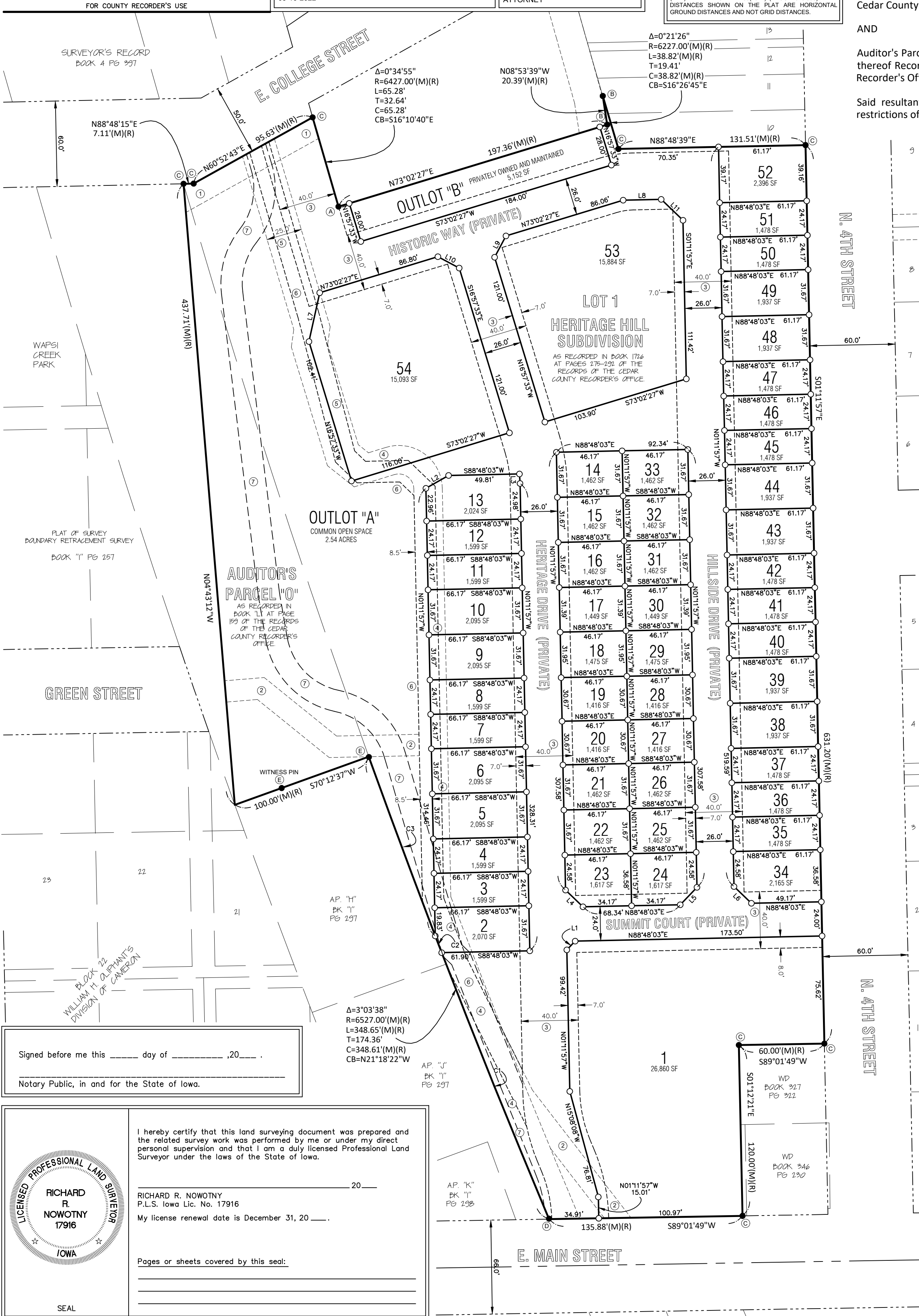
**NOTES:**  
 1) BEARINGS ARE BASED ON IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, LIBRARY CALIBRATION, UTILIZING THE IOWA REAL TIME NETWORK (RTN) WITH DATUM NAD83(2011) (EPOCH2010.000). THE DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES AND NOT GRID DISTANCES.

Lot 1 of Heritage Hill Subdivision to West Branch, Iowa, in accordance with the Plat thereof Recorded in Book 1726 at Pages 275-292 of the Records of the Cedar County Recorder's Office.

AND

Auditor's Parcel "O" located in West Branch, Iowa, in accordance with the Plat thereof Recorded in Book "L" at Page 159 of the Records of the Cedar County Recorder's Office.

Said resultant tract contains 5.90 Acres, and is subject to easements and restrictions of record.



LEGEND AND NOTES	
	CONGRESSIONAL CORNER, FOUND
	PROPERTY CORNER(S), FOUND (as noted)
	PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	EASEMENT LINES, WIDTH & PURPOSE NOTED
	EXISTING EASEMENT LINES, PURPOSE NOTED
	RECORDED DIMENSIONS
	MEASURED DIMENSIONS
	CURVE SEGMENT NUMBER

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS  
 ERROR OF CLOSURE IS LESS THAN 1 FOOT IN 10,000 FEET

CURVE SEGMENT TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	1°46'17"	6527.00'	201.79'	100.90'	201.79'	N21°57'03"W
C2	0°06'38"	6527.00'	12.58'	6.29'	12.58'	N21°00'35"W
C3	11°0'43"	6527.00'	134.27'	67.14'	134.27'	N20°21'55"W
C4	55°11'21"	54.00'	52.01'	28.22'	50.03'	N10°38'07"E
C5	45°11'02"	54.00'	42.58'	22.47'	41.49'	S15°38'17"W
C6	68°24'21"	54.00'	64.47'	36.70'	60.71'	S44°02'26"E
C7	62°23'56"	54.00'	58.81'	32.70'	55.95'	N47°02'39"W
C8	20°57'29"	95.89'	35.08'	17.74'	34.88'	N11°59'10"W
C9	0°24'36"	6519.50'	46.64'	23.32'	46.64'	S20°56'56"E

LINE SEGMENT TABLE		
LINE	LENGTH	BEARING
L1	8.49'	N43°48'03"E
L2	18.30'	N60°24'38"E
L3	6.70'	N03°24'16"W
L4	16.97'	N46°11'57"W
L5	16.97'	N43°48'03"E
L6	16.97'	N46°11'57"W
L7	35.10'	N12°23'17"E
L8	26.74'	N88°48'03"E
L9	16.97'	N28°02'27"E
L10	16.97'	S61°57'33"E
L11	21.21'	S46°11'57"E
L12	12.50'	S16°57'33"E
L13	213.58'	S08°57'14"E
L14	31.41'	S09°50'15"E
L15	143.30'	S16°26'31"E
L16	7.98'	N46°06'24"W
L17	15.82'	S46°11'57"E
L18	30.00'	N88°48'03"E
L19	20.00'	S46°11'57"E

EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
1	EXISTING 1500 FOOT PUBLIC UTILITY AND WATERMAIN EASEMENT
2	EXISTING 1500 FOOT PUBLIC WATERMAIN EASEMENT
3	EXISTING 4000 FOOT PRIVATE ACCESS AND UTILITY EASEMENT
4	EXISTING 1000 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT (TO BE RELEASED)
5	EXISTING 1500 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT (TO BE RELEASED)
6	15.00 FOOT WATERMAIN EASEMENT
7	15.00 FOOT PUBLIC TRAIL EASEMENT

SEE SHEET 2 OF 2 FOR EASEMENT DIMENSIONS

PROPERTY MONUMENTATION TABLE	
LABEL	DESCRIPTION
A	FOUND 5/8" REBAR W/ YELLOW PLASTIC LS CAP 13287
B	FOUND 5/8" REBAR W/ O LS CAP
C	FOUND 5/8" REBAR W/ YELLOW PLASTIC LS CAP 17916
D	FOUND 5/8" REBAR W/ ILLEGIBLE YELLOW PLASTIC LS CAP
E	FOUND 5/8" REBAR W/ YELLOW PLASTIC LS CAP 14233

PLAT/PLAN APPROVED	
by the City of West Branch	
Mayor	Date:
City Clerk	Date:
UTILITY EASEMENTS, AS SHOWN HEREON, ARE ADEQUATE FOR THE INSTALLATION AND MAINTENANCE OF THE FACILITIES REQUIRED BY THE FOLLOWING AGENCIES:	
ALLIANT ENERGY	Date:
LIBERTY COMMUNICATIONS	Date:
MEDIACOM	Date:

Signed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, in and for the State of Iowa.

**RICHARD R. NOWOTNY**  
P.L.S. Iowa Lic. No. 17916  
My license renewal date is December 31, 20\_\_\_\_.

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Pages or sheets covered by this seal: \_\_\_\_\_

**MMS CONSULTANTS, INC.**

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

**CIVIL ENGINEERS**  
**LAND PLANNERS**  
**LAND SURVEYORS**  
**LANDSCAPE ARCHITECTS**  
**ENVIRONMENTAL SPECIALISTS**

**FINAL PLAT**

HERITAGE HILL SUBDIVISION - PART TWO

WEST BRANCH CEDAR COUNTY IOWA

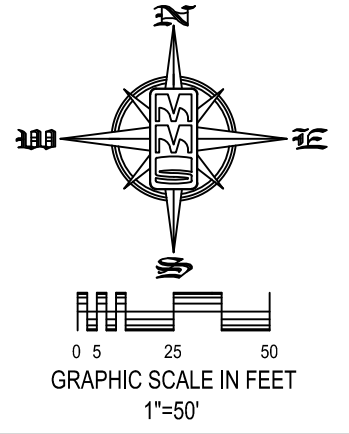
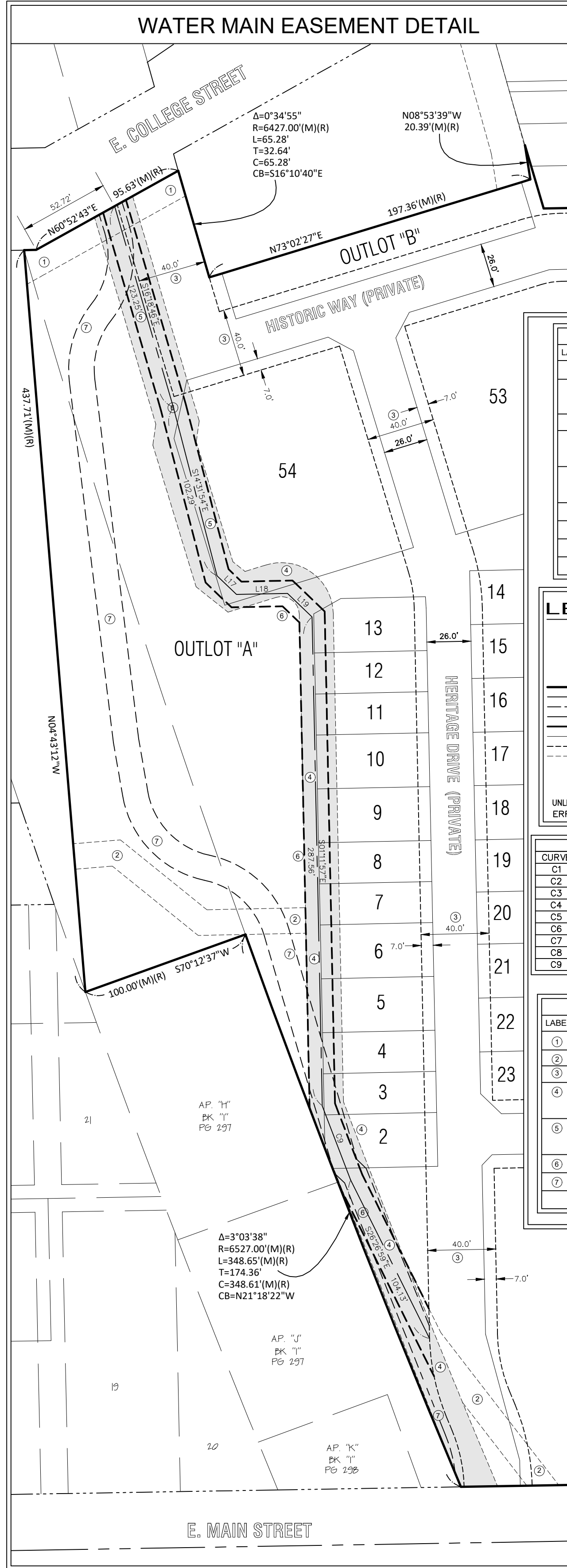
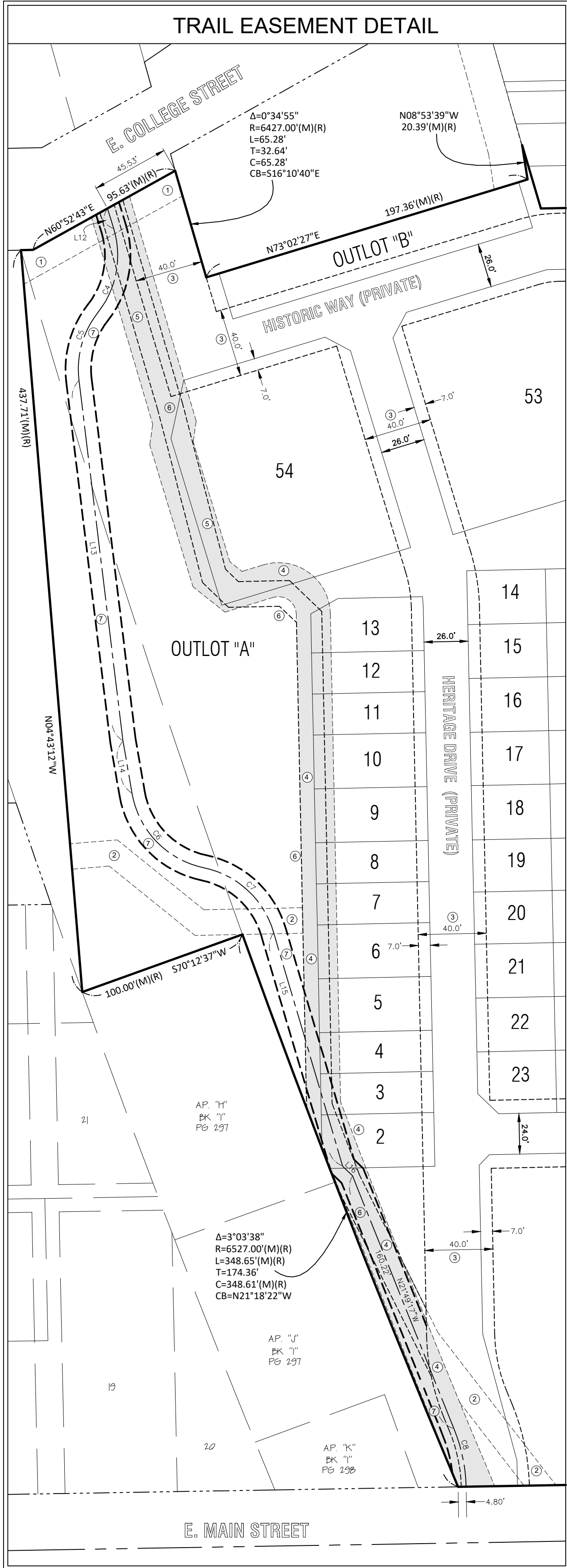
Date: 07-08-2024 PER RRN REVIEW - RLW  
08-27-2024 PER CITY COMMENTS - JDM

Drawn by: JDM  
Checked by: RLW  
Project No: RRN  
IOWA CITY

11186-004

# FINAL PLAT

A RESUBDIVISION OF LOT 1 OF HERITAGE HILL SUBDIVISION  
**HERITAGE HILL SUBDIVISION - PART TWO**  
 SHEET 2 OF 2  
 WEST BRANCH, CEDAR COUNTY, IOWA



EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
①	EXISTING 1500 FOOT PUBLIC UTILITY AND WATERMAIN EASEMENT
②	EXISTING 1500 FOOT PUBLIC WATERMAIN EASEMENT (TO BE RELEASED)
③	EXISTING 4000 FOOT PRIVATE ACCESS AND UTILITY EASEMENT (TO BE RELEASED)
④	EXISTING 1000 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT (TO BE RELEASED)
⑤	EXISTING 2500 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT (TO BE RELEASED)
⑥	15.00 FOOT WATERMAIN EASEMENT
⑦	15.00 FOOT PUBLIC TRAIL EASEMENT

SEE SHEET 2 OF 2 FOR EASEMENT DIMENSIONS

LEGEND AND NOTES	
	CONGRESSIONAL CORNER, FOUND
	PROPERTY CORNER(S), FOUND (as noted)
	PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	EASEMENT LINES, WIDTH & PURPOSE NOTED
	EXISTING EASEMENT LINES, PURPOSE NOTED
	RECORDED DIMENSIONS
	MEASURED DIMENSIONS
	CURVE SEGMENT NUMBER

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS  
 ERROR OF CLOSURE IS LESS THAN 1 FOOT IN 10,000 FEET

CURVE SEGMENT TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	1'46"17"	6527.00'	201.79'	100.90'	201.79'	N21'57"03"W
C2	0'06"38"	6527.00'	12.58'	6.29'	12.58'	N21'00'35"W
C3	1'10"43"	6527.00'	134.27'	67.14'	134.27'	N20'21'55"W
C4	55'11"21"	54.00'	52.01'	28.22'	50.03'	N10'38'07"E
C5	45'11"02"	54.00'	42.58'	22.47'	41.49'	S15'38'17"W
C6	68'24'21"	54.00'	64.47'	36.70'	60.71'	S44'02'26"E
C7	62'23'56"	54.00'	58.81'	32.70'	55.95'	N47'02'39"W
C8	20'57'29"	95.89'	35.08'	17.74'	34.88'	N11'59'10"W
C9	0'24'36"	6519.50'	46.64'	23.32'	46.64'	S20'56'56"E

EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
①	EXISTING 1500 FOOT PUBLIC UTILITY AND WATERMAIN EASEMENT
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⑦	15.00 FOOT PUBLIC TRAIL EASEMENT

LINE SEGMENT TABLE		
LINE	LENGTH	BEARING
L1	8.49	N43'48'03"E
L2	18.30	N60'24'38"E
L3	6.70	N03'24'16"W
L4	16.97	N46'11'57"W
L5	16.97	N43'48'03"E
L6	16.97	N46'11'57"W
L7	35.10	N12'23'17"E
L8	26.74	N88'48'03"E
L9	16.97	N28'02'27"E
L10	16.97	S61'57'33"E
L11	21.21	S46'11'57"E
L12	12.50	S16'57'33"E
L13	213.58	S06'57'14"E
L14	31.41	S09'50'15"E
L15	143.30	S16'26'31"E
L16	7.98	N46'06'24"W
L17	15.82	S46'11'57"E
L18	30.00	N88'48'03"E
L19	20.00	S46'11'57"E

**MMS CONSULTANTS, INC.**  
 Date: 05-01-2024  
 Designed by: JDM  
 Drawn by: RLW  
 Checked by: RRN  
 Project No: IOWA CITY  
 11186-004

WEST BRANCH  
 CEDAR COUNTY  
 IOWA

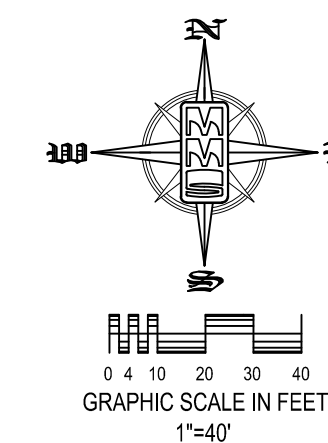
HERITAGE HILL  
 SUBDIVISION -  
 PART TWO

FINAL PLAT

Date: 07-09-2024  
 Revision: PER RRN REVIEW - RLW  
 08-27-2024 PER CITY COMMENTS - JDM

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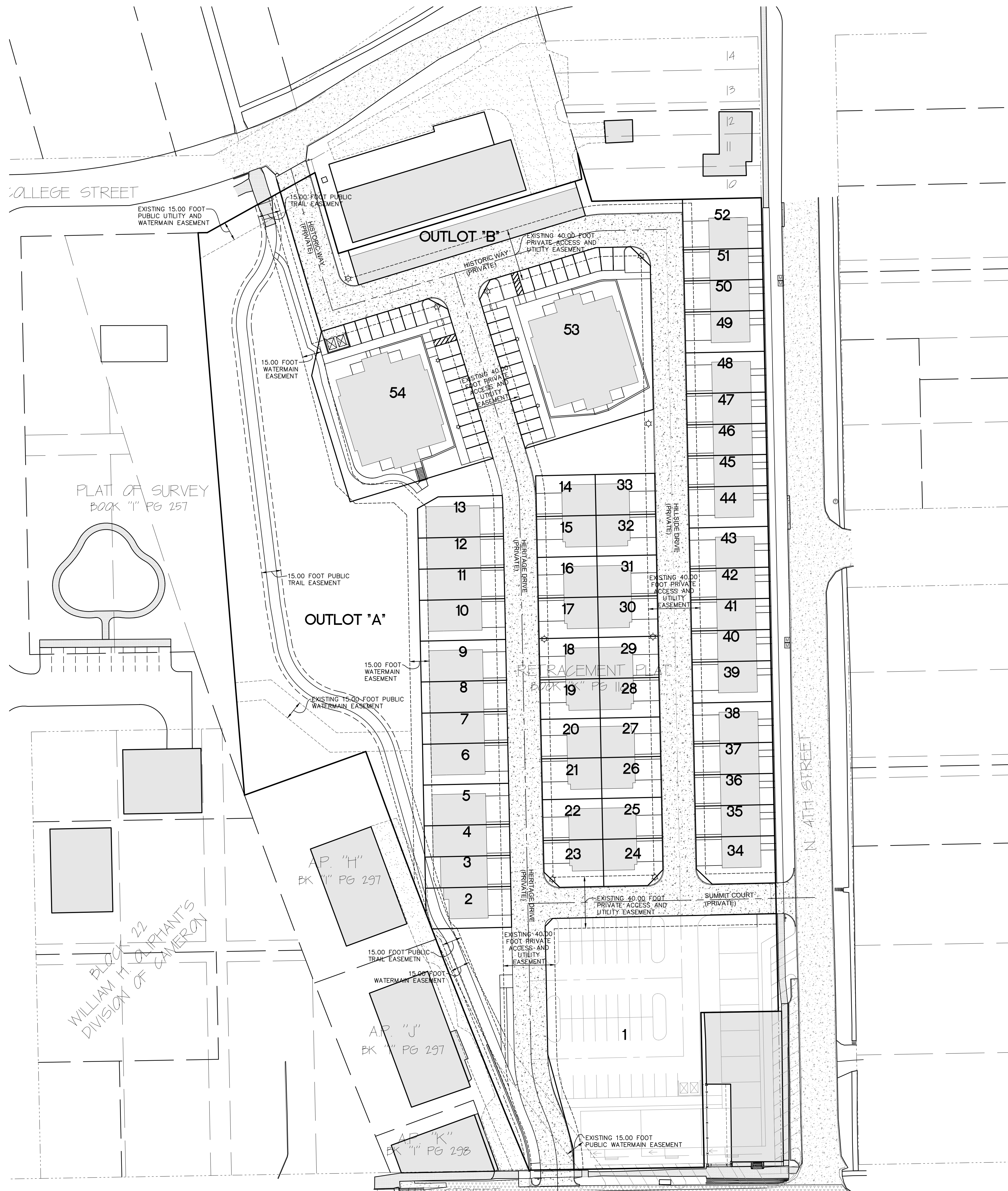




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Date	Revision
08/26/2024	PER CITY COMMENTS - HEH



### LOT EXHIBIT

### HERITAGE HILL, LOT 1

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 05/01/2024

Designed by: JDM Field Book No:

Drawn by: HEH Scale: 1"=40'

Checked by: JDM Sheet No:

Project No: 1