



PLANNING AND ZONING COMMISSION MEETING
Tuesday, March 28, 2023 • 7:00 p.m.
West Branch City Council Chambers, 110 N. Poplar St.
Council Quorum May Be Present

<https://zoom.us/j/829677991> or
dial in phone number 1-312-626-6799 with Meeting ID 829 677 991

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
 - a. Approve minutes from the February 28, 2023 Planning & Zoning Commission meeting.
4. Public Hearing/Non-Consent Agenda. /Move to action.
 - a. Review/Approve a **REVISED** Site Plan for Heritage Hill. / Move to action.
 - b. (Tentative) Setting a date for annexation request
 - c. (Tentative) Review annexation subdivision concept maps
 - d. Review Chapter 5: Land Use (West Branch Comprehensive Plan)
 - e. Discus Future Land Use Map homework
5. Old Business
 - a. Review suggested Code update – establishing Front Setback Coverage
 - b. Review suggested Code update – defining Parking space
 - c. Building design standards
 - d. Tree standards
6. City Staff Reports
7. Comments from Chair and Commission Members.
8. Next regular Planning & Zoning Commission meeting Tuesday, April 25, 2023.
9. Adjourn

Planning & Zoning Commission Members: Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Brad Bower, Matt Van Scoyoc, Jim Hoffman, Madison Conley • **Zoning Administrator:** Terry Goerd
Mayor: Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Jerry Sexton, Tom Dean
City Administrator: Adam Kofoed **City Clerk:** Leslie Brick • **Fire Chief:** Kevin Stoolman • **Police Chief:** John Hanna
Parks & Rec: Matt Condon • **Public Works Director:** Matt Goodale

(These minutes are not approved until the next Commission meeting.)

City of West Branch Planning & Zoning Commission Meeting
February 28, 2023
West Branch City Council Chambers, 110 North Poplar Street

Chairperson John Fuller called the Planning & Zoning Commission meeting to order at 7:00 p.m.

Roll call:

Commission members present: Ryan Bowers, Madison Conley. Brad Bower. Matt Van Scoyoc, Sally Peck. Jim Hoffman (Zoom)

Absent: None

City Staff present: City Admin Adam Kofoed, Mayor Roger Laughlin, and Zoning Administrator Terry Goerd.

Attending via Zoom:

Public Attendees: None

APPROVE AGENDA/CONSENT AGENDA/MOVE TO ACTION.

Approve the agenda for the February 28, 2023 Planning & Zoning Commission meeting. /Move to action.
Motion by Bowers, second by Peck to approve the agenda.

Approve the minutes from the January 24, 2023 Planning & Zoning Commission meeting. / Move to action.
Motion by Bower, second by Van Scoyoc to approve the minutes. Motion carried.

PUBLIC HEARING/NON-CONSENT AGENDA

Discuss possible future annexation request and process for proceeding

Admin Kofoed(Adam) provided overview of parcel of land(Norm Bickford) being proposed for annexation/development. 4 Quadrants north and west of City. One parcel (with house) crosses 350th Street.

Need for sewer tie ins to existing system, with plans being evaluated to minimize funding.

Infrastructure cost(s) be shared by developer – new to City from past projects.

Water pressure towards lower specs in current region. 2nd story structures would reduce further. Therefore, plans being reviewed include a water booster station to be added to system.

Mud section of Cedar/Johnson Road being evaluated as well. Developer has agreed to cover the road costs in this section.

Work to date on infrastructure planning has reduced proposed cost by half. Development will be mixed – single, family, zero lots, condos, apartments. Outcome focus is for mixed income housing. 5000 by 2040 – 17 years to plan and execute.

Chair Fuller inquired on PUD inclusion. Adam cites use of wide range of income housing. Density is a contributor to raising housing numbers within the calculations.

Adam also cited elements of Comprehensive plan – Increase walkability, bike/trail availability, integration of neighborhoods. Utilization of service and private roads, perhaps not quite as wide. Chair Fuller cited green space lacking on west side, development affords opportunity to expand this.

Pipeline exists within North most parcel – further necessitates need for mixed use.

Chair Fuller inquired about need for multiple access points/connections toward lowering load on Johnson/Cedar road. Adam commented that there would be connections within development, and multiple access point and egress to existing roadways/.

R Bowers inquired about street improvements, targeting Cedar/Johnson Road improvements.

Adam targets 2026 for dirt activities in the development ... Mayor Laughlin cited main street improvements currently planned first. However, both agreed City Council could be swayed to change with new information received.

R Bowers inquired about annexation protocol/requirements in relation to P&Z board. Adam stated that he was bringing it to the attention of the board. No internal changes in procedures/policy currently. There will be additional steps, consultation with Johnson County Board of Supervisors. Proximity to larger cities requires the added steps.

Chair Fuller inquired about possible Johnson County opposition to annexation. Mayor Laughlin stated their land use plan may be violated. Adam noted that more frequently adjacent cities would compete over annexation.

R Bowers inquired about improvements to Class B roadway (280th street) on Northmost section of proposed annexation. Adam stated that it will be urbanized within the project as well. Decision on surfacing to be determined within Engineering staff. R Bowers further inquired about tools to determine decision, such as traffic counts. Adam reiterated that entities may use the tools, but are not required to act where funding paths do not exist.

Discuss Zoning & Future Land Use Maps

Adam moved on to display and provide overview of two maps. First map is current zoning (considered law). Second map shows planned land use. (future) Examples were provided utilizing both maps within City and Board decisions and use. Chair Fuller cited that planned map is the vision of the future, and can be used to trigger when current use differs from targeted use within change proposal(s).

Adam further noted that he was working in rearward progression, displaying maps and outcomes from words and vision statements from Comprehensive plan.

S Peck inquired about Historic district being aligned only within Business district. Board consensus with comment. Historic preservation plan exists, and is currently being updated by Adam. Expansion to preserving neighborhoods would likely be next update area, but requires manpower and planning. Joint meeting between multiple Boards may be required and be fruitful to align objectives/outcomes.

Adam followed up with citing underway state reforms around setback funding and property tax that are impacting these steps and outcomes. Budget constraints further influence resource allocation towards these activities and goals. Adam cited the example – Zoning map modifications being accumulated internally until they can be batch completed on public sites.

Discuss Comprehensive Plan objectives

Chair Fuller outlined current plan details introduced from 2019 and proposed path to update sections.

Plan contains 12 Chapters – with Goals and objectives within each chapter. Board could tackle an individual section for modifications and improvements.

Chapter 5 on Land use may be the appropriate starting point. Target for next meeting

Review suggested Code update – establishing Front Setback Coverage

T Goerdts restated this topic was tabled, pending internal review with M Goodale. Updated wording to be penned from this meeting and reviewed in March P&Z meeting.

Review suggested Code update – defining Parking space

T Goerdt restated code change proposal. Chair Fuller again requested inserting “For New Construction” to begin the updated sentence. T Goerdt also requesting changeout from must to shall within the sentence.

Motion to approve by Fuller, second by Bowers. AYES: Bowers, Fuller, Bower, Van Scoyoc, Peck, Conley, Hoffman NAYS: None. Absent: None. Motion carried

Revisited discussion and team consensus to table to submit both proposals at same time.

OLD BUSINESS:

Sign requirements for HCI District.

T Goerdt requesting removal, as we have this covered in existing ordinance. Will be covered in PUD request(s).

Building design standards

Adam still working on language. Being impacted by government changes currently under review. To be held.

Tree standards

Tree commission member volunteering to review recommendations, then provide update. M Van Scoyoc inquired if retroactive. Adam confirmed would be forward focused.

STAFF REPORTS:

Homework - create a 5000 population (by 2040) Future Land Use Map

Adam to email out request for markups/proposal(s) on individual vision.

COMMENTS FROM CHAIR AND COMMISSION MEMBERS: -

J Hoffman inquired on number of suitors for annexed land. Adam responded that was unknown at this time. Can review at later date on paper.

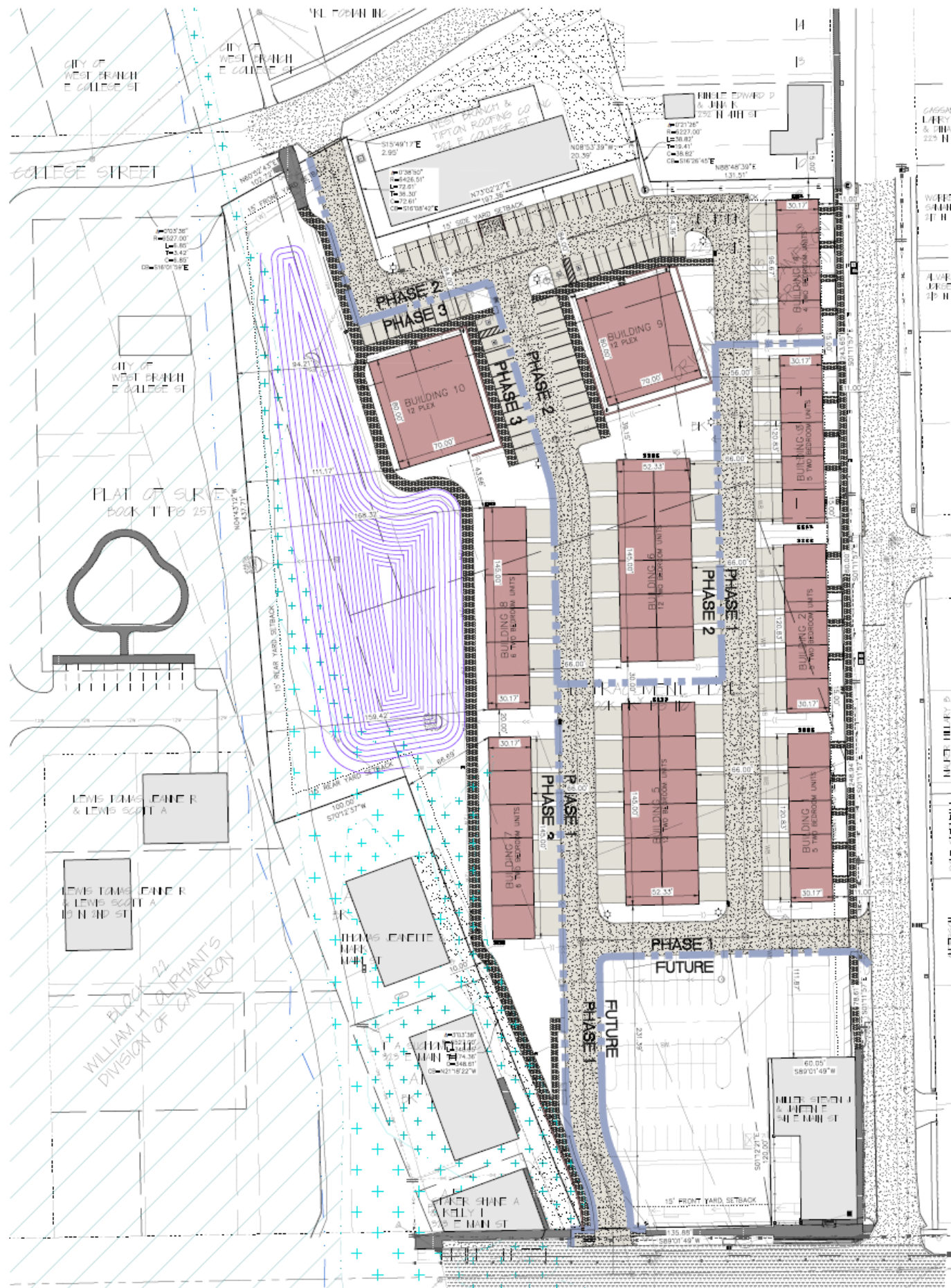
Adjourn

Motion by Bower, second Bowers to adjourn the Planning & Zoning Commission meeting. Motion carried on a voice vote. The meeting adjourned at 8:42 p.m.

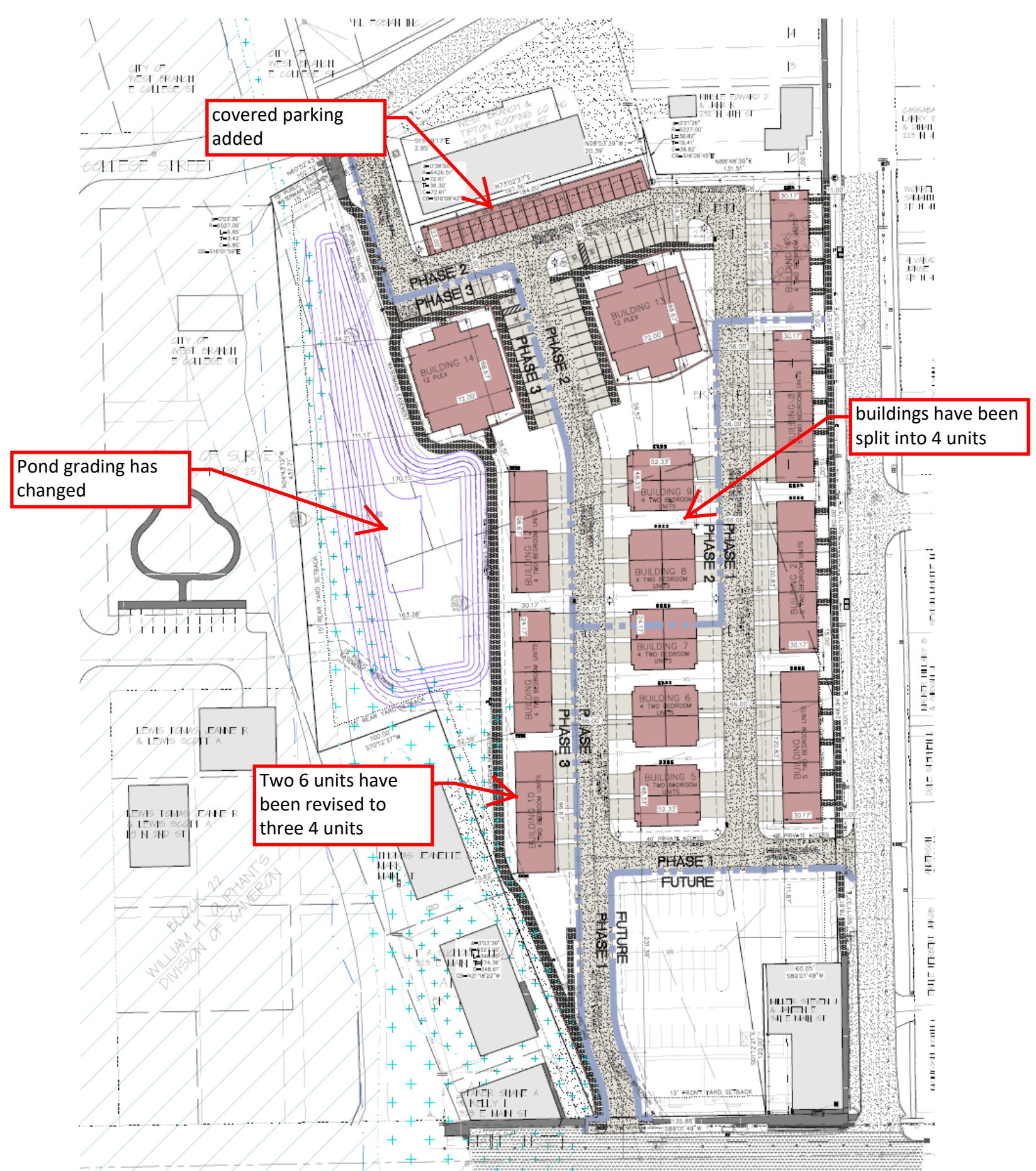
Submitted by:

Jim Hoffman

Planning & Zoning Commission



Previous Preliminary Plat from 9/01/2022



New Preliminary Plat Submitted on 3/16/2023



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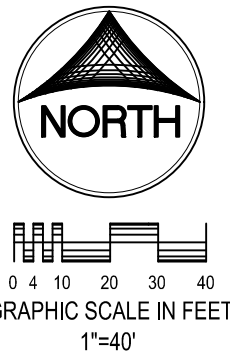
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC
9/13/22	PHASE 1 REVISION - KJC
11/18/22	STREET NAMES AND EASEMENTS - TAV

OVERALL SITE LAYOUT AND DIMENSION PLAN

HERITAGE HILL, LOT 1
WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.
Date: 08-04-22
Designed by: KJC Field Book No: 1343, PG. 39
Drawn by: TAV Scale: 1"=40'
Checked by: KJB Sheet No:
Project No: C120
11186-002 of.

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBCO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
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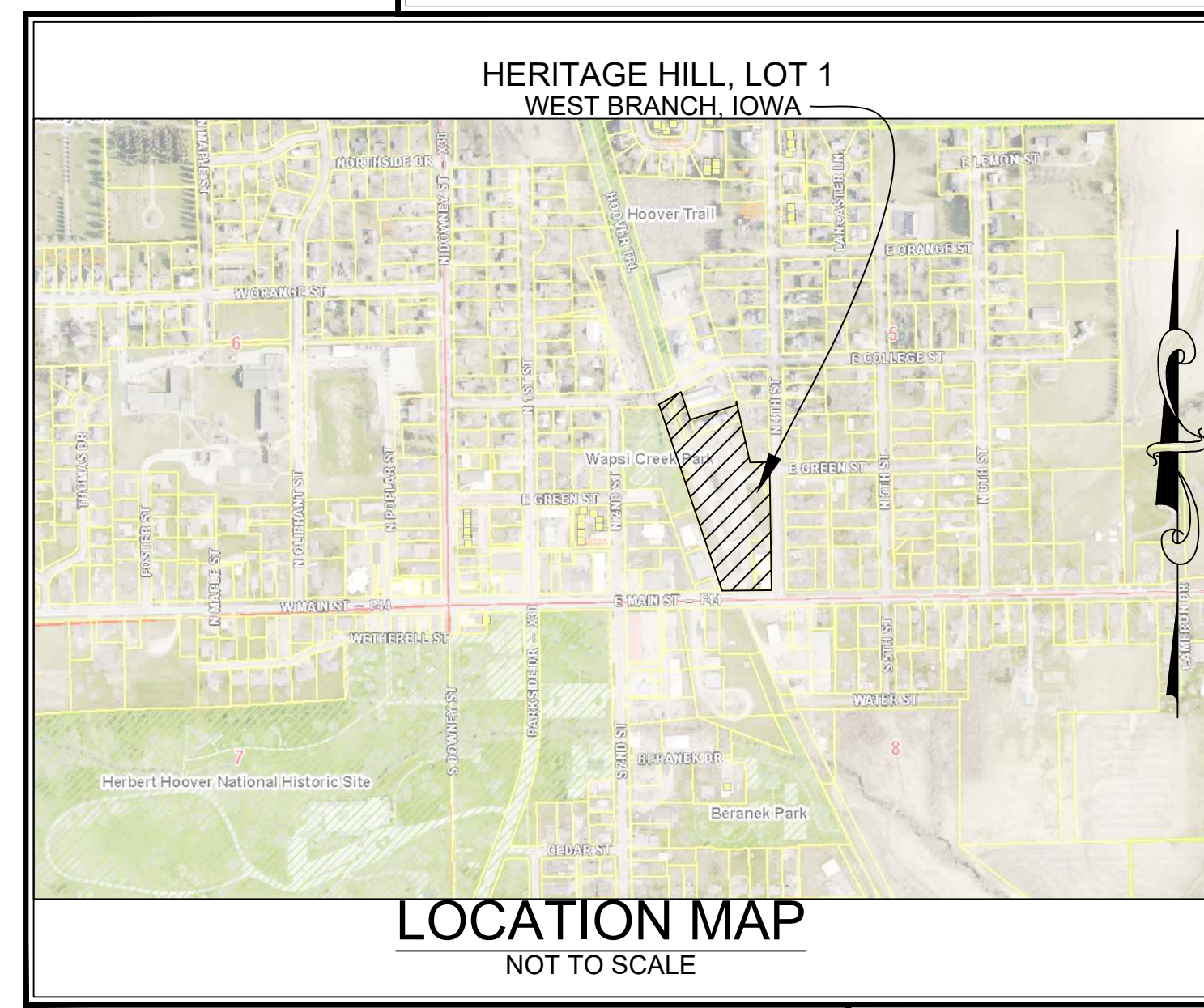
IOWA ONE CALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/232-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
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- EXISTING EVERGREEN TREES & SHRUBS



- PAVING CONSTRUCTION NOTES**
- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
 - I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
 - PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
 - SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
 - ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

PAVEMENT LEGEND

PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC	5,176 SY
	6" PCC	3,618 SY
	4" PCC	1,573 SY

*TOTALS INCLUDE ALL SF OF MATERIAL INCLUDING OUTSIDE OF PROPERTY LINE

100 YEAR FLOOD ELEVATION = 713.20

LEGAL:
HERITAGE HILL - LOT 1 IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 5.93 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

SITE DEVELOPMENT SUMMARY:
ZONING: PUD
SQUARE FOOTAGE: 258,182 SF
PROPOSED USE: RESIDENTIAL

DEVELOPMENT CHARACTERISTICS:
HERITAGE HILL - LOT 1 ON GREEN STREET IS TO BE A 5.93 ACRE. THE PLAN WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-PLEX BUILDINGS, AND FIFTY FIVE (55) PROPOSED RESIDENTIAL 2 (TWO) BEDROOM UNITS.

DEVELOPMENT SCHEDULE:
APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2022, WITH AN ESTIMATED COMPLETION DATE IN FALL 2023.

SITE COVERAGES:
TOTAL LOT AREA: 258,182 S.F. (100%)
PROPOSED BUILDING AREA: 46,117 S.F. (17.9%)
PROPOSED PAVING AREA: 86,800 S.F. (33.6%)
TOTAL IMPERVIOUS AREA: 132,917 S.F. (51.5%)
TOTAL OPEN AREA: 125,265 S.F. (48.5%)

LOT REQUIREMENTS:
FRONT YARD SETBACK (N. 4TH ST) 13 FEET
(E. MAIN ST) 15 FEET
SIDE YARD SETBACK (E. COLLEGE ST) 15 FEET
REAR YARD SETBACK 15 FEET

PARKING REQUIREMENTS:
2 SPACES PER UNIT/ 12 UNITS (TWO BEDROOM EACH) PER BUILDING/ 2 BUILDINGS
2*(12+12) = 48 SPACES
TOTAL PARKING PROVIDED = 60 SPACES
2 SPACES PER UNIT/ (TWO BEDROOM EACH) PER BUILDING/ 55 BUILDINGS
2*(55) = 110 SPACES
TOTAL PARKING PROVIDED = 220 SPACES (110 GARAGE SPACES AND 110 DRIVE SPACES)

SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.

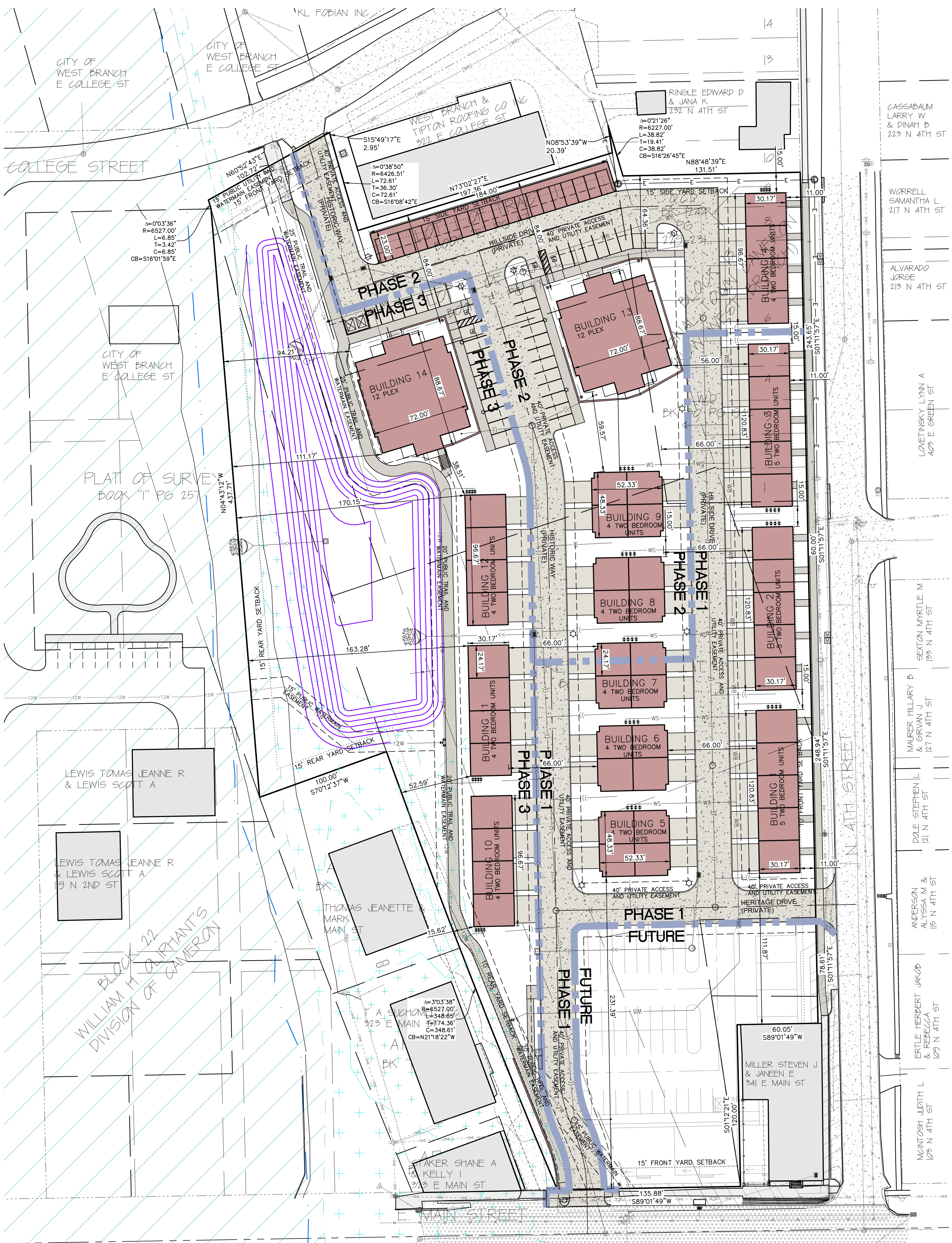
SHEET INDEX

C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
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C122	DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
CD100	EXISTING FEATURES AND DEMOLITION PLAN
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

KELLY J. BECKLER, P.E. Iowa Lic. No. 14624
My license renewal date is December 31, 2024.

Pages or sheets covered by this seal:





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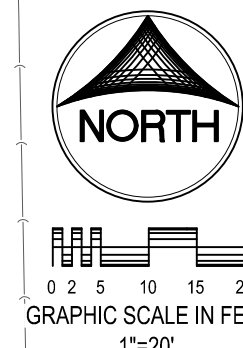
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11/18/22	STREET NAMES AND EASEMENTS - TAV

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
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APPLICANT:
BBO LLC
PO BOX 277
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APPLICANT'S ATTORNEY:
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THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SHEET INDEX

C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
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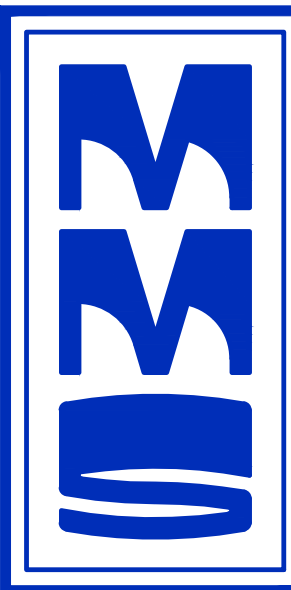
KEYNOTES

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT'-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET C1500	
8	INSTALL ADA RAMP	
9	INSTALL 3" ROLL CURB AND GUTTER	
10	TRANSITION TO 6" CURB	
11	TRANSITION CURB TO ZERO	
12	MATCH EXISTING CURB AND GUTTER	
13	INSTALL DUMPSTER ENCLOSURE	
14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
17	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	
18	INSTALL ADA COMPLIANT SAFETY RAIL	
19	INSTALL COVERED PARKING	
20	INSTALL STAIRWAY	

DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF

HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.
Date: 08-04-22
Designed By: KLC Field Book No: 1343, PG 39
Drawn By: TAV Scale: 1"=20'
Checked By: KJB Sheet No:
Project No: C121
11186-002 of.



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APPLICANT:
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APPLICANT'S ATTORNEY:
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	4" PCC	

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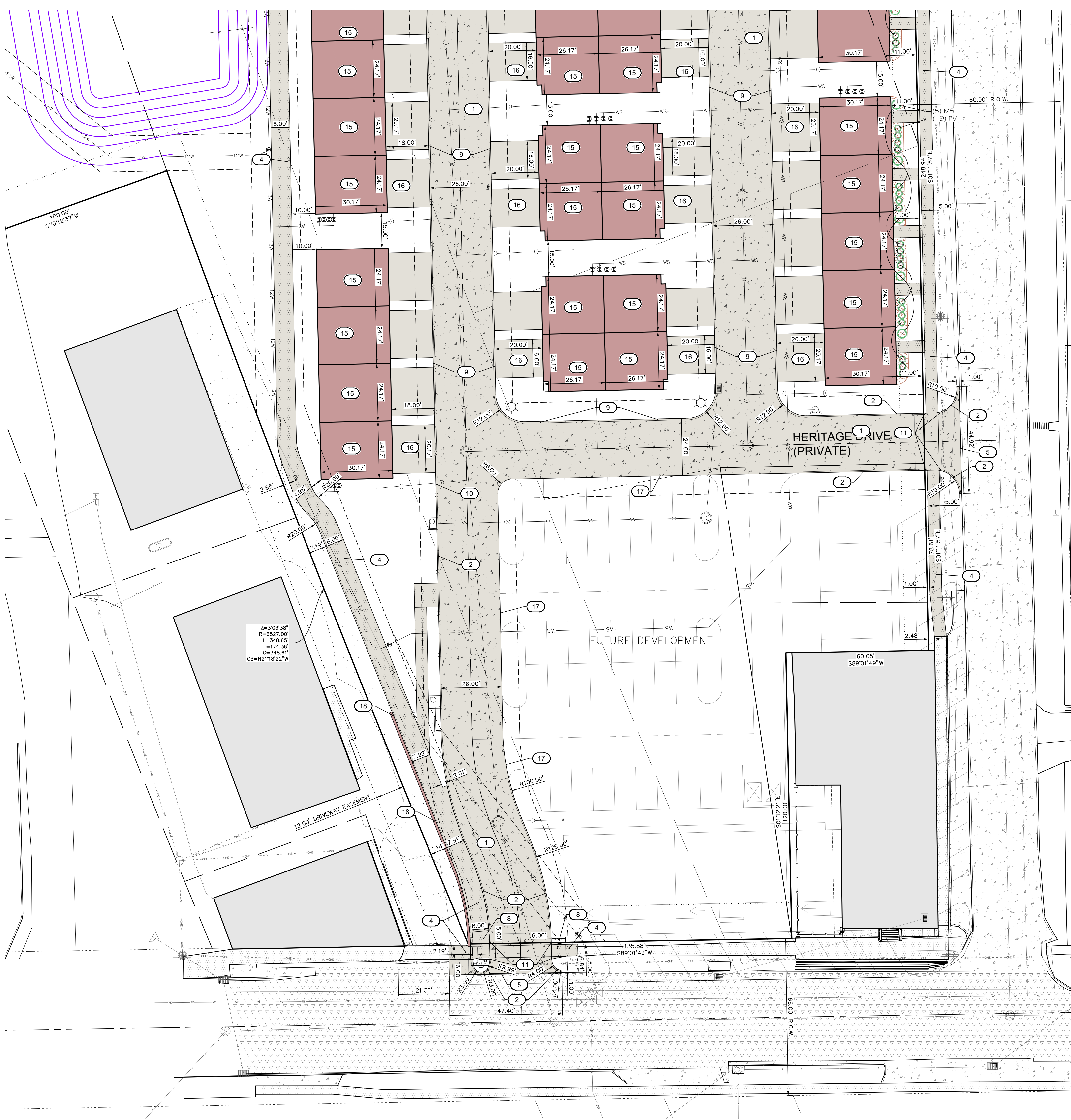
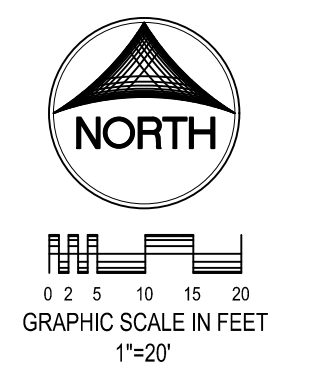
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KEYNOTES

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT'-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET G	
8	INSTALL ADA RAMP	
9	INSTALL 3" ROLL CURB AND GUTTER	
10	TRANSITION TO 6" CURB	
11	TRANSITION CURB TO ZERO	
12	MATCH EXISTING CURB AND GUTTER	
13	INSTALL DUMPSTER ENCLOSURE	
14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
17	EDGE OF PAVEMENT, NO CURB	
18	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	

- ### SHEET INDEX
- C120 OVERALL SITE LAYOUT AND DIMENSION PLAN
 - C121 DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
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DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF

HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

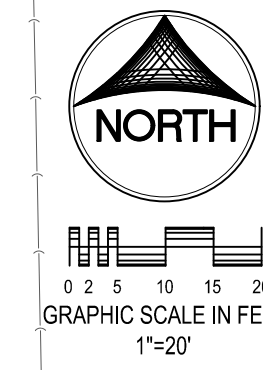


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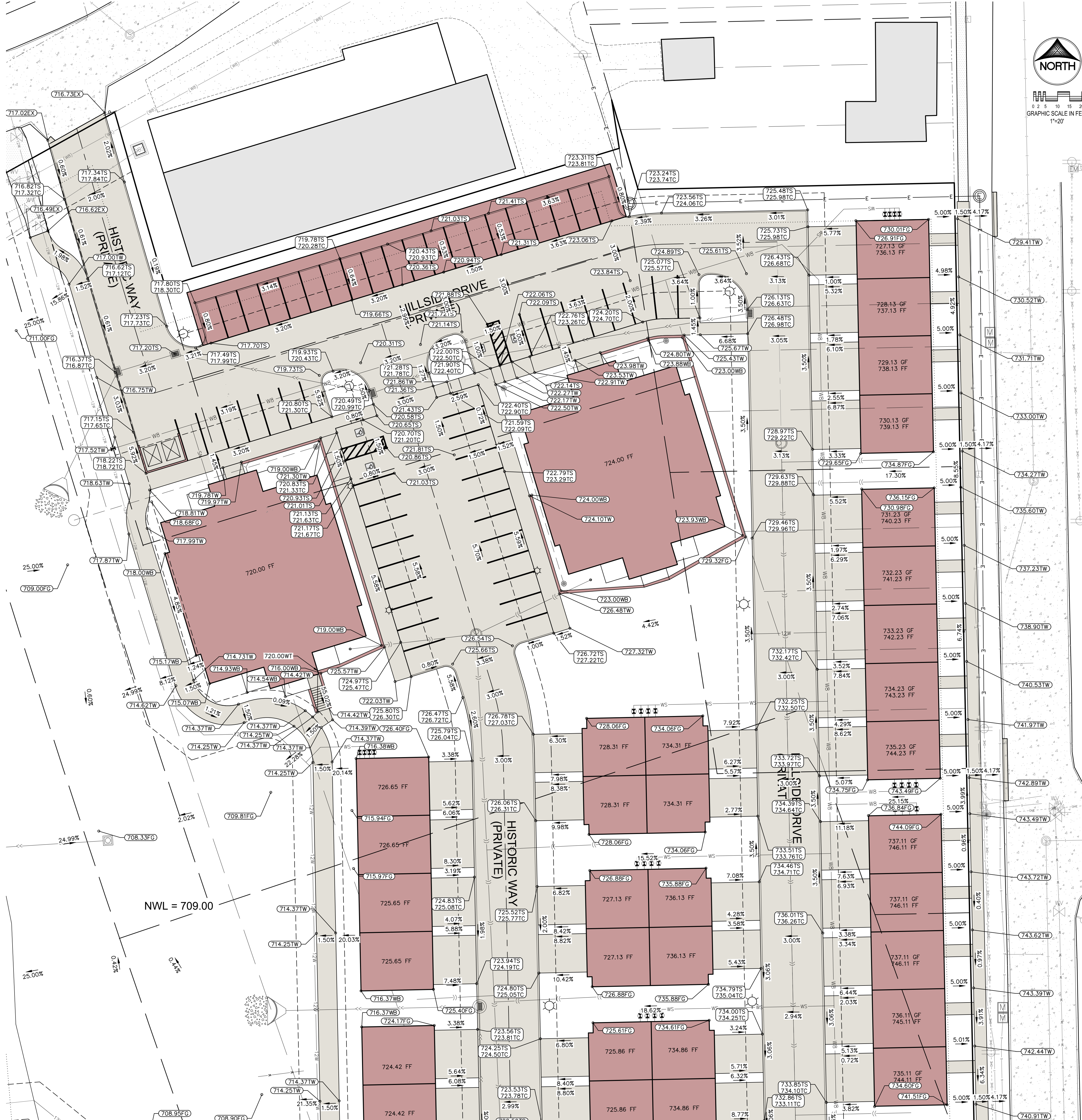
SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

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---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER

(R)	22-1	POWER POLE
(R)	22-1	POWER POLE W/DROP
(R)	22-1	POWER POLE W/TRANS
(R)	22-1	POWER POLE W/LIGHT
(R)	22-1	GUY POLE
(R)	22-1	LIGHT POLE
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GRADING LEGEND

---	0000.00EG - EXISTING GRADE
---	0000.00FG - FINISHED GRADE
---	0000.00TC - TOP CURB
---	0000.00TS - TOP SLAB
---	0000.00TW - TOP WALK
---	0000.00TR - TOP RIM
---	0000.00WB - BOTTOM WALL*
---	0000.00WT - TOP WALL*

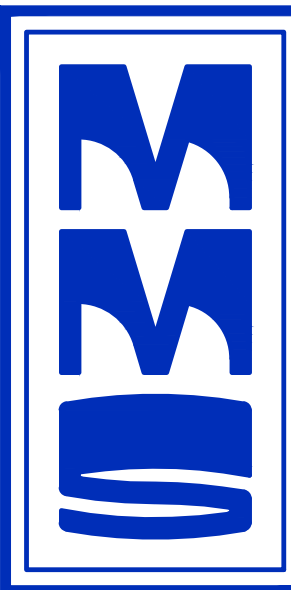
*REPRESENT GROUND ELEVATION AT WALL

DETAILED GRADING PLAN - NORTH HALF

HERITAGE HILL, LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.

Date:	08-04-22
Designed by:	KLC
Drawn by:	TAV
Checked by:	KJB
Project No:	11186-002
Field Book No:	1343, PG. 39
Scale:	1"=20'
Sheet No:	C141



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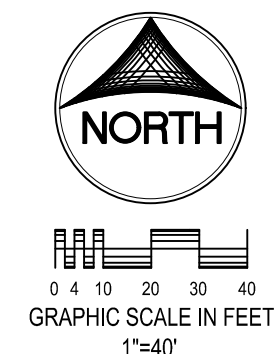
UTILITY PLAN: SEWER AND WATER

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date:	08-04-22
Designed by:	KLC
Field Book No.:	1343, PG. 39
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Scale:	1"=40'
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Sheet No.:	C160
Project No.:	11186-002

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:
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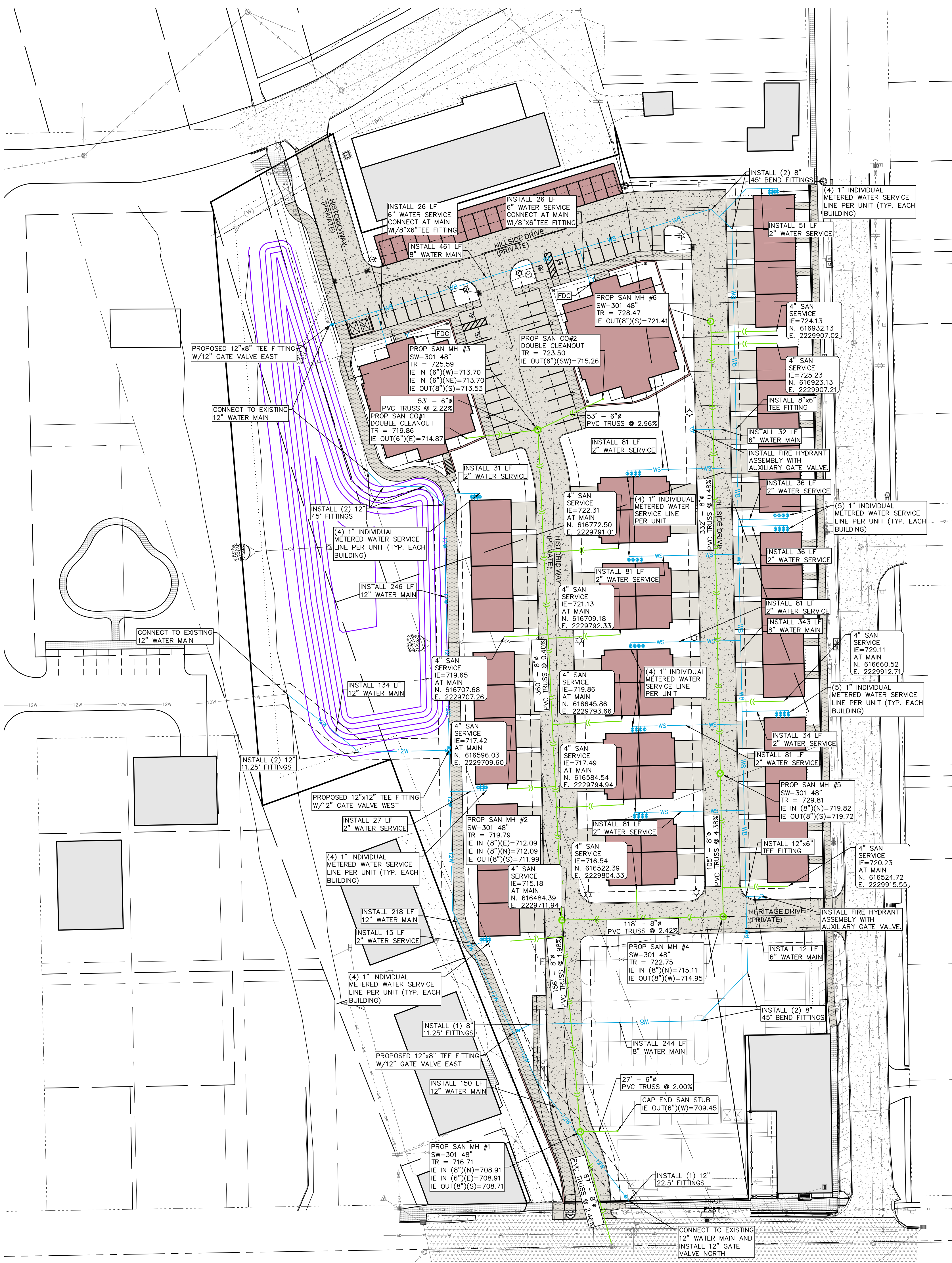
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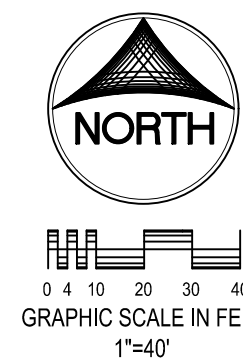


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SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



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APPLICANT'S ATTORNEY: JAMES D. HOUGHTON
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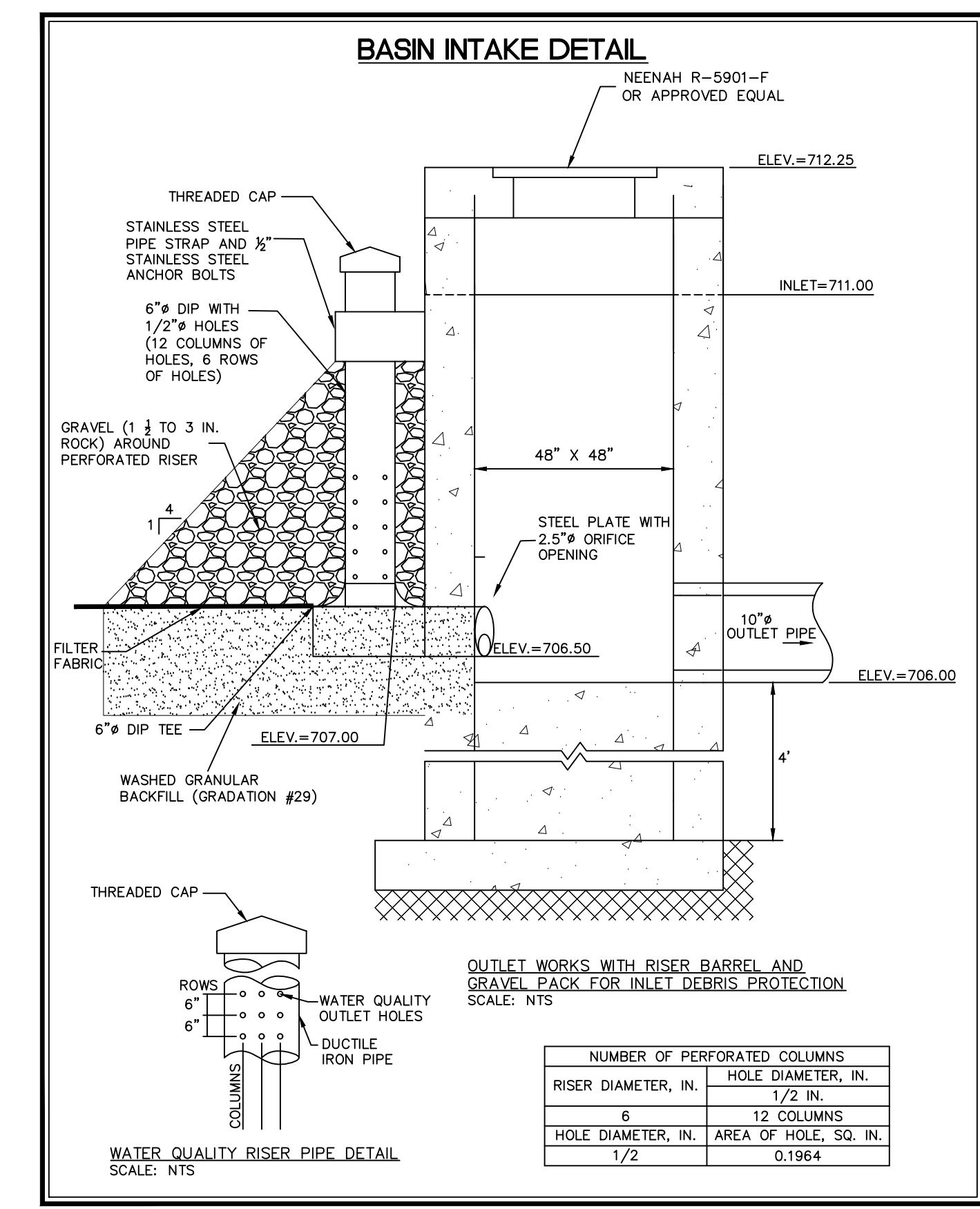
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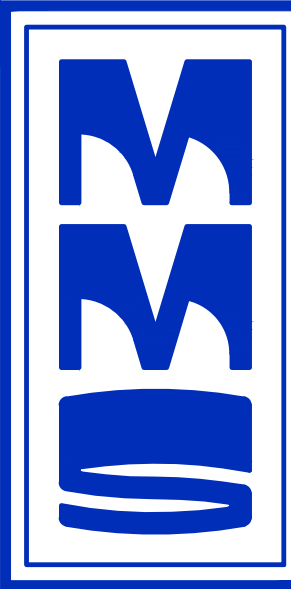
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UTILITY PLAN: STORM AND ELECTRIC

HERITAGE HILL,
LOT 1
WEST BRANCH,
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IOWA

MMS CONSULTANTS, INC.
Date: 08-04-22
Designed By: KLC Field Book No: 1343, PG 39
Drawn By: TAV Scale: 1"=40'
Checked By: KJB Sheet No:
Project No: C161



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EXISTING FEATURES AND DEMOLITION PLAN

HERITAGE HILL,
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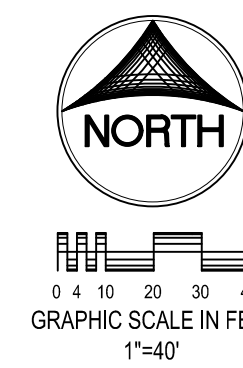
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CD100

11186-002 of.

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



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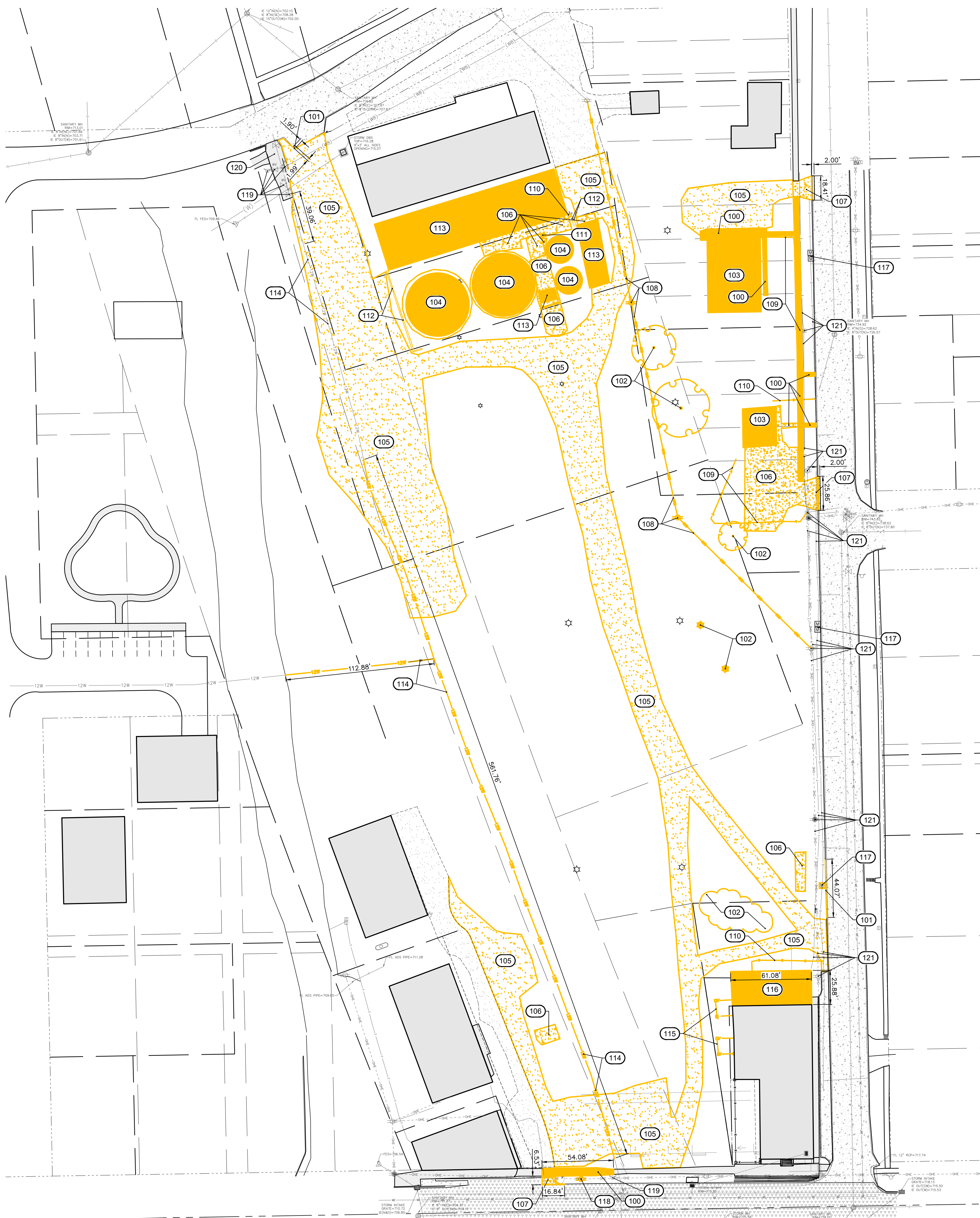
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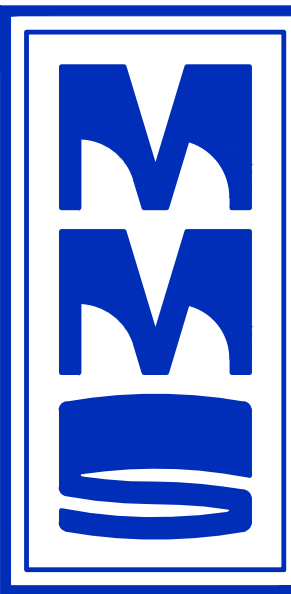
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DEMOLITION KEYNOTES

NUMBER	KEYNOTE
100	REMOVE CONCRETE SIDEWALK TO THE NEAREST JOINT.
101	GRIND 6" CURB LINE.
102	REMOVE TREES AND TREE CLUSTERS
103	REMOVE EXISTING RESIDENTIAL HOUSE
104	REMOVE EXISTING BINS AND FOOTINGS
105	REMOVE ROCK DRIVE.
106	REMOVE CONCRETE PAVING AND ANY ROCK SUB-BASE UNDERNEATH THE PAVING.
107	REMOVE CONCRETE DRIVE ALONG WITH 2' STREET CURB AND GUTTER SECTION ADJOINING DRIVE. REPLACEMENT NOTED ON SHEETS C121 & 122.
108	REMOVE POWER POLES AND LINES. TO BE DONE BY OTHERS. TO BE REPLACED BY UNDERGROUND LINE IN NEW LOCATION. (SEE C161)
109	REMOVE TELEPHONE SERVICE LINES AND STRUCTURES. TO BE DONE BY OTHERS.
110	REMOVE EXISTING GAS SERVICE LINES AND VALVES. TO BE DONE BY OTHERS.
111	REMOVE EXISTING STEPS.
112	REMOVE EXISTING RETAINING WALLS
113	REMOVE EXISTING GRAIN ELEVATOR BUILDINGS
114	REMOVE EXISTING WATER MAIN. TO BE REPLACED IN NEW LOCATION. (SEE C160)
115	REMOVE EXISTING FENCE.
116	REMOVE EXISTING BUILDING TO PARTY WALL.
117	REMOVE EXISTING MAILBOXES ASSOCIATED WITH PROPOSED PROPERTY. MAILBOXES FOR THE ADJOINING SIDE OF THE STREET ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
118	REMOVE AND RELOCATE POWER POLE. TO BE DONE BY OTHERS. FOR NEW LOCATION OF POLE SEE C161)
119	PROTECT EXISTING FIRE HYDRANT AND WATER VALVES DURING CONSTRUCTION.
120	EXISTING HOOVER TRAIL EXTENSION. PROTECT DURING CONSTRUCTION.
121	PROTECT EXISTING ABOVEGROUND UTILITY FEATURES AND UTILITY MAINS DURING CONSTRUCTION.





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Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC
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11/18/22	STREET NAMES AND EASEMENTS - TAV

SANITARY SEWER AND WATERMAIN NOTES

- SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2018) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.2.01.E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHADDED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVING AREAS SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
 - WILL NOT SHOW STEPS.
 - WILL HAVE EXTERNAL CHIMNEY SEAL BY INFISHELD UNIBAND, CRETEX, OR APPROVED EQUAL.
 - WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
 - WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED. IE: WOOD, BRICK, ROCKS, ETC.
 - WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
- TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
 - THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
 - ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING.

AIR TESTING

ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST: NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.

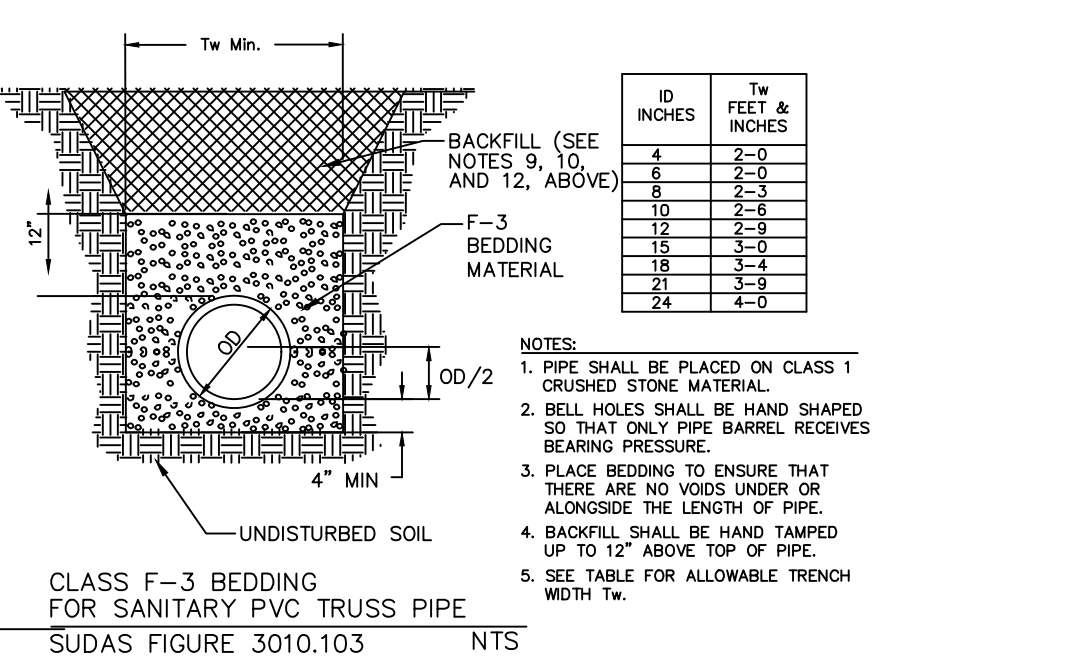
- PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
- PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
- INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psig & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
- LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
- ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
- MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5

G. IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.5 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.

H. LOCATE, REPAIR AND RETEST LEAKS.

- AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
 - ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
 - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



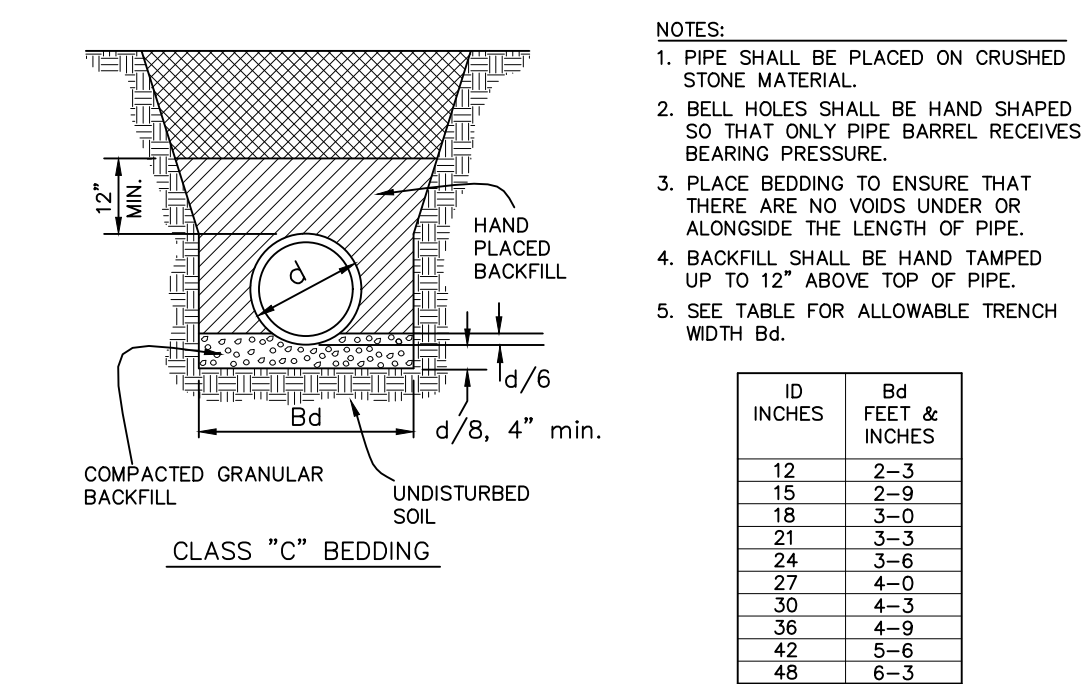
- THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED:
- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
 - WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
 - VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
 - WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
 - NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
 - EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
 - THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 PSI FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 PSI.
 - WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
 - FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
 - BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
 - ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

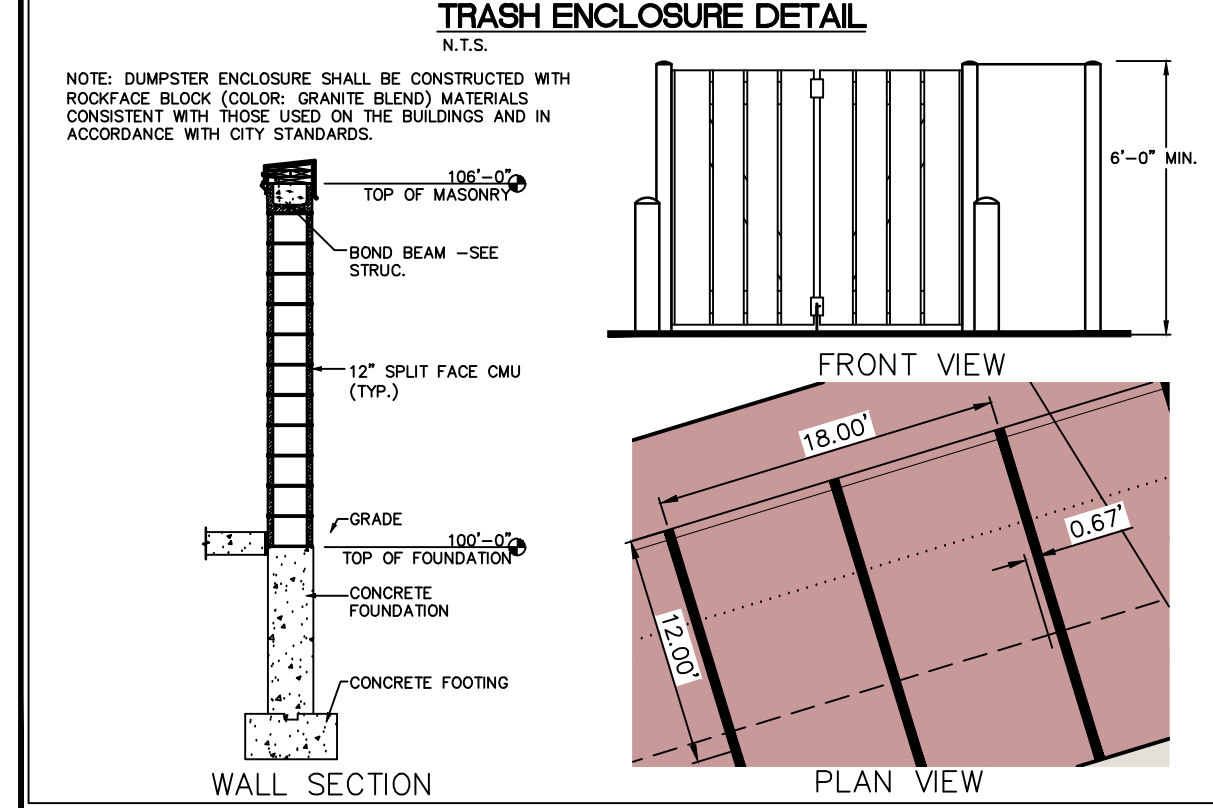
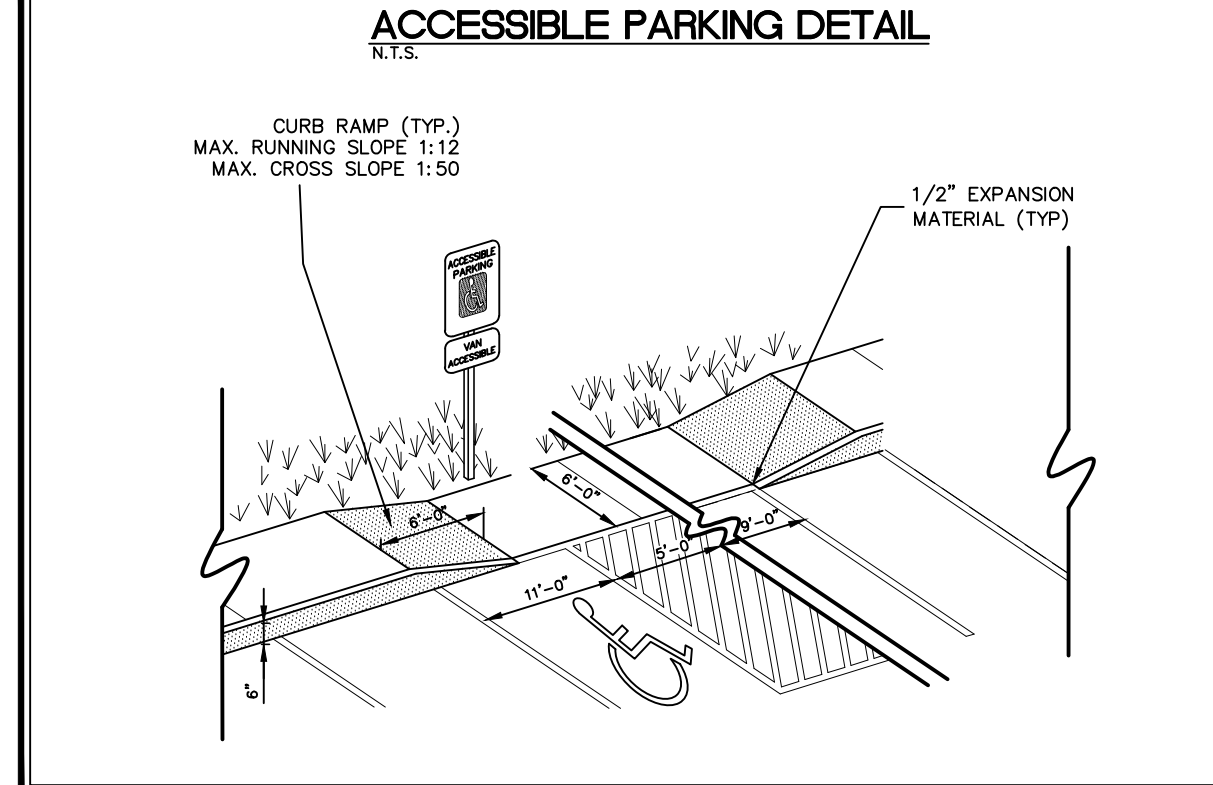
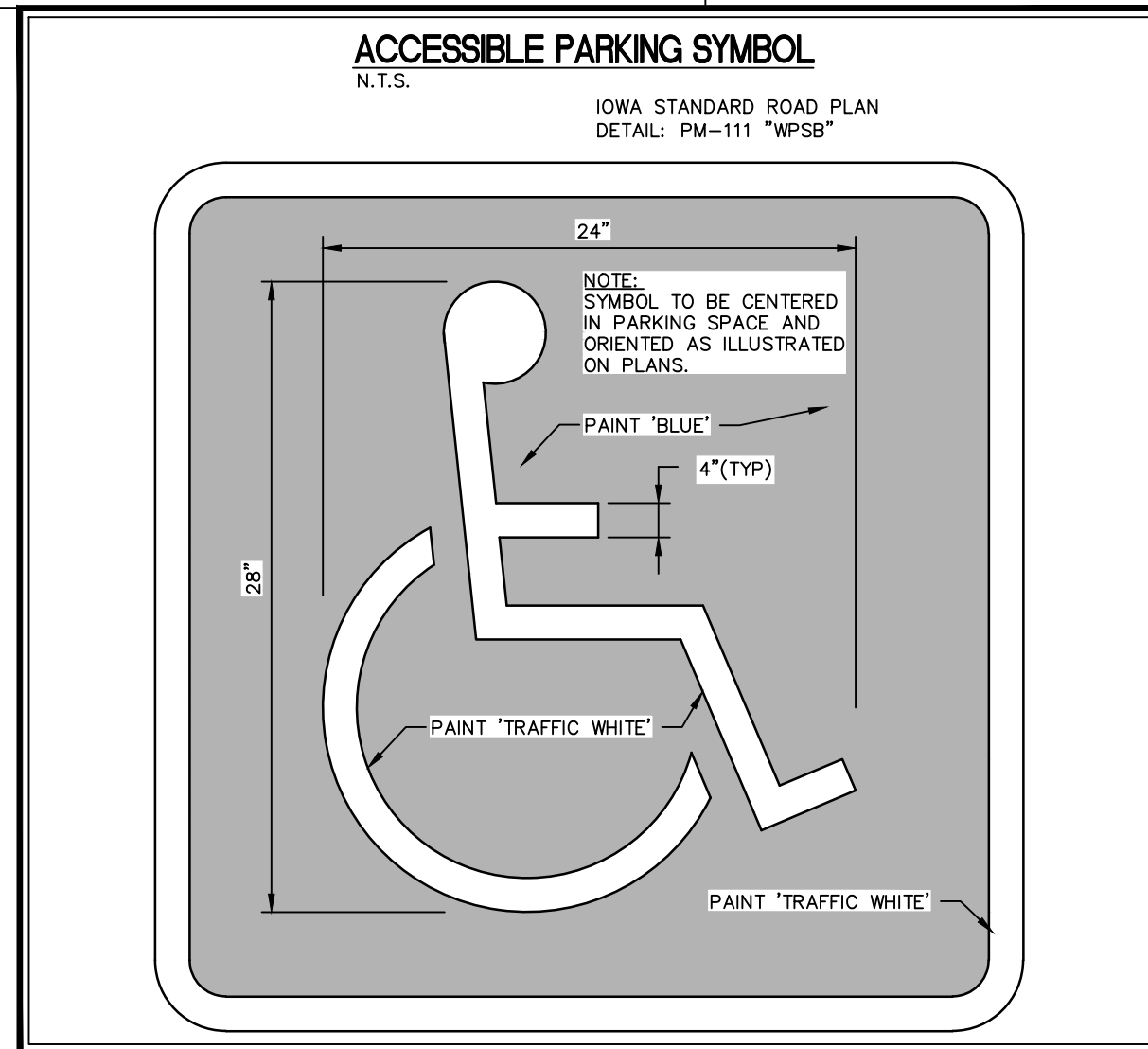
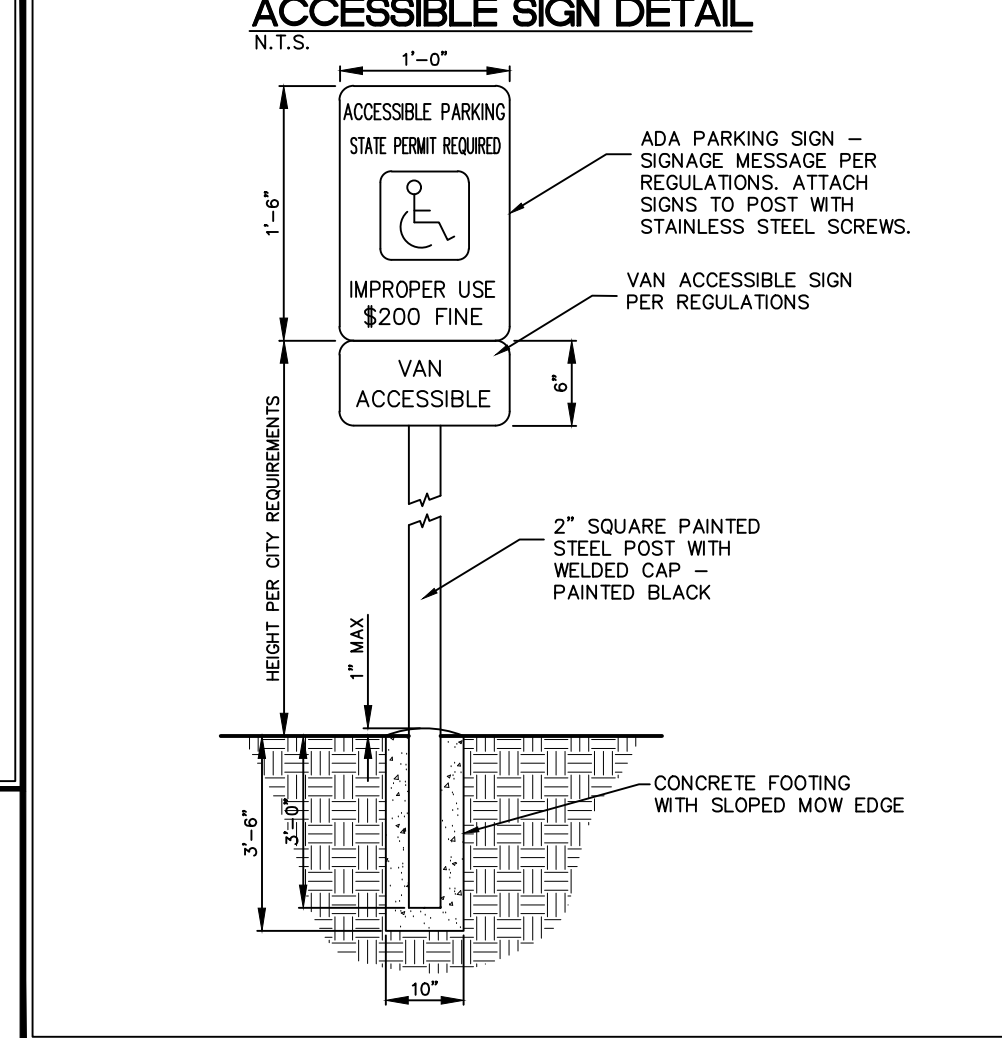
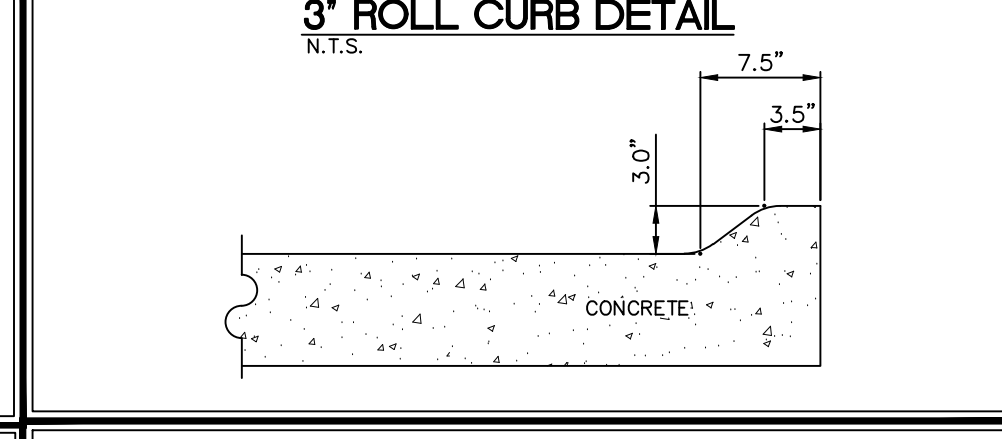
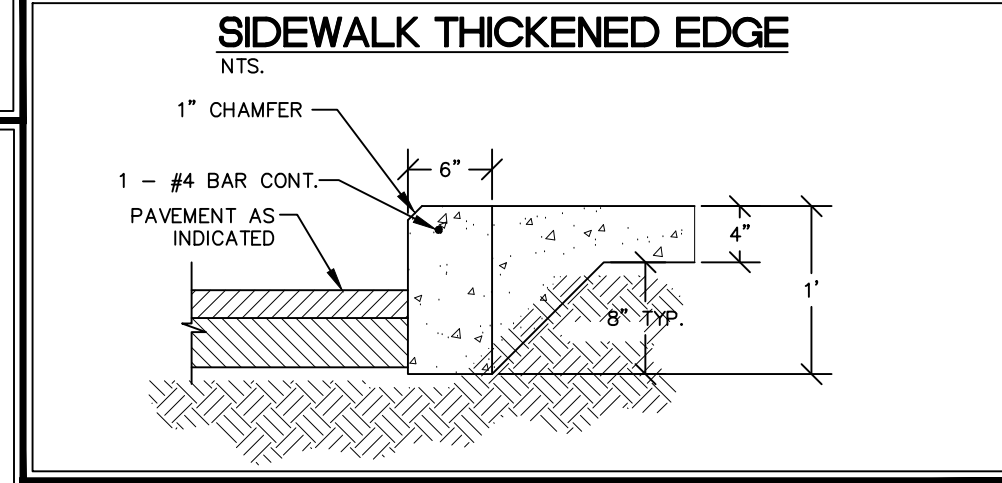
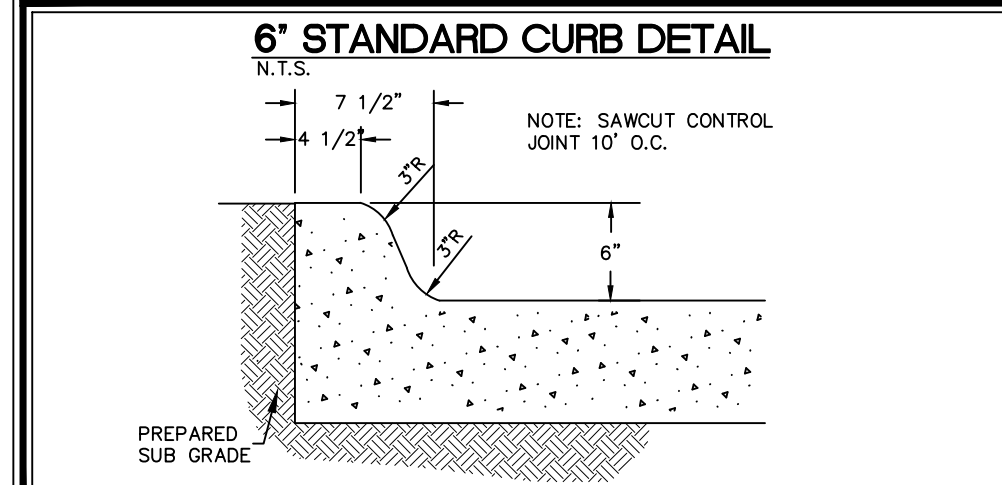
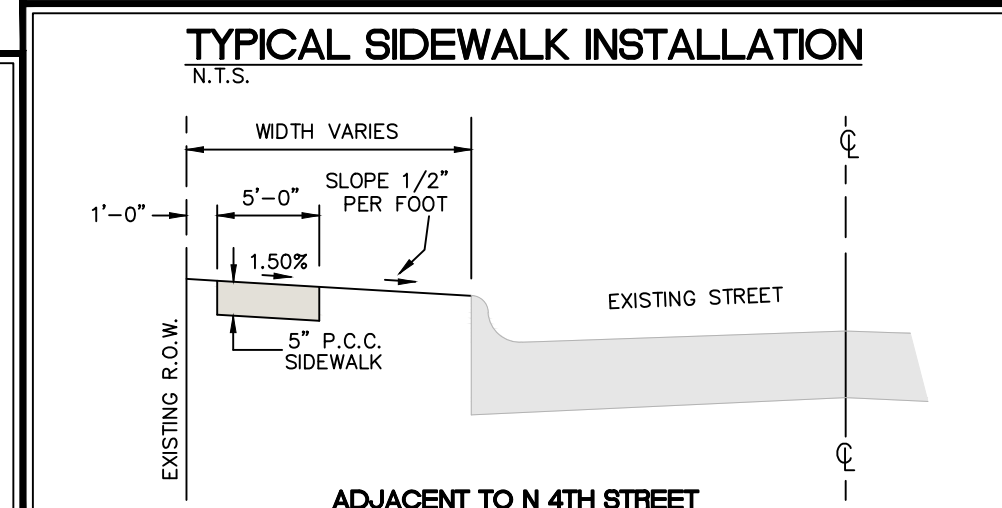
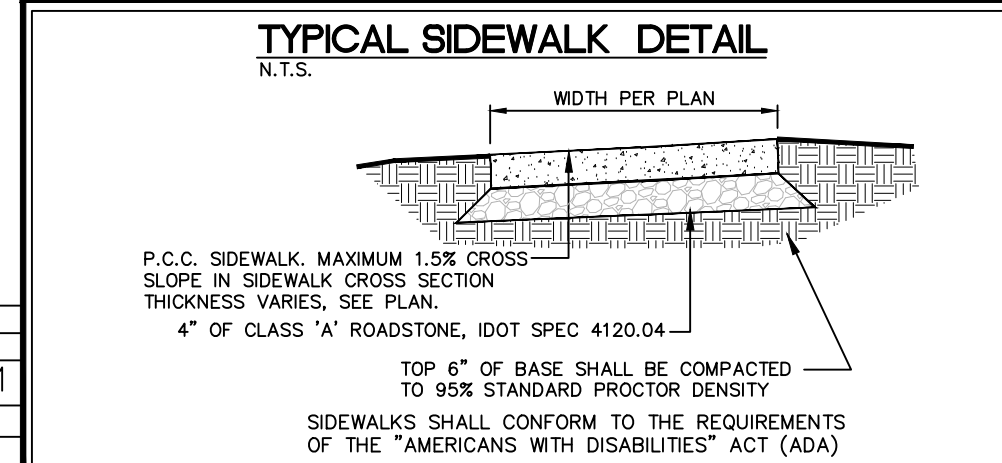
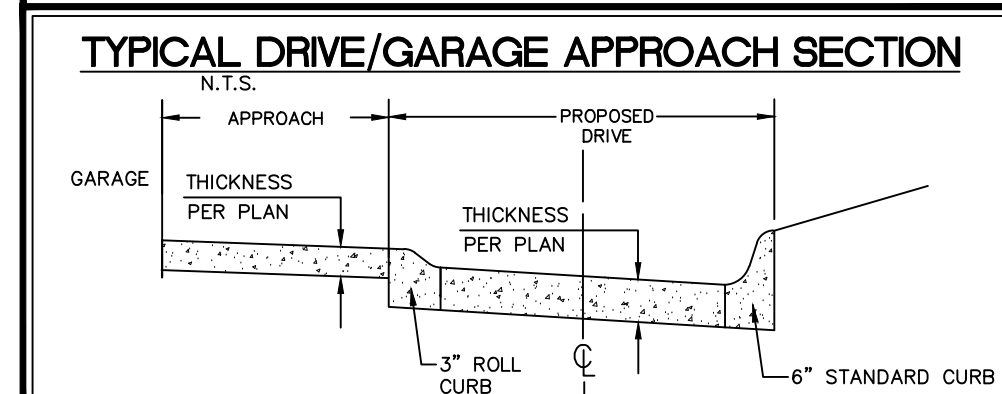
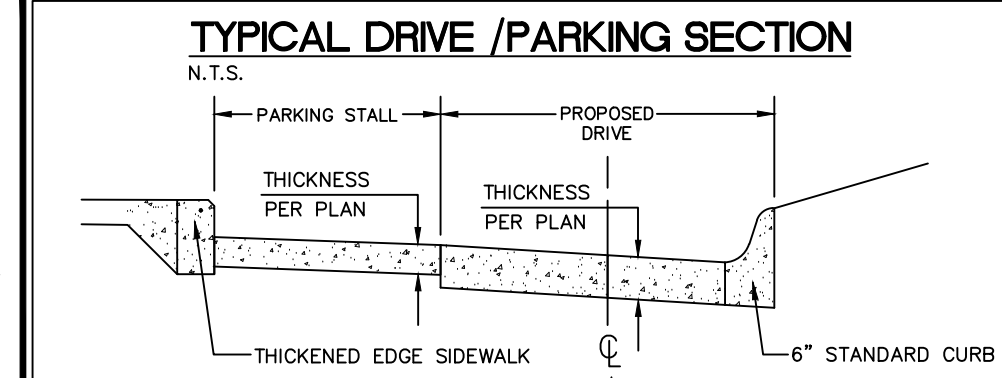
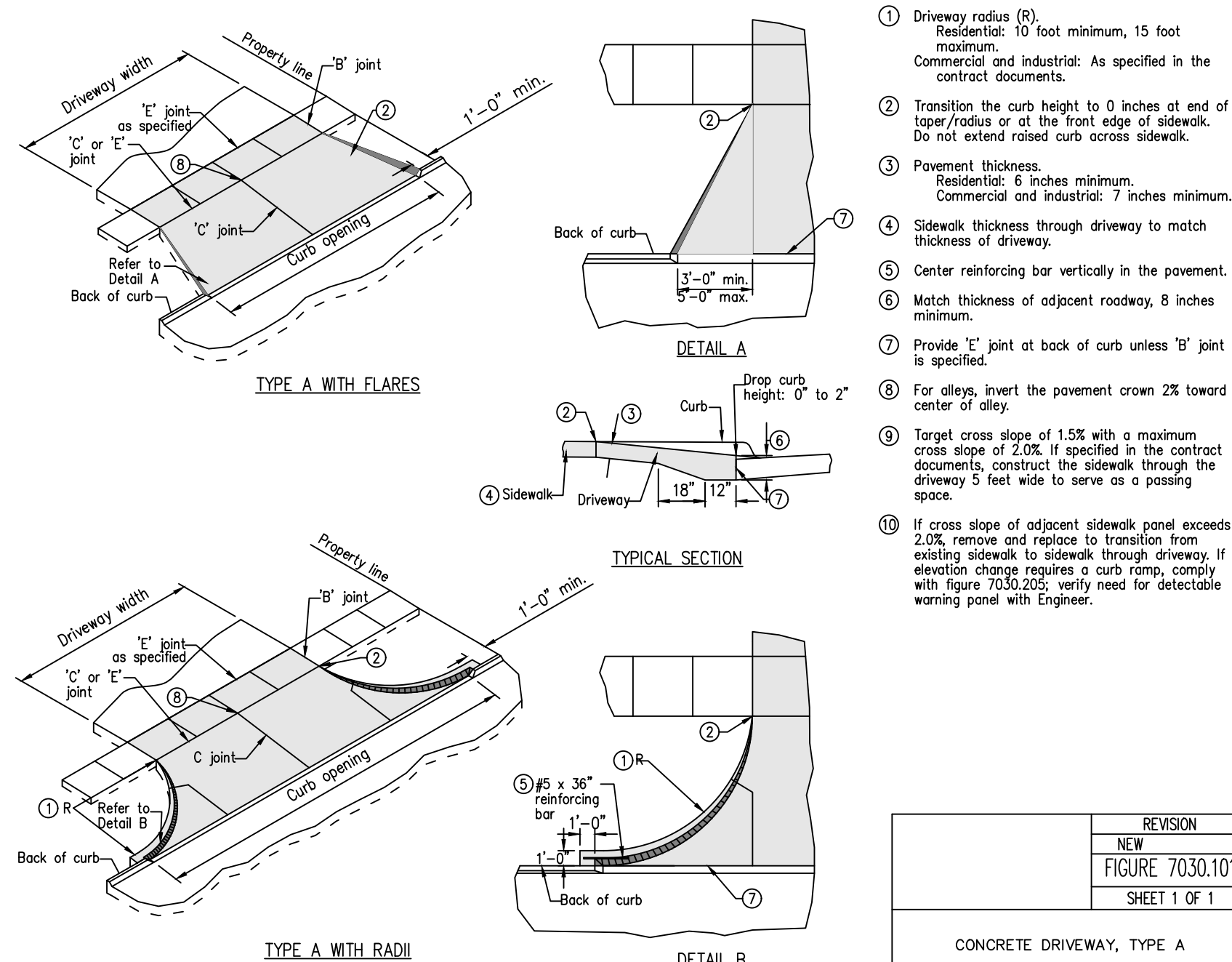
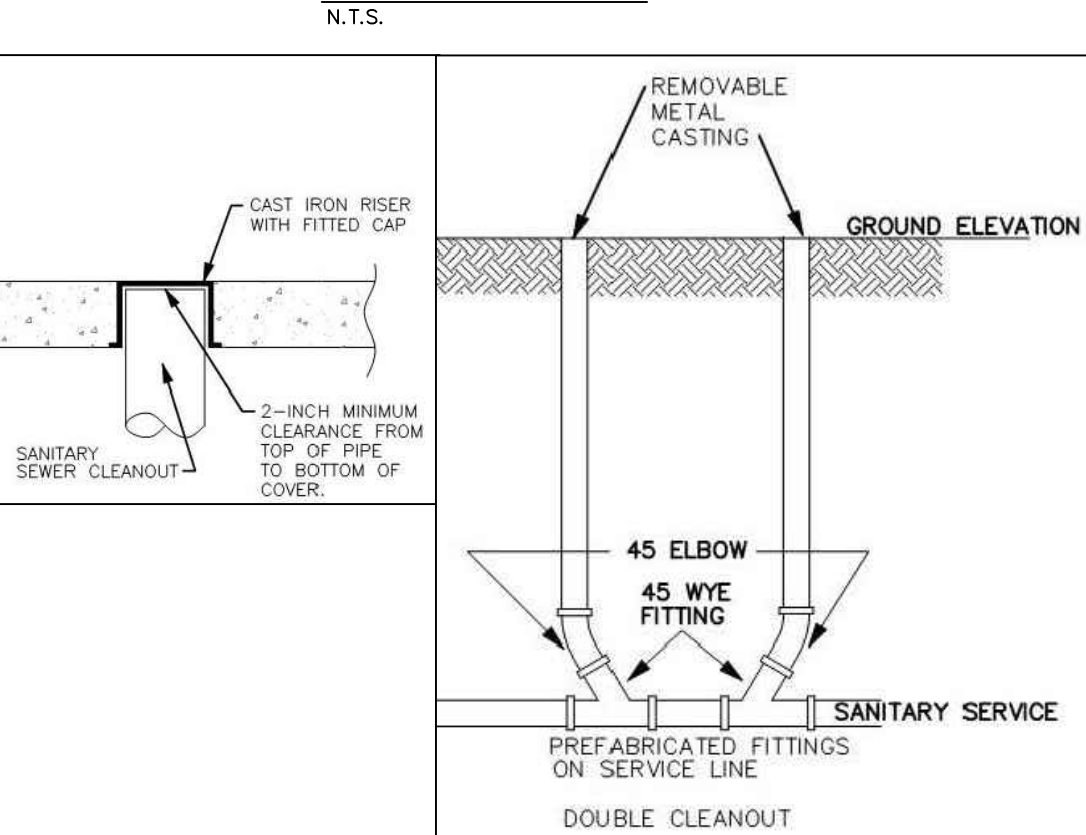
STORM SEWER NOTES

- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- STORM SEWERS SHADDED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

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SIAMESE DETAIL



SHEET INDEX

C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
C122	DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
CD100	EXISTING FEATURES AND DEMOLITION PLAN
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

GENERAL NOTES AND DETAILS

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

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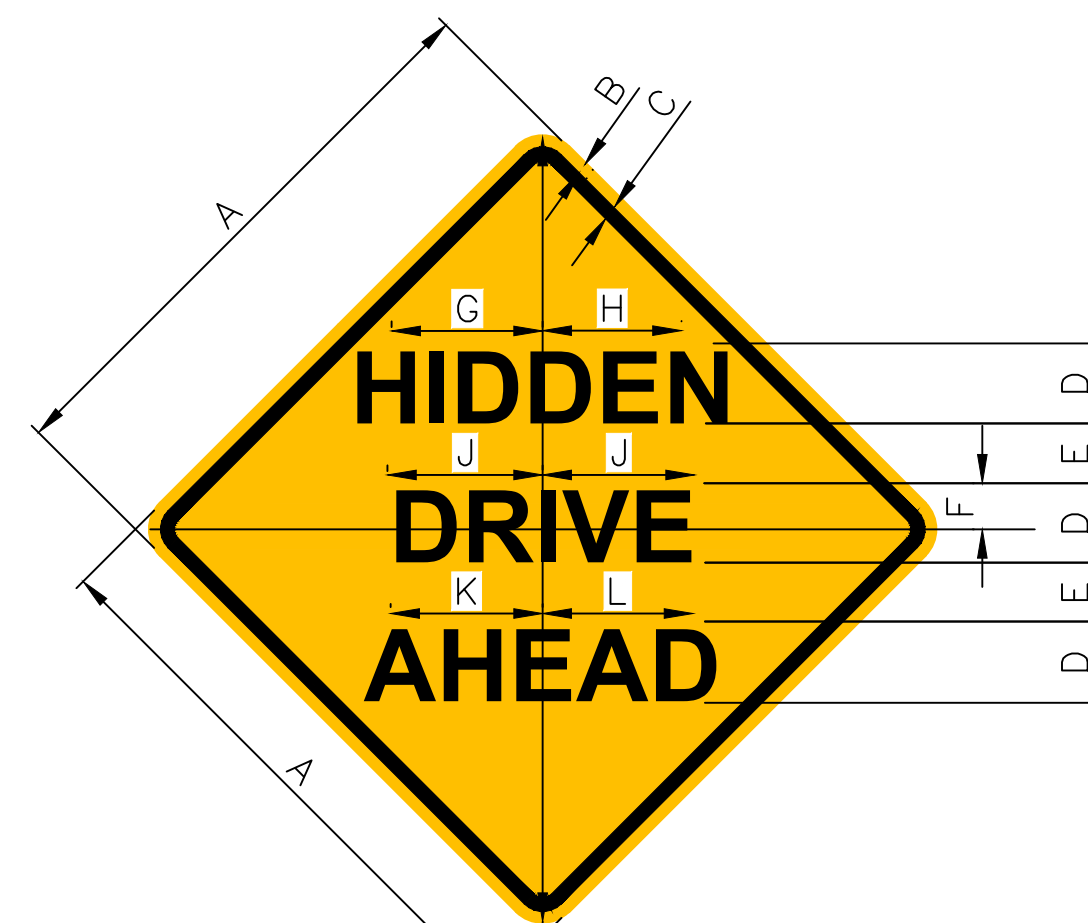
Date:	08-04-22
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Field Book No.:	1343, PG.39
Drawn by:	TAV
Scale:	N/A
Checked by:	KJB
Sheet No.:	
Project No.:	C500



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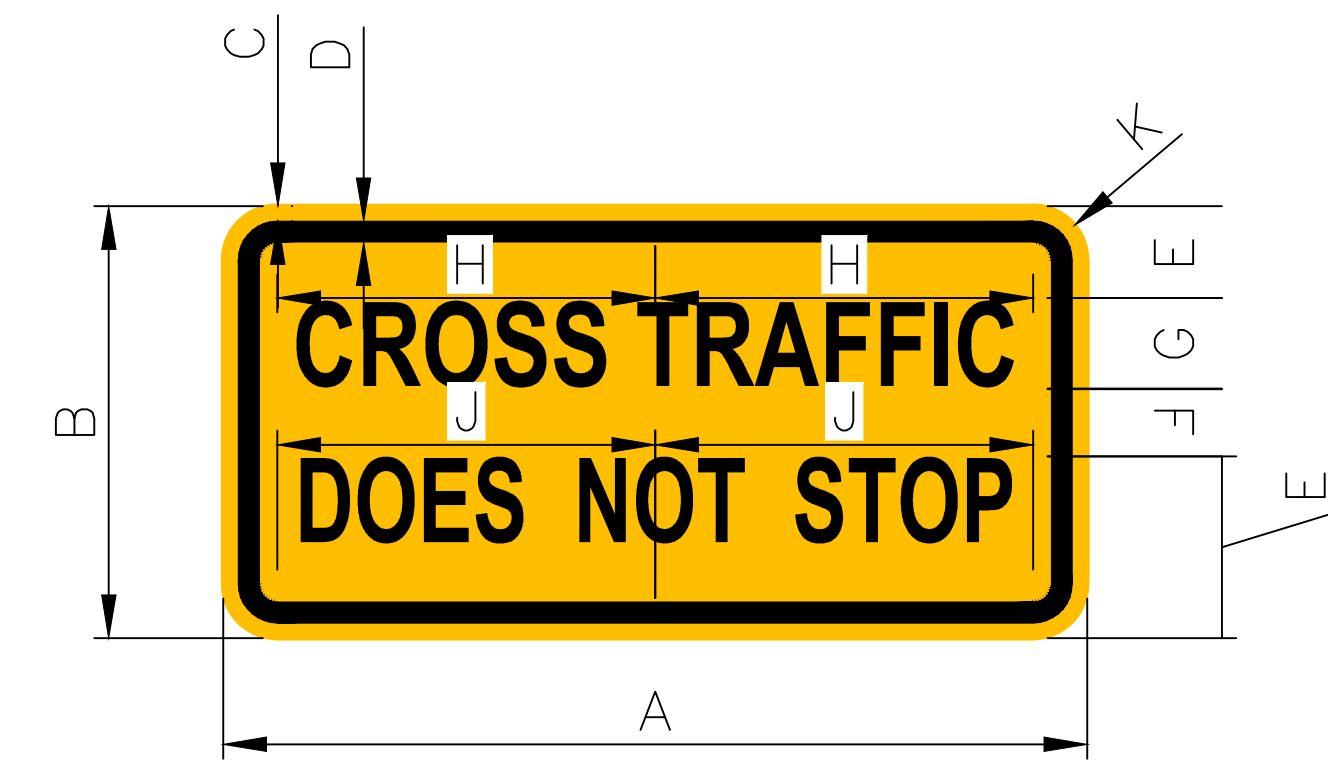
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K-6530
 36"x36"

A	B	C	D	E	F	G	H	J	K	L	M
24	.375	.625	4D	3	2	4.803	6	9.747	5.844	5.724	1.5
30	.5	.75	5D	3.802	2.601	5.764	7.765	12.189	7.285	7.165	1.875
36	.625	.875	6D	4.483	3	6.845	9.367	14.631	8.886	8.446	2.25
48	.75	1.25	7D	5.243	3.522	8.326	10.608	17.052	10.167	10.047	3

COLORS: LEGEND — BLACK
 BACKGROUND— YELLOW (RETROREFLECTIVE)



W4-4p
 36" x 18"

MUTCD W4-4B SIGN

A	B	C	D	E	F	G	H	J	K	L	M	N
24	12	.375	.625	3	2.25	C 1.5	9.314	9.63	1.5	10.106	9.779	2.25 B
30	15	.5	.75	3.5	3 C	2	12.423	12.423	1.875	12.902	13.039	3 B
36	18	.625	.875	4	3.5 C	3	14.487	14.978	2.25	15.721	15.212	3.5 B
48	24	.75	1.25	5.5	4.5 C	4	18.628	19.259	3	20.214	19.56	4.5 B

COLORS: LEGEND — BLACK
 BACKGROUND— YELLOW (RETROREFLECTIVE)

GENERAL NOTES AND DETAILS

HERITAGE HILL,
 LOT 1
 WEST BRANCH,
 CEDAR COUNTY,
 IOWA

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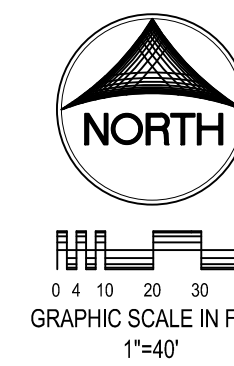
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SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240



LANDSCAPE LEGEND



LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED:
25% OF TOTAL LOT AREA SHALL BE OPEN SPACE
258,182 SF X 0.25 = 64,546 SF REQUIRED
(64,546 / 1,000 = 64.55 TREES)
(101,459 SF PROVIDED)

LANDSCAPING REQUIRED:
TWO PER 1,000 SF OF REQUIRED OPEN SPACE
(64,546 / 1,000 = 64.55 TREES)

1 SHRUB PER 1,000 SF OF REQUIRED OPEN SPACE
(64,546 / 1,000 = 64 SHRUBS)

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
TREES	AK	6	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	2" Cal.	B&B	50' x 40'
	BN	4	Betula nigra	River Birch	2" Cal.	B&B	40' x 40'
	CC	5	Cercis canadensis	Eastern Redbud	1.5" Cal.	B&B	30' x 25'
	GT	4	Geukedia trichocarpa var. 'Taycolt' TM	Styrene Thornless Honey Locust	2" Cal.	B&B	35' x 25'
	LT	4	Lindera bicolor	Tulip Poplar	2" Cal.	B&B	60' x 30'
	MP	2	Malus x 'Phenice'	Phenice Crabapple	1.5" Cal.	B&B	15' x 15'
	QB	3	Quercus imbricaria	Swamp White Oak	2" Cal.	B&B	50' x 50'
	OK	4	Quercus rubra	Red Oak	2" Cal.	B&B	50' x 50'
	SR	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	20' x 15'
	MP2	3	Malus x 'Phenice'	Phenice Crabapple	1.5" Cal.	B&B	15' x 15'
SR2	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	20' x 15'	
SHRUBS	CA	21	Calluna procumbens 'Karl Foerster'	Karl Foerster Heather Rock Grass	24" Ht.	Container	4' x 2.5'
	MS	19	Macarostema anemone 'Gracilior'	Silba Grass	15" Ht.	Container	4' x 4'
	FV	72	Flemingia virens 'Frane Fir'	Frane Fir Dutch Grass	24" Ht.	Container	4' x 3'
	TM	6	Taxus x media 'Densiform'	Dense Yew	24" Ht.	Container	3' x 5'
	TO	33	Thuja occidentalis 'Ballista' TM	Teichito Arborvitae	30" Ht.	Container	C x 2.5'
	VT	4	Viburnum trilobum 'Baby Compact'	Baby's Compact American Cranberry Bush	30" Ht.	Container	C x 5'

STANDARD LEGEND AND NOTES

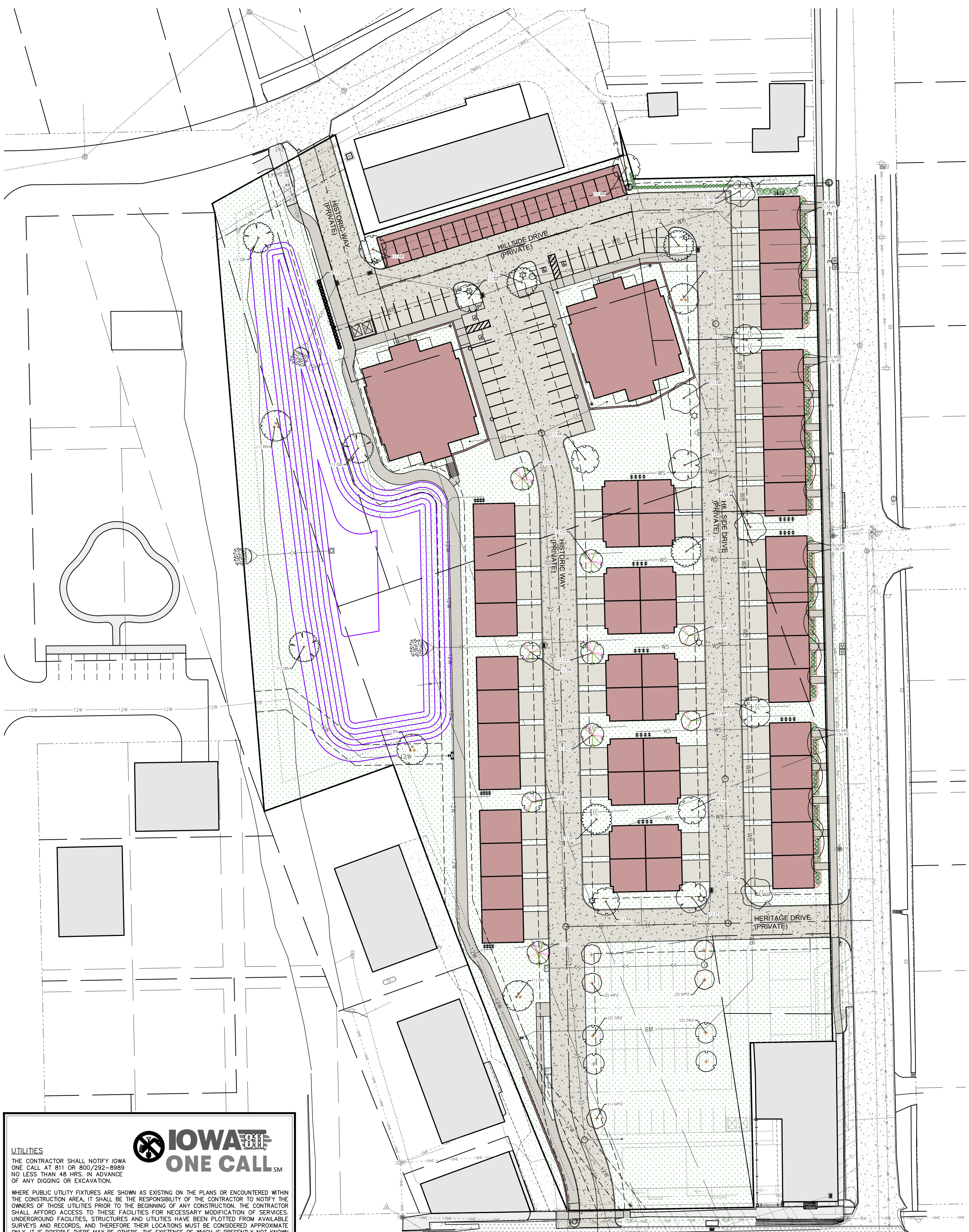
- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

EXISTING: (R)
PROPOSED: (P)

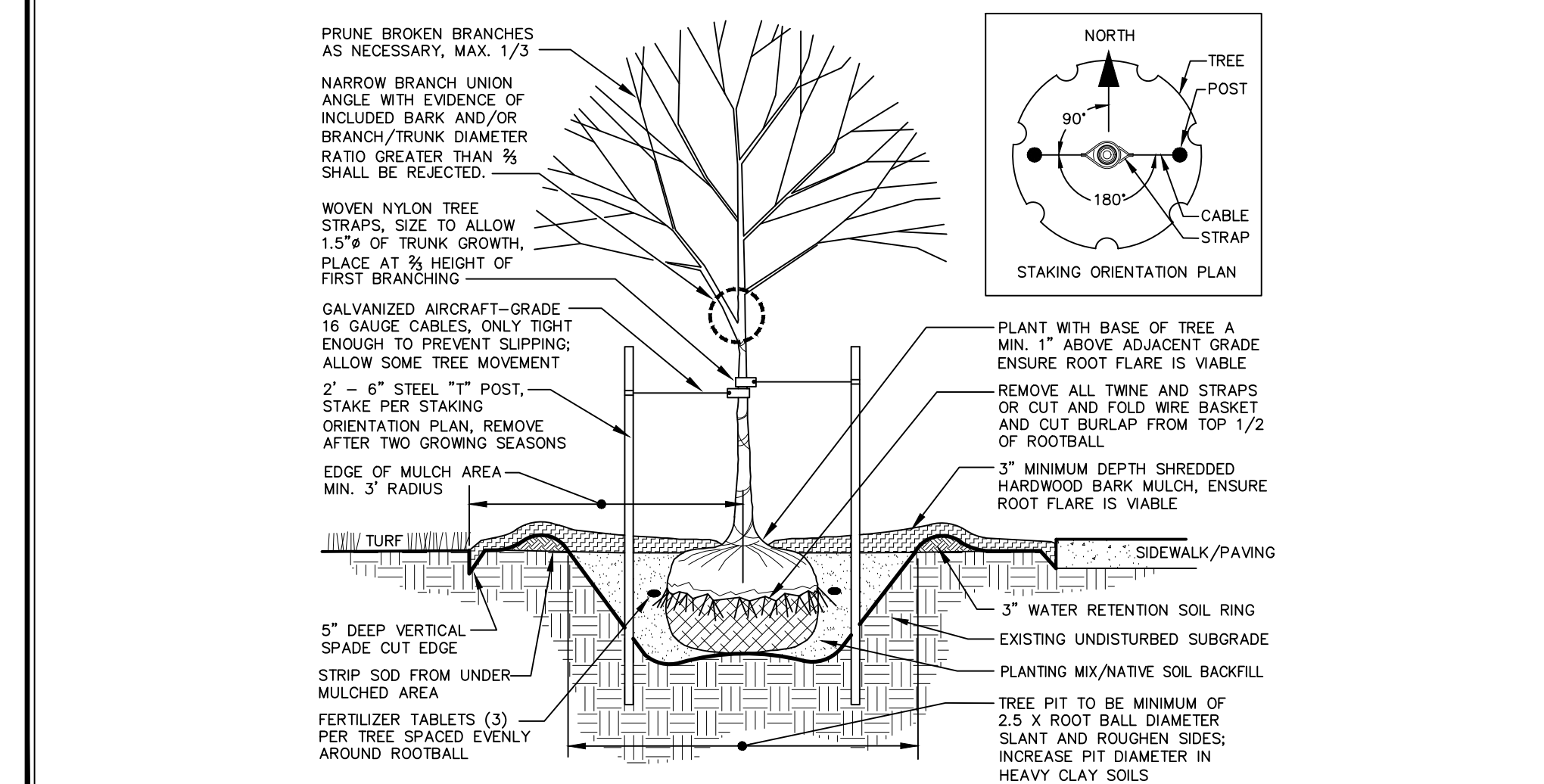
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- TELEPHONE LINES
- ELECTRICAL LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

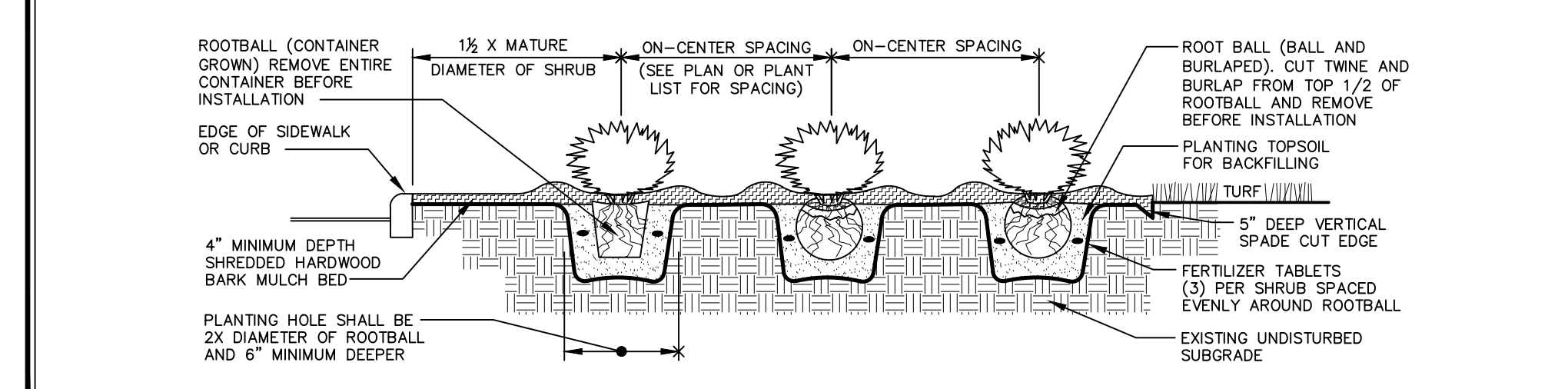
LANDSCAPE PLAN



TYPICAL TREE PLANTING DETAIL



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)



IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8899 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.
Date: 08-04-22
Designed By: KLC Field Book No: 1343, PG 39
Drawn By: TAV Scale: 1"=40'
Checked By: KJB Sheet No:
Project No: 11186-002
L100
of

CHAPTER 5: LAND USE

Introduction.

The Iowa Land Use Planning Notebook defines land-use planning as showing “the existing and proposed location, extent and intensity of development of land to be used in the future for varying types of residential, commercial, industrial, agricultural, recreational, educational and other public and private purposes or combination of purposes.” In other words, land use describes how and why the land is being used for a particular purpose, or expected to be used in the future. Existing land uses are those in place at the time the information was recorded or surveyed. Future land use addresses the desired use of land within the planning period and planning boundary. The West Branch Comprehensive Plan’s planning period is 20 years with a planning boundary of roughly the existing corporate limits.

This land-use chapter provides a framework and statement of land-use policy. The future land-use map presented in this chapter provides guidance to local officials on the quality and character of the development that may take place within the next 20 years. The future map is the same as in the 2013 plan, except as updated by the addition of two areas designated as planned unit developments. The current land-use map is the most recent available in November, 2019.

Land-Use Goals.

The land-use goals of the City of West Branch are meant to provide continuity on how land-use matters are addressed over the next 20 years in the City of West Branch. Using these goals is a means to protect identified valuable resources and preserve what truly makes the City of West Branch a great place to live, work and play.

Goal 1: To Support Economic Development, Reuse, Revitalize, and Redevelop Underutilized Commercial Properties and Public Land.

For objectives to achieve this goal see Chapter 7 of this plan.

Goal 2: Strive to Maximize Infill Development.

Objective 1: Survey vacant lots that offer opportunities for infill development, and maintain a city inventory of such properties for potential users.

Objective 2: Consider promoting the development of auxiliary living units such as “granny flats” to densify development with minimal public-service cost.

Objective 3: Monitor national trends in densification of residential areas for possible application to West Branch.

Goal 3: Conserve the Historic Nature of West Branch.

Objective 1: Consider a housing rehabilitation program for historic properties, as detailed in the West Branch Historic Preservation Plan.

Land-Use Background.

There are six types of land uses identified in this comprehensive plan. They are residential, commercial, industrial, agricultural and open space, park and recreation and governmental. Residential land use is land that has a home or dwelling on it for the purpose of human habitation. Commercial land use is land used primarily for wholesale/retail sales, office use, professional services and business activities. Industrial facilities include manufacturing, warehousing, wholesale trade, construction and utilities. Institutional land use is defined as land dedicated for government buildings, schools, and cemeteries. Park and recreation land is dedicated to parks and

Table 5.1. Existing Land Use for West Branch in 2019.

Land Use Type	Total Acres	Percentage
Residential	358	28.9%
Commercial	313	25.3%
Industrial	90	7.3%
Institutional	212	17.1%
Agricultural and Open Space	219	17.7%
Park and Recreation	45	3.6%

recreational facilities such as multi-use trails. An agricultural land use is land used for agricultural production (either crops or livestock), or land that has been left as open space.

To plan the use of land for West Branch’s needs over the next 20 years it is important first to understand what the existing conditions are. Map 5.1 shows the existing land use in West Branch as of 2019. Table 5.1 provides the most up-to-date detailed breakdown of the existing land use by acres in the incorporated areas of the City of West Branch.

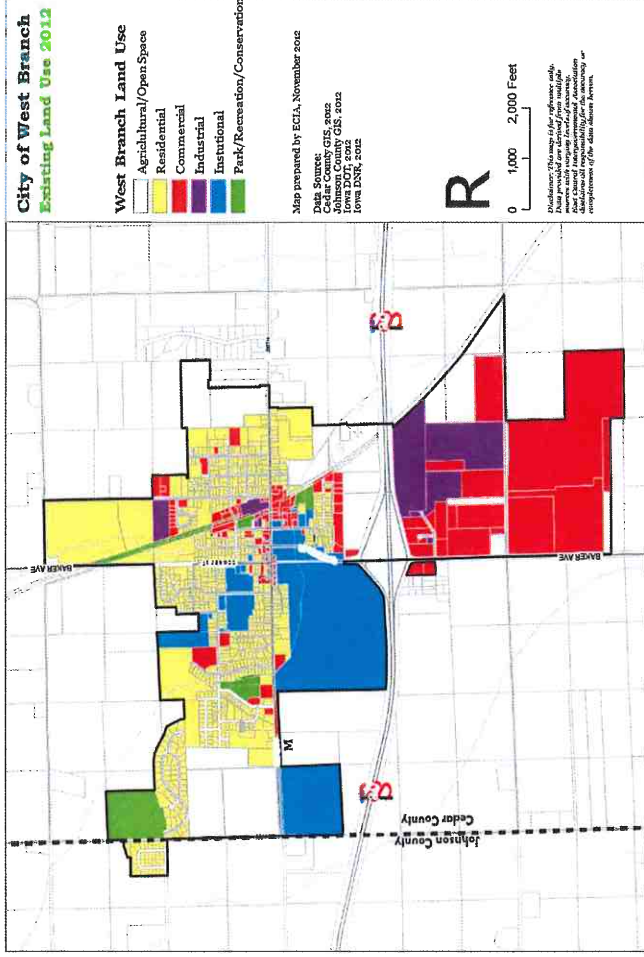
Future Land Use.

A map illustrating the anticipated future growth areas and development activities that might best occur to maximize the city’s resources and provide city services efficiently is desirable. Map 5.2 is the Future Land Use Map for the City of West Branch and displays the city’s preferred future growth patterns and future land uses.

Land use allows preferred growth patterns to occur. In preparing for the future it is essential to identify ways to encourage, attract and/or retain residents. Ways to encourage long-term residents are:

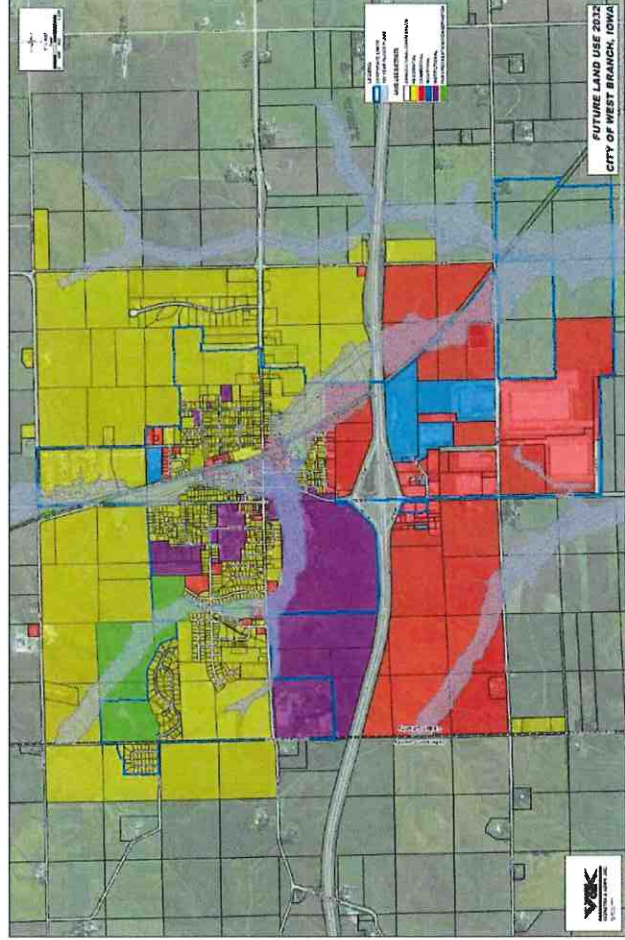
- Retain and encourage locally owned businesses;
- Encourage home ownership;
- Provide a variety of housing options;
- Offer quality-of-life amenities, such as multi-use trails.

Map 5.1. City of West Branch Current Land Use Map.



Source: City of West Branch.

Map 5.2. Future Land Use Map of West Branch.



Source: City of West Branch.

Table 5.2. Future Land Use for West Branch in 2039.

Land Use Type	Total Acres	Percentage	Expected Acre Change 2019 - 2039
Residential	473	38.3%	115
Commercial	363	29.4%	50
Industrial	90	7.3%	0
Institutional	212	17.1%	0
Agricultural & Open Space	53	4.3%	-166
Parks and Recreation	45	3.6%	0

Table 5.2 provides a detailed breakdown of expected land use for the City, based on the future land-use map developed from public input surveys, meetings and Commission discussion.

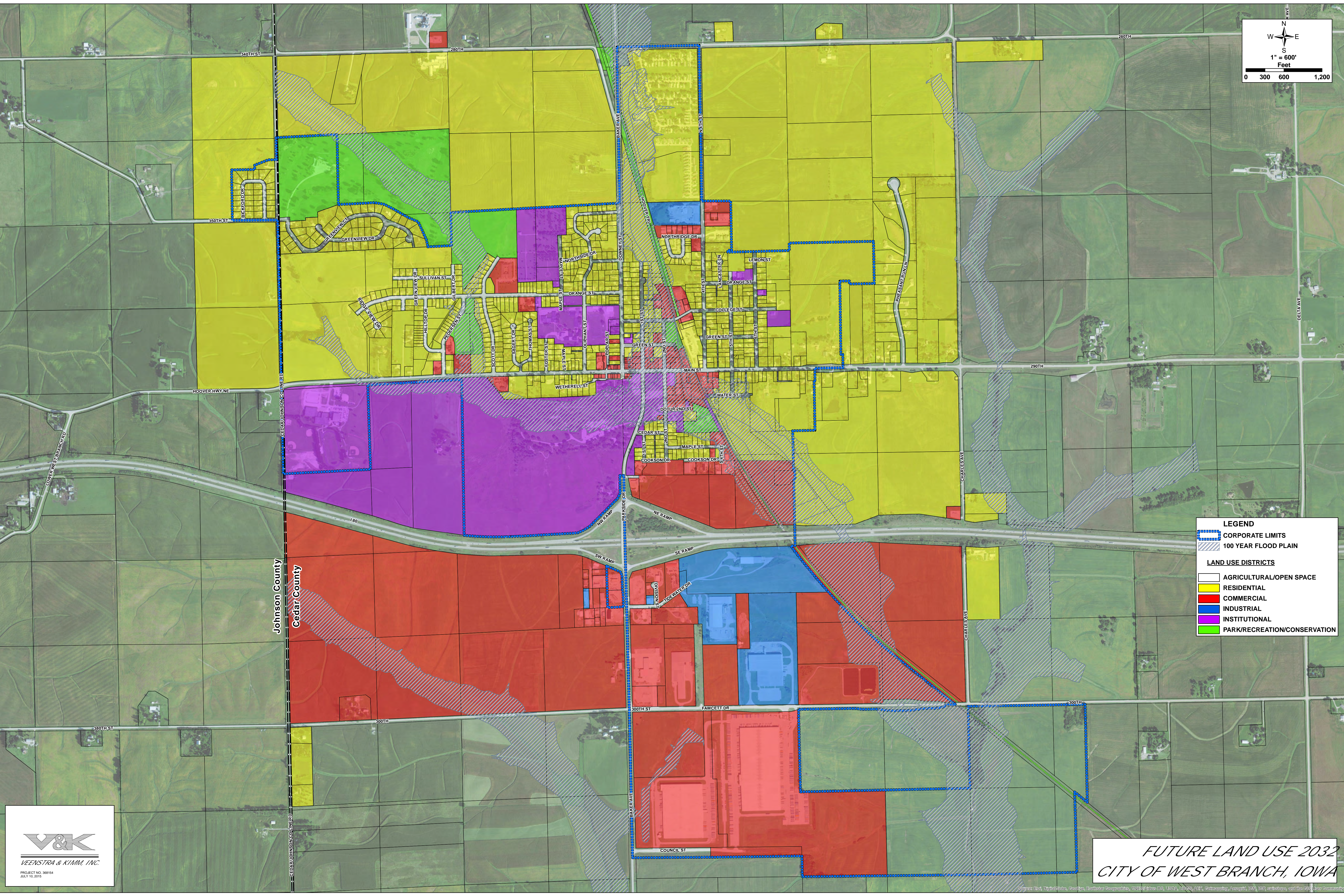
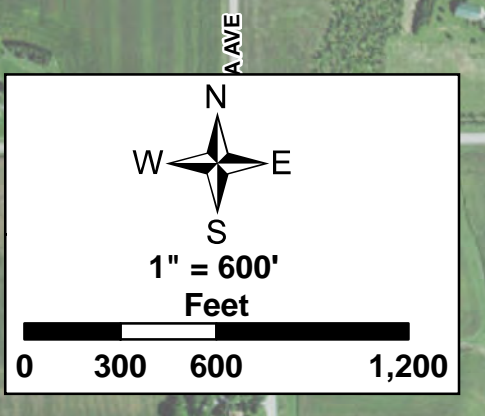
Other Items for Consideration.

The public input survey done for the 2013 plan found that respondents of the survey thought the City of West Branch needed more commercial uses (shopping, services, food/beverage establishments, and offices). Land for natural areas, open space and wildlife habitat was found to be about right. Survey respondents believed there are too many condominium-style residences. The survey also found that City of West Branch needed more civic spaces (parks, pedestrian plazas, outdoor entertainment). On the other hand, as discussed in Chapter 7 on Economic Development, West Branch is geographically close to a diversity of shopping opportunities in Iowa City and Cedar Rapids that exhibit economies of scale, making it uneconomic to produce the variety of establishments many citizens desire. Too, as discussed in Chapter 6 on Housing, the city is challenged by housing affordability and likely will need to serve its forecasted population with more rather than fewer condominiums, zero-lot-line residences, and rental apartments.

Picture 5.1. West Branch Commercial Establishment.



Source: Unknown.



LEGEND

- CORPORATE LIMITS
- 100 YEAR FLOOD PLAIN

LAND USE DISTRICTS

- AGRICULTURAL/OPEN SPACE
- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- INSTITUTIONAL
- PARK/RECREATION/CONSERVATION

*FUTURE LAND USE 2032
CITY OF WEST BRANCH, IOWA*

2. In front yards:

A. Fuel pumps and air and water outlets in conjunction with automobile service stations, provided they shall be set back at least 15 feet from the front lot line;

B. One-story bay windows projecting three feet or less into the yard;

C. Open terraces not over four feet above the average level of the adjoining ground and not projecting over 10 feet into a yard, but not including permanently roofed-over terraces or porches;

D. Signs and nameplates, as regulated therein.

E. In all residential districts there shall be a minimum front yard required for that particular zoning district in this chapter; provided, however, that where lots comprising 30 percent or more of the frontage within 200 feet of either side lot line are developed with buildings at a greater or lesser setback than stated in said particular zoning district, the front yard requirement for an undeveloped lot shall be the average of these building setbacks. In computing the average setback, buildings located on reverse corner lots or entirely on the rear half of lots shall not be counted. However, in no case shall the required front yard setback exceed 50 feet.

F. Front Setback Coverage:

1. Purpose: The front setback coverage standard ensures that a certain portion of the front setback area remains free of impervious surface, which helps to maintain a consistent and pleasant environment along neighborhood streets. These standards increase public safety by preventing excessive front yard paving and vehicular storage that may obscure the principal dwelling and the main entrance from view of the street. In addition, this standard helps to prevent neighborhood streets that are dominated by front yard pavement, particularly along frontages with narrow residential lots.

2. Standard: The maximum front setback coverage standard for the single-family residential zones is 50% of the required front yard. This is the maximum percentage of the required front setback that may be covered by impervious surface, including driveways, walkways, patios, decks, and other paved areas.

165.04 DEFINITIONS.

Unless otherwise stated, the following words shall have the meanings herein indicated.

1. "Accessory building" means a detached subordinate building, the use of which is customarily incidental to that of the main building or to the main use of the land and which is located on the same lot with the main building or use. Such a building shall not include dwelling units or living quarters.
2. "Accessory use" means a use subordinate to the main use of land or a building on a lot and customarily incidental thereto.
3. "Agriculture" means an area which is used for the growing of the usual farm products, such as vegetables, fruit, trees and grain, and their storage on the area, as well as for the raising, feeding, or breeding thereon of the usual farm poultry and farm animals, such as horses, cattle, sheep and swine. The term "farming" includes the operating of such an area for one or more of the above uses, including dairy farms with the necessary accessory uses for treating or storing the produce; provided, however, the operation of such accessory uses shall be secondary to that of the normal farming activities, and provided further, "farming" does not include large scale commercial feeding of livestock.
4. "Alley" means minor ways which are used primarily for vehicular service access to the rear or side of properties otherwise abutting on a street.
5. "Alterations, structural" means any change in the building load-bearing members of a building, such as bearing wall, partitions, columns, beams, or girders. The enlargement of the side or height of a building shall be construed to be a structural alteration.
6. "Apartment" means a room or suite of rooms, with toilet and culinary accommodations, used or designed for use as a residence by a family, or any two or more people, located in a building containing two or more such rooms or suites, or located in a building devoted primarily to non-residential use.
7. "Auto laundry" means a building or portion thereof, where automobiles are washed commercially, or equipment is rented for the same purpose.
8. "Automobile sales room" means a building or portion thereof where automobiles and vehicles are sold by a franchised dealer either with or without storage, parts sales, and repair facilities, providing all such repair activities are enclosed within a structure.
9. "Basement" means a story partly or wholly underground. Where more than one-half its height is above the established curb level or above the average level of the adjoining ground where the curb level has not been established, a basement shall be counted as a story for purpose of height measurement.
10. "Boarding house" means a building or place, other than a fraternity or sorority house, where lodging or boarding is provided by pre-arrangement for definite periods of time for compensation, for no more than 10 persons and is not open to transient guests.
11. "Building" means any enclosed space for human use or activities, whether stationary, temporary or movable. When any portion of a building is completely separated from any other portion thereof by a division from any other openings or by a fire wall, then each such portion shall be deemed to be a separate building. "Principal building" means a building, including covered porches, carports and attached garages, in which is conducted the principal use of the lot

on which it is situated. In any residence district the main dwelling shall be deemed to be the principal building on the lot on which the same is situated.

12. “Building, height of” means the vertical distance measured from the average elevation of the proposed finished grade at the front of the building to the highest point of the roof for flat roofs, to the deck line of mansard roofs, and to the mean height between eaves and ridge for gable, hip and gambrel roofs.

13. “Building line” means an imaginary line parallel to all lot lines over which no portion of any building may extend and which is a distance from the front lot line equal to the depth of the front yard required for the distance in which such lot is located.

14. “Carport” means a form of private garage providing space for housing or storage of one or more automobiles and enclosed on not more than two sides by walls. The dimensions determining the overall size of the carport shall be measured from the extreme edge or any part of the building.

15. “Centerline” means the true centerline of a street which has been fully dedicated to its required width. Where all of the required width of public right-of-way has not been dedicated or such public right-of-way has not been dedicated or such public right-of-way exists in an offset or angular manner, the City Engineer shall determine the alignment of the centerline.

16. “Clinic” means an establishment where patients are not lodged overnight, but are admitted for examination and treatment by physicians or dentists practicing medicine together.

17. “Club” or “lodge” means an association of persons organized for the promotion of service to others, who are bona fide members paying annual dues, which owns, hires or leases a building, or portion thereof except a fraternity or sorority, the use of such premises being restricted to members and their guests. It is permissible to serve food and beverages to members and their guests on such premises provided adequate dining room space and kitchen facilities are available and are operated in compliance with the State and local laws.

18. “Corner lot” means a lot fronting on two intersecting streets or at the angle in the street where the interior angle formed by the intersection of the street lines is 135° or less and which lot has a frontage of not less than 25 feet on each leg of such angle.

19. “Driveway” means a surface designed to provide access from the street to, across or onto private property.

20. “Dwelling” means a building used exclusively for permanent residential occupancy or portion thereof, including one-family dwellings, two-family dwellings, and multiple-family dwellings, but not including a mobile home designed or used primarily for residential occupancy, or hotel, motel, apartments, boarding, lodging or rooming house, tents, cottage camps, or other structures designed or used primarily for transient residents.

A. “Dwelling, single-family” means a detached building, designed or used exclusively for occupancy by one family.

B. “Dwelling, two-family” means a building designed or used exclusively for occupancy by two families.

C. “Dwelling, multiple-family” means a building, or portion thereof, containing three dwelling units or more.

D. "Dwelling unit" means one or more rooms in a dwelling which are arranged, designed, used or intended for use as living quarters for one family. This includes permanent kitchen and bathroom facilities.

21. "Family" or "household" means one or more persons related by blood, marriage or adoption, occupying a dwelling unit as an individual housekeeping entity; and as such may include no more than two persons not related by blood, marriage or adoption.

22. "Feedlot" means a commercial venture under corporate partnership or individual ownership involving the assemblage of livestock for the express purpose of preparation for market in the least time possible, purchasing over 75 percent of its feed, and characterized by rapid turnover of livestock; the absence of dwelling unit or structure for housing livestock and presence of other uses normally associated with a farm.

23. "Fence" means a self-supporting manmade structure extending above ground designed to define, restrict, or prevent movement across a boundary.

24. "Floor area" means the total number of square feet of floor space as determined by the outside dimensions of the building, not including space in basements; however, if the basement is used for business or commercial purposes, it shall be counted as floor area in computing off-street parking requirements.

25. "Garage, private" means an enclosed space for the storage of one or more motor vehicles, provided that no business, occupation or service is conducted for profit therein or space therein for more than two vehicles is rented to non-residents of the premises.

26. "Garage, repair" means any garage other than a private garage, available to the public, operated for gain, and which is used for storage, repair, rental, greasing, washing, servicing, parts sales, and adjusting or equipping of automobiles or other motorized equipment.

27. "Grade" means:

A. For buildings having walls adjoining one street only, the elevation of the sidewalk at the center of the wall adjoining the street;

B. For buildings having walls adjoining more than one street, the average of the elevation of the sidewalks at the centers of all walls adjoining streets; or

C. For buildings having no wall adjoining the street, the average level of the finished surface of the ground adjacent to the exterior walls of the building.

Any wall approximately parallel to and not more than five feet from a street line is to be considered as adjoining the street. Where no sidewalk exists, the grade shall be established by the City Engineer.

28. "Hedge" means a row of closely planted shrubs or low-growing trees that may serve as a fence.

29. "Home occupation" means an occupation or a profession which:

A. Is customarily carried on in a dwelling unit or a building or other structure accessory to a dwelling unit or in a building or other structure accessory to a dwelling unit, and

B. Is carried on by a member of the family residing in the dwelling unit for residential purposes, and

C. Is clearly incidental and secondary to the use of the dwelling unit for residential purposes, and

D. Which conforms to the following additional conditions:

(1) The occupation or profession shall be carried on wholly within the principal building or within a building or other structure accessory thereto – and shall not occupy more than 50 percent of the floor area of one story.

(2) Not more than one person outside the family shall be employed in the home occupation;

(3) There shall be no display or indication visible from the exterior storage of materials and no other exterior indication of the home occupation or variation from the residential character of the principal building except as permitted by Section [165.37](#).

(4) No noise, vibration, smoke, dust, odors, heat or glare shall be produced which is detrimental to the residential character of the zoning district in which it is located.

30. “Hotel” means a building occupied as the more or less temporary abiding place of individuals who are lodged, with or without meals, and in which there are more than 10 sleeping rooms usually occupied independently.

31. “Inn” means a building occupied as the more or less temporary abiding place of individuals who are lodged with or without meals, and in which there are fewer than 10 sleeping rooms.

32. “Junk yard” means an area of land with or without buildings used for or occupied by a deposit, collection, or the storage, outside of a completely enclosed building, of used or discarded materials, house furnishing, machinery, vehicles, or parts thereof with or without the dismantling, processing, salvage, sale, or other use of disposition of the same. Junk yards are prohibited within the City limits.

33. “Kennel” means any lot or premises on which four or more domestic animals or pets at least four months of age are harbored.

34. “Lot” means a parcel of land legally described as a district portion or piece of land of record.

A. “Lot area” means the area of a horizontal plane bounded by vertical planes containing the front, side and rear lot lines.

B. “Lot, corner” means a lot situated at the junction of and abutting on two or more intersecting streets or adjoining a curved street at the end of a block.

C. “Lot coverage” means the area of a zoning lot occupied by the principal building or buildings and accessory buildings.

D. “Lot depth” means the mean horizontal distance between the front and rear lot lines of a lot measured within the lot boundaries.

E. “Lot frontage” means that boundary of a lot along a public street; for a corner lot the owner may elect either street line as the front lot line.

F. “Lot line: means a property boundary line of any lot held in single or separate ownership, except that where any portion of the lot extends to the abutting street or alley, the lot line shall be deemed to be the street or alley line.

- G. "Lot, interior" means a lot other than a corner or reversed corner lot.
- H. "Lot line, front" means the front property line of a zoning lot.
- I. "Lot line, interior" means a side lot line common with another lot.
- J. "Lot line, rear" means the lot line or lot lines most nearly parallel to and most remote from the front lot line.
- K. "Lot of record" means a lot which is part of a subdivision the map of which has been recorded in the office of the County Recorder of Deeds of Cedar County or a parcel of land the deed of which was recorded in the office of the County Recorder of Cedar County prior to the adoption of the Zoning Ordinance.
- L. "Lot line, side" means a lot line other than front or rear lot lines.
- M. "Lot, reversed corner" means a corner lot, the rear of which abuts upon the side of another lot, whether across an alley or not.
- N. "Lot, through" means a lot having frontage on two parallel streets, or approximately parallel streets and which is not a corner lot. On a through lot, both street lines shall be deemed front lot lines.
- O. "Lot width" means the mean horizontal distance between the side lot lines measured within the boundaries, or between the side lot lines within the buildable area.
35. "Mobile home or trailer" means a vehicle with or without motive power used or adaptable for living, sleeping, business or storage purposes, having no foundation other than wheels, blocks, skids, jacks, horses, or skirting, which does not meet the Building Code requirements and has been or reasonably may be equipped with wheels or other devices for transporting the structure from place to place. The term "trailer" includes "camper" and "house car." A permanent foundation shall not change its character, nor shall the erecting of additions to said trailer, unless the trailer itself and any additions thereto conform to all City laws.
36. "Hotel, motor court, motor lodge or tourist court" means any building or group of buildings containing guest rooms or dwelling units, some or all of which have a separate entrance leading directly from the outside of the building with garage or parking space conveniently located on the lot, and designed, used, or intended wholly or in part for the accommodation of automobile transients.
37. "Nonconforming use" means any building or land lawfully occupied by a use at the time of passage of the Zoning Ordinance or amendment thereto which does not conform after the passage of such ordinance or amendment thereto, with the use regulation of the district in which it is situated.
38. "Nursing home" means a home for the aged or infirm, in which three or more persons not of the immediate family are received, kept or provided with food and shelter or care, for compensation, but not including hospitals, clinics, or similar institutions.
39. "Parking space" means an off-street space accessible and available for the parking of one motor vehicle and having an area of not less than 180 square feet, together with a driveway connecting the parking space with a street, road, or alley and permitting ingress and egress of an automobile. All parking and stacking spaces, drives and aisles must be constructed of asphaltic cement concrete, portland cement concrete or manufactured paving materials.

40. “Public right-of-way” means all streets, roadways, sidewalks, alleys, and other areas reserved for present or future use by the public, as a matter of right for the purpose of vehicular or pedestrian travel or utility installation.
41. “Retaining wall” means a wall not laterally supported at the top that resists lateral soil load and other imposed loads.
42. “Screen” means a class of fence intended to provide a visual buffer (e.g., hide utility boxes or trash containers).
43. “Service stations” means any area of land, including structures thereon, that is used or designed to be used primarily for the sale of gasoline or oil or other fuel for the propulsion of motor vehicles and which may include facilities used or designed to be used for polishing, greasing, washing, dry cleaning or otherwise cleaning, or servicing such motor vehicles.
44. “Sign” means any structure or part thereof or device attached thereto or painted or represented thereon, which shall display or include any letter, work, model, banner, flag, pennant, insignia, device or representation used, as, or which is in the nature of an announcement, direction or advertisement. The word “sign” includes the word “billboard,” but does not include the flag, pennant or insignia or authentic reproduction thereof of any nation, state, city or other political unit, or of any political, educational, charitable, philanthropic, civic, professional, religious or like campaign, drive, movement or event.
45. “Story” means that portion of a building, other than a basement, included between the surface of any floor and the surface of the floor next above it, or, if there is no floor above it, then the space between the floor and the ceiling next above it. A basement is considered a story if used for dwelling purposes.
46. “Street” means a traveled portion of the public right-of-way between curb faces, if curb exists, which affords the principal means of access to abutting property.
47. “Structure” means anything constructed or erected which requires location on the ground, but not including fences or walls used as fences less than six feet in height, poles, lines, cables or other transmission or distribution facilities of public utilities.
48. “Use, principal” means the specific purpose for which land or a building is designed, arranged, intended, or for which it is or may be occupied or maintained.
49. “Yard” means the space on a lot extending along a lot line between such “lot line” and a principal building or buildings, or non-building use occupying such lot. Yard measurements shall be taken from the building line to the lot line.
- A. “Front yard” means a yard extending the full width of the lot and situated between the front lot line and the building line. The depth of front yard shall be measured between the building line and the front lot line. Covered porches and garages, whether enclosed or unenclosed, shall be considered as part of the main building and shall not project into a required front yard.
- B. “Rear yard” means a yard extending the full width of the lot and situated between the rear line of the principal building and the rear lot line.
- C. “Side yard” means a yard situated between the building line and the side lot line and extending from the front yard to the rear yard.

D. For corner lot yard definitions refer to section [165.12](#).

50. “Zero lot line units” means two single-family dwelling units joined together on either side of a common boundary line with a common wall between such units, and which have:

A. Separate or divided ownership of each single-family unit resulting from the division of the lot or parcel of land into two separate parcels done in such a manner as to result in a single-family unit being located on either side of the common wall.

B. A standard fire wall between the separate units that is built in such a manner as to allow no connection other than the wall itself between the units.

C. Restrictive and protective covenants providing that any owners of the two-unit family dwelling shall be jointly and severally liable for the maintenance and repair of the common wall, as well as all other common aspects. Separate water and sewer lines shall be furnished to each unit. The covenants, after approval by the City, shall be recorded in the Office of the County Recorder and shall be covenants running with the land.