



CITY COUNCIL MEETING
MONDAY, OCTOBER 3, 2022 – 7:00 p.m.
CITY COUNCIL CHAMBERS
110 N. POPLAR STREET, WEST BRANCH, IOWA

<https://zoom.us/j/5322527574>

or dial in phone number 1-312-626-6799 with Meeting ID 532 252 7574.

1. Call to order
2. Pledge of Allegiance
3. Roll call
4. Welcome
5. Approve Agenda. /Move to action.
6. Approve Consent Agenda/Move to action.
 - a. Approve minutes from the September 19, 2022 City Council meeting.
 - b. Claims for 10/3/2022
 - c. July Financial Report
 - d. Amended Clerk's report – June 2022
7. Presentations/Communications/Open Forum
8. Public Hearing/Non-Consent Agenda
 - a. **Public Hearing** on proposal to rezone one lot located on Ohrt Street from R-1 to R-2 Residential District.
 - b. **First Reading Ordinance 797** – Re-zoning that certain parcel of real property located at 154 Ohrt Street from R-1 Residence District to R-2 Residence District. / Move to action.
 - c. **Public Hearing** on proposal to rezone various parcels in the area bounded by N. 2nd St., E. College St., E. Main St., and N. 4th St.
 - d. **First Reading Ordinance 798** – Re-zoning that certain parcel of real property located north of E. Main Street and West of N. 4th Street from R-3 Residence District to Planned Unit Development District. / Move to action.
 - e. **Public Hearing** regarding an amendment to the Historic Preservation Ordinance (Chapter 25).
 - f. **First Reading Ordinance 799** – Establishing a Historic Preservation Commission for the City of West Branch Iowa; Providing for the recognition and promotion of Historic Sites and Defining Powers and Duties of the Commission. / Move to action.
 - g. **Resolution 2022-86** – Entering into an Officer Training Reimbursement Agreement with Lucas Moore. / Move to action.
 - h. **Oath of Office** - Police Officer Lucas Moore.
 - i. **Resolution 2022-87** – Approving the Preliminary Plat of Heritage Hill, West Branch, Iowa. / Move to action.
 - j. **Resolution 2022-88** – Approving the Final Plat for Heritage Hill, West Branch, Iowa. / Move to action.
 - k. **Resolution 2022-89**- Approving the Site Plan for Lot 1, Heritage Hill Site, West Branch, Iowa. / Move to action.
 - l. **Resolution 2022-90** – Authorizing the city administrator to formally request a deed from Johnson County for a portion of Cedar-Johnson Road. / Move to action.
 - m. **Resolution 2022-91** - Authorizing an Emergency Responder Advocacy Committee to speak on behalf of the City Council. / Move to action.
9. Discussion – Greenview connection driveway access
10. City Administrator Report
11. City Attorney Report
12. City Engineer Report
13. City Staff Reports
14. Comments from Mayor and Council Members
15. Motion to adjourn.

(The following is a synopsis of the minutes of the West Branch City Council meeting. A video recording is available for inspection at westbranchiowa.org. The minutes are not approved until the next regularly scheduled City Council meeting.)

**West Branch, Iowa
Council Chambers**

**City Council
Regular Meeting**

**September 19, 2022
7:00 p.m.**

Mayor Roger Laughlin called the West Branch City Council regular meeting to order at 7:00 p.m. Roll call: Council members present: Colton Miller, Jerry Sexton, Jodee Stoolman, Nick Goodweiler and Tom Dean. City Staff present: City Administrator Adam Kofoed, City Clerk Leslie Brick, Finance Officer Heidi Van Auken, Public Works Director Matt Goodale, Police Chief John Hanna, City Attorney Kevin Olson, City Engineer Dave Schechinger. City Staff attending via Zoom: Library Director Nick Shimmin.

APPROVE THE AGENDA

Motion by Miller, second by Sexton to approve the agenda. Motion carried on a voice vote.

APPROVE CONSENT AGENDA

Approve minutes from the September 6, 2022 City Council meeting.

Approve a Special Event permit - Iowa City High Cross County Run, Oct. 1, 2022

Approve a Special Event permit – Fall Fest, Oct. 8, 2022

Claims for 9/19/2022

June Monthly Financial report

EXPENDITURES	9/19/2022	
AMAZON	VARIOUS ITEMS-LIBRARY	923.76
AMAZON.COM	CAR ITEMS - POLICE	241.01
CAPITAL ONE	VARIOUS ITEMS - LIBRARY	72.84
CARRIE A HOURIGAN	CLEANING SERVICES-LIBRARY	368.00
CEDAR COUNTY RECORDER	RECORDING FEES	21.00
CROELL, INC.	GREENVIEW EXT SIDEWALK	1,281.60
DAVID MCILRATH	NUISANCE TREE SERVICE	1,000.00
ECKERMANN, CHARLES	BLDG INCENTIVE PAYMENT	2,147.10
HOLLYWOOD GRAPHICS	VB TSHIRTS YOUTH - P&R	606.60
IMPACT7G INC	WIDENING WAPSI CREEK	4,802.00
IMWCA	IMWCA FY23 INSTALLMENT 3	2,035.00
JAYME CILEK	CLEANING SERVICES-CITY, TH	450.00
JEFFREY & ELIZABETH JOHANNA	BLDG INCENTIVE PAYMENT	2,467.49
KANOPY	ON DEMAND VIDEO SERVICE	16.00
LAUGHLIN, ROGER	SIREN EASEMENT COMPENSATION	3,000.00
LEAF CAPITAL	COPIER LEASE - LIBRARY	142.02
LINN COUNTY R.E.C.	STREET LIGHTS	195.41
LRS HOLDINGS, LLC	TRASH & RECYCLING AUGUST 2022	18,800.75
LYNCH'S PLUMBING INC	WATER PLANT REPAIR	6.40
MOBOTREX, INC	SCHOOL LIGHT BATTERIES	390.00
OVERDRIVE INC	DIGITAL & AUDIO BOOKS	3.48
PARKSIDE SERVICE	SKIDLOADER TIRE REPAIR	40.00
PITNEY BOWES GLOBAL	POSTAGE METER LEASE-LIBRARY	77.37
PREMIER PARTS TIPTON	FILTERS FOR BLOWER	273.00
PROTECT YOUTH SPORTS	BACKGROUND CHECKS	13.50
QUILL CORP	OFFICE SUPPLIES	408.85
SCOTT ALLEN STUELAND	GREENVIEW EXT STUMP GRINDING	250.00
THE HOME DEPOT PRO	SUPPLIES - P&R	101.09
TYLER TECHNOLOGIES	DEDUCTION & FLEX CODE SETUP	600.00
VEENSTRA & KIMM	LOT SITE PLAN REVIEW	23,685.25
WESTRUM LEAK DETECTION	2022 LEAK DETECTION SURVEY	1,500.00
TOTAL		65,919.52
PAYROLL-WAGES, TAXES, EMPLOYEE BENEFITS	9/16/2022	52,733.10
PAID BETWEEN MEETINGS		
GLOBAL PAYMENTS	AUGUST CC FEES	888.87
BOOMERANG CORP	WW TREATMENT PAY ESTIMATE 1	756,667.50

BOOMERANG CORP	WW TREATMENT PAY ESTIMATE 2	511,380.70
VARIOUS VENDORS	UB REFUNDS	463.56
AMAZON.COM	VOLLEYBALLS	219.06
ARSL	MEMBERSHIP RENEWAL-LIBRARY	50.00
AT&T MOBILITY	WIRELESS SERVICE	445.88
CITY OF TIPTON REC DEPT	CAMP ACTIVITIES	130.00
IMFOA	CLERK CERTIFICATION-BRICK	50.00
IA PARK & REC ASSOCIATION	MEMBERSHIP & WORKSHOP FEE	340.00
OVERDRIVE INC	DIGITAL & AUDIO BOOKS	312.56
QUILL CORP	POWER CORD-LIBRARY	27.38
TOTAL		1,270,975.51
GRAND TOTAL EXPENDITURES		1,389,628.13

FUND TOTALS	
001 GENERAL FUND	56,014.39
022 CIVIC CENTER	40.50
031 LIBRARY	8,504.61
036 TORT LIABILITY	1,937.86
110 ROAD USE TAX	430.00
112 TRUST AND AGENCY	16,019.66
304 EASTSIDE WATER MAINS	199.00
321 WIDENING WAPSI CREEK	5,598.00
324 WW TREATMENT FACILITY	1,286,708.70
326 ROUNDABOUT MAIN & CEDAR	3,134.25
600 WATER FUND	7,037.23
610 SEWER FUND	4,003.93
GRAND FUND TOTAL	1,389,628.13

Motion by Miller second by Sexton to approve the Consent agenda. AYES: Miller, Sexton, Stoolman, Dean, Goodweiler. NAYS: None. Motion carried.

PRESENTATIONS / COMMUNICATIONS / OPEN FORUM

Kelli Rozinek, Daughters of the American Revolution – addressed the Council to inform them that the Daughters of the American Revolution (DAR) is a non-profit, non-political volunteer women's service organization. DAR members are dedicated to promoting historic preservation, education, and patriotism in communities across the nation. With more than 120 years of tradition, over 930,000 members admitted since its founding, a vast array of service work, a historic National Headquarters building with extraordinary collections, and countless activities taking place locally, nationally and globally. The Open Prairie Chapter is based in Tipton, of which Rozinek is a member and on their behalf is making a request to for the City Council to proclaim September 17th thru September 23rd "Constitution Week", commemorating the two-hundred fiftieth anniversary of the drafting of the Constitution.

PUBLIC HEARING / NON-CONSENT AGENDA

Resolution 2022-84 – Hiring Lucas Moore as a Police Officer for the City of West Branch and setting the hourly wage for the position until completion of the Law Enforcement Academy. / Move to action.

Hanna said Moore was selected as the city's next police officer having met all of the requirements. Moore, who is not a certified police officer will need to complete the law enforcement academy which will start in January, which continued employment will be contingent upon successful completion. Hanna said Moore will be sworn in at the October 3rd Council meeting and official start date will be October 4, 2022. Moore will job shadow with the Chief and other officers until he attends the academy. Kofoed added that the final officer training reimbursement agreement contract will be ready for Council approval at the October 3, 2022 meeting. Motion by Dean, second by Miller to approve Resolution 2022-84. AYES: Dean, Miller, Goodweiler, Stoolman, Sexton. NAYS: None. Motion carried.

Resolution 2022-85 A resolution approving an amendment to a private redevelopment agreement with BBCO, LLC. (Heritage Hill) / Move to action.

Olson stated that this resolution changes the original phasing of the redevelopment project which is required for BBCO's financing lender. Sexton asked when the city will deed the property over to BBCO, LLC. Olson responded that it will be done after the developer's financing has been secured.

Motion by Miller, second by Goodweiler to approve Resolution 2022-85. AYES: Miller, Goodweiler, Stoolman, Sexton, Dean. NAYS: None. Motion carried.

Discussion – Fences in utility and drainage easements

Kofoed informed the Council that staff has recently determined that several residents have placed fences in drainage and stormwater easements and asked for direction on how the issue should be resolved. Kofoed said that some fences were approved in error by staff and others were either installed without a permit or in error. City Engineer Schechinger explained why storm water easements are placed on properties for proper drainage and that on occasion, city workers may need access to the area for maintenance. He said fences create blockages for water to flow properly across the property and added that any disruption to the drainage area is cause for concern. Members of the Council asked how this issue can be prevented in the future. Kofoed said that part of the issue is staffing time and training on reviewing plats to know if easements exists on each property. Kofoed said that at least ten fences have been identified that are in easement areas. The Council agreed that fences should be moved.

Discussion – Lead Service Line Mandates

Kofoed informed the council of federal mandate coming to all cities that will require them to locate and inventory all lead water service lines within their towns. Kofoed said he wanted to get this item on their radar as it could require funding at some point in the future.

Discussion – Upcoming Budget Amendments and Audit

Van Auken reported on the FY22 annual audit and said the State is finishing up with the final results. Van Auken said that the city did receive comments on segregation of duties, bank reconciliation process for the fire department and staff not amending the budget in a timely fashion with regard to the Food Pantry grant. Van Auken said all comments are minor and do not come with fines or future grant barriers. Van Auken also mentioned that a budget amendment for FY23 will be required. Some of the items noted were due to projects that crossed two fiscal years (Greenview connection), clean-up of Peden's property (not budgeted for FY23), Laughlin easement payment which equates to approximately \$20,000 over budget. Kofoed said that now that he and Van Auken have completed one budget together and have learned a lot about the city, they will be better able to direct staff and minimize the amendments needed.

Discussion – Planning and Zoning Design Standard Updates

Kofoed said he will continue to discuss design standards with the P&Z Commission and have them approve each topic before having a new ordinance is written.

Discussion – Police Staffing Updates

Kofoed and Hanna informed the Council of a recent meeting with Cedar County Sheriff's office regarding providing patrol services and the cost for doing so. Kofoed said more discussions will take place and will provide more options when available.

Discussion – Capital Improvement Plan Progress

Greenview Connection – Goodale said Greenview Drive has been straightened at the new south entrance, rock has been delivered to the site and will be graded this week. He also said a fence on the Lenocho property will be moved during the second week of October by D&N Fence. The council also discussed what should be done with the old part of the street (west side of Greenview) where the street was moved east and if the city should vacate the property to the adjacent owners or continue to maintain. No conclusion was made but the topic will need to be revisited.

Sewer Lagoon – Schechinger provided an update on the new waste water treatment facility and shared photos of the progress.

Wapsi Creek – Schechinger provided an update on the creek widening and possible easement and acquisition areas.

HH Roundabout – Schechinger said he is continually meeting with the school and developer along the project area to coordinate efforts for future improvements.

East Side Watermains – Schechinger said his firm has started surveying for the project.

CITY ADMINISTRATOR REPORT

Kofoed reminded the Council that he will be attending the Iowa League of Cities conference with Mayor Laughlin at the end of September. This is a three-day conference held in Waterloo for elected officials and City Administrators. Kofoed said he was also invited to attend a meeting for the Corridor Area Leaders on October 3rd.

CITY ATTORNEY REPORT

Olson reported that he filed a petition for 203 E. Green Street.

CITY ENGINEER REPORT

Schechinger had no further report.

STAFF REPORTS – None

COMMENTS FROM MAYOR AND COUNCIL MEMBERS - None

ADJOURNMENT

Motion to adjourn by Miller, second by Goodweiler. Motion carried on a voice vote. City Council meeting adjourned at 8:46 p.m.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM: Claims

PREPARED BY: Heidi Van Auken

DATE: September 27, 2022

SUMMARY:

Claims Report: These are routine expenditures that include payroll, budget expenditures, and other financial items that relate to City Council approved items and/or other day-to-day operational disclosures.

EXPENDITURES**10/3/2022**

AMAZON.COM	FLOOR TAPE FOR GYM	143.49
BAKER & TAYLOR INC.	BOOKS	277.53
BARNHART'S CUSTOM SERVICES	GREENVIEW CONNECTION	195.00
CEDAR COUNTY COOPERATIVE	CEMETERY FUEL	767.56
CJ COOPER & ASSOCIATES	DRUG TESTING	65.00
D&R PEST CONTROL	PEST CONTROL - LIBRARY	70.00
ELECTRIC PUMP INC	TRASH BASKET REPAIRS	1,394.25
GIESE, JACOB	BLDG INCENTIVE PAYMENT	790.43
HAWKINS INC	CHEMICALS	1,298.92
HENNINGSSEN DANIEL	BLDG INCENTIVE PAYMENT	1,085.73
IMPACT7G INC	WATER GRANT APP FEE- MEADOWS	10,000.00
IOWA CODIFICATION INC	CODE UPDATE JULY 2022	863.00
JETCO ELECTRIC INC	TOWER COMM REPAIR	369.10
KELLY, COLE	PS BBALL REFUND-AYLA	20.00
KOCH OFFICE GROUP	COPIER MAINTENANCE	326.39
LIBERTY COMMUNICATIONS	LIBERTY COMMUNICATIONS	1,559.33
LRS HOLDINGS, LLC	WAPSI & CEMETERY PORTABLE SERVICE	260.70
MARK D & AMBER KLEVEN	BLDG INCENTIVE PAYMENT	2,924.69
MCSELFRESH, SARA	BLDG INCENTIVE PAYMENT	363.18
MUNDELL, JENNIFER	BLDG INCENTIVE PAYMENT	276.07
MUNICIPAL SUPPLY INC	DUAL PORT POI	1,260.00
OLSON, KEVIN D	LEGAL SERVICES - OCTOBER 2022	1,500.00
PITNEY BOWES INC	POSTAGE METER RENTAL CITY	180.00
QC ANALYTICAL SERVICES LLC	LAB ANALYSIS	854.25
THE HOME DEPOT PRO	BLDG SUPPLIES	26.90
USA BLUE BOOK	REPAIR PARTS FOR PUMPS	534.70
VEENSTRA & KIMM INC.	SEVERAL PROJECTS	37,121.51
WEST BRANCH COMM DEV	CHRISTMAS PAST CONTRIBUTION	3,000.00
WEST BRANCH COMM SCHOOLS	VOLLEYBALL GYM RENTAL	210.00
TOTAL		67,737.73

**PAYROLL-WAGES, TAXES, EMPLOYEE
BENEFITS****9/30/2022****42,812.77****PAID BETWEEN MEETINGS**

METLIFE	INSURANCE	1,493.50
SISCO	INSURANCE	11,000.19
HY-VEE	CONCESSION SUPPLIES	112.10
JOHN DEERE FINANCIAL	HAND TOOLS & GLOVES	617.75
MEDIACOM	CABLE SERVICE	41.90
PITNEY BOWES PURCHASE POWER	REPLENISH POSTAGE-CITY	1,005.00
QUILL CORP	APC BACKUPS	48.13
US BANK CORP CARD	CREDIT CARD PURCHASES	2,593.67

VERIZON WIRELESS	VERIZON WIRELESS	402.43
ALLIANT ENERGY	ALLIANT ENERGY	14,633.04
CURTIS L CASPER	MOW & TRIM NUISANCE	114.00
CULLIGAN WATER TECH	WATER SOFTNER SERVICE	29.99
HEIMAN FIRE EQUIPMENT	UNIFORMS - FIRE	2,131.54
MENARDS	STRAPS FOR WATER TRUCK	122.95
PITNEY BOWES PURCHASE POWER	POSTAGE SUPPLIES-LIBRARY	50.00
PLUNKETT'S PEST CONTROL	PEST CONTROL	102.98
PREMIER PARTS TIPTON	VEHICLE SUPPLIES - PW	983.69
QUILL CORP	OFFICE SUPPLIES - CITY	184.26
SPRINGDALE AGENCY	FIRE PAK INSURANCE RENEWAL	15,667.00
STATE HYGENIC LAB	LAB ANALYSIS	40.50
WEST BRANCH REPAIRS	SERVICE - FIRE	1,225.27
WEST BRANCH TIMES	LEGAL PUBLICATIONS & ADS	955.20
WEX BANK	VEHICLE FUEL	1,999.46
WAGEWORKS	EMPLOYEE FLEX PLAN	35.00

TOTAL		55,589.55
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GRAND TOTAL EXPENDITURES		166,140.05
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FUND TOTALS

001 GENERAL FUND	49,910.71
022 CIVIC CENTER	920.37
031 LIBRARY	9,465.47
036 TORT LIABILITY	15,667.00
110 ROAD USE TAX	6,069.63
304 EASTSIDE WATER MAINS	3,841.13
112 TRUST AND AGENCY	15,285.23
321 WIDENING WAPSI CREEK	6,452.25
324 WW TREATMENTT FACILITY	20,709.75
326 ROUNDABOUT MAIN & CEDAR	5,198.13
600 WATER FUND	14,140.54
610 SEWER FUND	8,444.84
740 STORM WATER UTILITY	10,000.00
950 BC/BS FLEXIBLE BENEFIT	35.00

GRAND FUND TOTAL	166,140.05
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DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
POLICE OPERATION	GENERAL FUND	LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	302.57
			TOTAL:	302.57
FIRE OPERATION	GENERAL FUND	LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	90.02
			TOTAL:	90.02
ROADS AND STREETS	GENERAL FUND	BARNHART'S CUSTOM SERVICES LLC	GREENWICH CONNECTION	195.00
			TOTAL:	195.00
PARK & RECREATION	GENERAL FUND	WEST BRANCH COMMUNITY SCHOOLS	VOLLEYBALL GYM RENTAL	210.00
			LIBERTY COMMUNICATIONS	281.03
			THE HOME DEPOT PRO	26.90
			AMAZON.COM.CA., INC.	138.50
		LRS HOLDINGS, LLC	BLDG SUPPLIES	4.99
			WAPSI PARK PORTABLE SERVIC	139.70
			PS BBALL REFUND-AYLA	20.00
			TOTAL:	821.12
CEMETERY	GENERAL FUND	CEDAR COUNTY COOPERATIVE	CEMETERY FUEL	767.56
			CEMETERY PORTABLE SERVICE	121.00
		LRS HOLDINGS, LLC	TOTAL:	888.56
COMM & CULTURAL DEVEL	GENERAL FUND	WEST BRANCH COMMUNITY DEVELOPMENT GROU	CHRISTMAN PAST CONTRIBUTIO	3,000.00
			TOTAL:	3,000.00
ECONOMIC DEVELOPMENT	GENERAL FUND	HENNINGSEN DANIEL MUNDELL, JENNIFER MCELFRESH, SARA MARK D & AMBER KLEVEN GIESE, JACOB	BLDG INCENTIVE PAYMENT	1,085.73
			BLDG INCENTIVE PAYMENT	276.07
			BLDG INCENTIVE PAYMENT	363.18
			BLDG INCENTIVE PAYMENT	2,924.69
			BLDG INCENTIVE PAYMENT	790.43
			TOTAL:	5,440.10
CLERK & TREASURER	GENERAL FUND	KOCH OFFICE GROUP IOWA CODIFICATION INC LIBERTY COMMUNICATIONS PITNEY BOWES INC	COPIER MAINTENANCE	326.39
			CODE UPDATE JULY 2022	863.00
			TELEPHONE SERVICE	418.23
			POSTAGE METER RENTAL CITY	180.00
			TOTAL:	1,787.62
LEGAL SERVICES	GENERAL FUND	OLSON, KEVIN D	LEGAL SERVICES - OCTOBER 2	1,500.00
			TOTAL:	1,500.00
LOCAL CABLE ACCESS	GENERAL FUND	LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	64.95
			TOTAL:	64.95
COMMISSION	GENERAL FUND	VEENSTRA & KIMM INC.	LOT SITE PLAN REVIEW	497.50
			MEADOWS PT 5 REVIEW	18.75
			TOTAL:	516.25
TOWN HALL	CIVIC CENTER	LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	45.03
			TOTAL:	45.03
LIBRARY	LIBRARY	BAKER & TAYLOR INC. D&R PEST CONTROL LIBERTY COMMUNICATIONS	BOOKS	277.53
			PEST CONTROL - LIBRARY	70.00
			TELEPHONE SERVICE	238.42
			TOTAL:	585.95

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
ROADS & STREETS	ROAD USE TAX	VEENSTRA & KIMM INC.	GREENVIEW EXT DESIGN	404.00
		LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	39.70
		CJ COOPER & ASSOCIATES	DRUG TESTING	65.00
			TOTAL:	508.70
CAPITAL PROJECT	EASTSIDE WATER MAI	VEENSTRA & KIMM INC.	EASTSIDE WATER MAIN	3,841.13
			TOTAL:	3,841.13
CAPITAL PROJECT	WIDENING WAPSI CRE	VEENSTRA & KIMM INC.	CHANNEL WIDENING FLOOD IMP	6,452.25
			TOTAL:	6,452.25
CAPITAL PROJECT	WW TREATMT FAC IMP	VEENSTRA & KIMM INC.	WW TREATMENT FACILTY	11,400.00
			WW TREATMENT FACILITY	9,043.75
			WW TREATMENT FACILITY	266.00
			TOTAL:	20,709.75
INVALID DEPARTMENT	ROUNDAABOUT MAIN &	VEENSTRA & KIMM INC.	HHH & CEDAR JOHNSON INTERS	5,198.13
			TOTAL:	5,198.13
WATER OPERATING	WATER FUND	MUNICIPAL SUPPLY INC.	DUAL PORT POI	1,260.00
		JETCO ELECTRIC INC.	TOWER COMM REPAIR	369.10
		HAWKINS INC	CHEMICALS	1,298.92
		LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	39.69
		USA BLUE BOOK	REPAIR PARTS FOR PUMPS	534.70
			TOTAL:	3,502.41
SEWER OPERATING	SEWER FUND	QC ANALYTICAL SERVICES LLC	LAB ANALYSIS	854.25
		LIBERTY COMMUNICATIONS	TELEPHONE SERVICE	39.69
		ELECTRIC PUMP INC	TRASH BASKET REPAIRS	1,394.25
			TOTAL:	2,288.19
STORM WATER UTILITY	STORM WATER UTILIT	IMPACT7G INC	WATER GRANT APP FEE- MEADO	10,000.00
			TOTAL:	10,000.00

===== FUND TOTALS =====		
001	GENERAL FUND	14,606.19
022	CIVIC CENTER	45.03
031	LIBRARY	585.95
110	ROAD USE TAX	508.70
304	EASTSIDE WATER MAINS	3,841.13
321	WIDENING WAPSI CREEK @ BE	6,452.25
324	WW TREATMT FAC IMP 2021	20,709.75
326	ROUNDAABOUT MAIN & CEDAR-J	5,198.13
600	WATER FUND	3,502.41
610	SEWER FUND	2,288.19
740	STORM WATER UTILITY	10,000.00

	GRAND TOTAL:	67,737.73

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
POLICE OPERATION	GENERAL FUND	US BANK CORPORATE CARD	CREDIT CARD PURCHASES	230.00
			CREDIT CARD PURCHASES	74.00
			CREDIT CARD PURCHASES	9.45
			TOTAL:	313.45
FIRE OPERATION	GENERAL FUND	VERIZON WIRELESS US BANK CORPORATE CARD	WIRELESS SERVICE	40.01
			CREDIT CARD PURCHASES	6.00
			TOTAL:	46.01
PARK & RECREATION	GENERAL FUND	VERIZON WIRELESS US BANK CORPORATE CARD	WIRELESS SERVICE	41.38
			CREDIT CARD PURCHASES	12.00
			CREDIT CARD PURCHASES	115.30
			CREDIT CARD PURCHASES	33.96
			CREDIT CARD PURCHASES	24.99
		HY-VEE ACCOUNTS RECEIVABLE	CONCESSION SUPPLIES	112.10
			TOTAL:	339.73
CEMETERY	GENERAL FUND	JOHN DEERE FINANCIAL	HAND TOOLS & GLOVES	617.75
			TOTAL:	617.75
CLERK & TREASURER	GENERAL FUND	US BANK CORPORATE CARD	CREDIT CARD PURCHASES	120.00
			CREDIT CARD PURCHASES	30.25
		PITNEY BOWES PURCHASE POWER	REPLENISH POSTAGE - CITY	1,005.00
			TOTAL:	1,155.25
LOCAL CABLE ACCESS	GENERAL FUND	US BANK CORPORATE CARD MEDIACOM	CREDIT CARD PURCHASES	6.00
			CABLE SERVICE	41.90
			TOTAL:	47.90
LIBRARY	LIBRARY	QUILL CORP US BANK CORPORATE CARD	APC BACKUPS	48.13
			CREDIT CARD PURCHASES	1,571.72
			TOTAL:	1,619.85
ROADS & STREETS	ROAD USE TAX	VERIZON WIRELESS US BANK CORPORATE CARD	WIRELESS SERVICE	107.02
			CREDIT CARD PURCHASES	330.00
			CREDIT CARD PURCHASES	30.00
			TOTAL:	467.02
WATER OPERATING	WATER FUND	VERIZON WIRELESS	WIRELESS SERVICE	107.01
			TOTAL:	107.01
SEWER OPERATING	SEWER FUND	VERIZON WIRELESS	WIRELESS SERVICE	107.01
			TOTAL:	107.01

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
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===== FUND TOTALS =====			
001	GENERAL FUND		2,520.09
031	LIBRARY		1,619.85
110	ROAD USE TAX		467.02
600	WATER FUND		107.01
610	SEWER FUND		107.01

	GRAND TOTAL:		4,820.98

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
NON-DEPARTMENTAL	GENERAL FUND	EFTPS	FEDERAL WITHHOLDINGS	2,537.71
			SOCIAL SECURITY WITHHHOLDI	1,327.44
			MEDICARE WITHHOLDINGS	310.44
			TOTAL:	4,175.59
POLICE OPERATION	GENERAL FUND	WEX BANK	VEHICLE FUEL	1,155.99
			SERVICES	270.58
		ALLIANT ENERGY	TOTAL:	1,426.57
FIRE OPERATION	GENERAL FUND	HEIMAN FIRE EQUIPMENT	UNIFORM - BOOTS	990.00
			UNIFORM - HELMETS	829.54
			AUTO EJECT - FIRE	312.00
		WEST BRANCH REPAIRS	TRUCK SERVICE - FIRE	155.50
			GENERATOR SERVICE - FIRE	238.45
			TRUCK SERVICE - FIRE	831.32
		WEX BANK	VEHICLE FUEL	338.48
			SERVICES	788.12
		ALLIANT ENERGY		
		CULLIGAN WATER TECHNOLOGIES	WATER SOFTNER SERVICE	29.99
			TOTAL:	4,513.40
STREET LIGHTING	GENERAL FUND	ALLIANT ENERGY	SERVICES	2,822.51
			TOTAL:	2,822.51
PARK & RECREATION	GENERAL FUND	ALLIANT ENERGY	SERVICES	358.42
			TOTAL:	358.42
COMM & CULTURAL DEVEL	GENERAL FUND	WEST BRANCH TIMES	HHTD THANK YOU AD	213.60
			SERVICES	23.60
		ALLIANT ENERGY	TOTAL:	237.20
CLERK & TREASURER	GENERAL FUND	QUILL CORP	OFFICE SUPPLIES-CITY OFFIC	184.26
			PEST CONTROL-CITY OFFICE	51.49
		PLUNKETT'S PEST CONTROL INC	SERVICES	418.90
		ALLIANT ENERGY		
		CURTIS L CASPER	MOW & TRIM - NUISANCE	114.00
			TOTAL:	768.65
LEGAL SERVICES	GENERAL FUND	WEST BRANCH TIMES	LEGAL PUBLICATIONS	680.10
			TOTAL:	680.10
LOCAL CABLE ACCESS	GENERAL FUND	ALLIANT ENERGY	SERVICES	100.00
			TOTAL:	100.00
TOWN HALL	CIVIC CENTER	PLUNKETT'S PEST CONTROL INC	PEST CONTROL-TOWN HALL	51.49
			SERVICES	823.85
		ALLIANT ENERGY	TOTAL:	875.34
NON-DEPARTMENTAL	LIBRARY	EFTPS	FEDERAL WITHHOLDINGS	620.21
			SOCIAL SECURITY WITHHHOLDI	403.70
			MEDICARE WITHHOLDINGS	94.42
			TOTAL:	1,118.33
LIBRARY	LIBRARY	PITNEY BOWES PURCHASE POWER	POSTAGE SUPPLIES - LIBRARY	50.00
			SERVICES	1,158.38
		ALLIANT ENERGY	TOTAL:	1,208.38
FIRE OPERATION	TORT LIABILITY	SPRINGDALE AGENCY	FIRE PAK INSURANCE RENEWAL	15,667.00

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
			TOTAL:	15,667.00
NON-DEPARTMENTAL	ROAD USE TAX	EFTPS	FEDERAL WITHHOLDINGS	490.15
			SOCIAL SECURITY WITHHHOLDI	211.00
			MEDICARE WITHHOLDINGS	49.34
			TOTAL:	750.49
ROADS & STREETS	ROAD USE TAX	WEX BANK	VEHICLE FUEL	168.31
		ALLIANT ENERGY	SERVICES	48.95
		PREMIER PARTS TIPTON	FILTERS FOR TRUCKS	216.16
			FILTERS & VEHICLE SUPPLIES	767.53
			TOTAL:	1,200.95
POLICE OPERATIONS	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	556.24
			MEDICARE WITHHOLDINGS	130.09
			TOTAL:	686.33
BUILDING INSPECTIONS	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	126.97
			MEDICARE WITHHOLDINGS	29.69
			TOTAL:	156.66
ROADS & STREETS	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	269.45
			MEDICARE WITHHOLDINGS	63.01
			TOTAL:	332.46
LIBRARY	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	403.70
			MEDICARE WITHHOLDINGS	94.42
			TOTAL:	498.12
PARK & RECREATION	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	263.13
			MEDICARE WITHHOLDINGS	61.52
			TOTAL:	324.65
CEMETERY	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	87.69
			MEDICARE WITHHOLDINGS	20.51
			TOTAL:	108.20
CLERK & TREASURER	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	207.84
			MEDICARE WITHHOLDINGS	48.61
			TOTAL:	256.45
LOCAL CABLE ACCESS	TRUST AND AGENCY	EFTPS	SOCIAL SECURITY WITHHHOLDI	27.18
			MEDICARE WITHHOLDINGS	6.36
			TOTAL:	33.54
NON-DEPARTMENTAL	WATER FUND	EFTPS	FEDERAL WITHHOLDINGS	335.03
			SOCIAL SECURITY WITHHHOLDI	217.99
			MEDICARE WITHHOLDINGS	50.99
			TOTAL:	604.01
WATER OPERATING	WATER FUND	EFTPS	SOCIAL SECURITY WITHHHOLDI	217.99
			MEDICARE WITHHOLDINGS	50.99
		STATE HYGIENIC LAB	LAB ANALYSIS	40.50
		WEST BRANCH TIMES	PW JOB AD	61.50
		MENARDS	STRAPS FOR WATER TRUCK	122.95
		WEX BANK	VEHICLE FUEL	168.31

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
		ALLIANT ENERGY	SERVICES	5,280.74
			TOTAL:	5,942.98
NON-DEPARTMENTAL	SEWER FUND	EFTPS	FEDERAL WITHHOLDINGS	236.76
			SOCIAL SECURITY WITHHHOLDI	160.01
			MEDICARE WITHHOLDINGS	37.43
			TOTAL:	434.20
SEWER OPERATING	SEWER FUND	EFTPS	SOCIAL SECURITY WITHHHOLDI	159.95
			MEDICARE WITHHOLDINGS	37.42
		WEX BANK	VEHICLE FUEL	168.37
		ALLIANT ENERGY	SERVICES	2,538.99
			TOTAL:	2,904.73

===== FUND TOTALS =====		
001	GENERAL FUND	15,082.44
022	CIVIC CENTER	875.34
031	LIBRARY	2,326.71
036	TORT LIABILITY	15,667.00
110	ROAD USE TAX	1,951.44
112	TRUST AND AGENCY	2,396.41
600	WATER FUND	6,546.99
610	SEWER FUND	3,338.93

	GRAND TOTAL:	48,185.26



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM: July Monthly Financial Report

PREPARED BY: Heidi Van Auken

DATE: September 19, 2022

SUMMARY:

Monthly Financial Report: This report includes revenue, investments, expenditures, and balances for the month of July 2022. This also includes the amended Clerk's Report for the month of June 2022. It was amended to show the FYE transfers from the General Operating Fund to the Fire, Police, and Park Reserve accounts.

BANK TO BOOK RECONCILIATION				
7/31/2022				
BANK BALANCE @				
	CASH - FIDELITY BANK & TRUST			\$ 4,298,106.52
	CASH - FIDELITY BANK & TRUST - PERPETUAL CARE FUND			\$ 30,150.60
	SUB TOTAL			\$ 4,328,257.12
ADD:	CD'S:	Bank/CD #	Maturity Date	
	ENLOW BUILDING CD	LIBERTY SAVINGS-10447	5/2/2023	\$ 11,179.41
	CEMETERY PERPETUAL CARE	HILLS BANK-30282503	1/11/2024	\$ 97,262.26
	LIBRARY-HANSEN DONATION CD	GREENSTATE-1025	8/1/2022	\$ 55,333.39
	LIBRARY-KROUTH PRINCIPAL CD	GREENSTATE-1026	9/2/2022	\$ 51,160.93
	LIBRARY-KROUTH INTEREST CD	GREENSTATE-1027	9/2/2022	\$ 23,983.81
	GEN FUND-STREETSCAPE-ACCIONA DONATION CD	GREENSTATE-1028	12/6/2022	\$ 7,008.59
	SAVINGS ACCOUNTS			
	GENERAL FUND SAVINGS	GREENSTATE-0001		\$ 5.00
	LIBRARY - KROUTH INTEREST	FIDELITY-SAVINGS ACCOUNT		\$ 8,514.86
	LIBRARY - M GRAY SAVINGS	FIDELITY-SAVINGS ACCOUNT		\$ 16,338.92
	TOTAL CD'S & SAVINGS ACCOUNTS			\$ 270,787.17
	SUB TOTAL			\$ 4,599,044.29
	O/S DEPOSITS			\$ 629.02
LESS:	O/S CHECKS			\$ 45,810.71
	ENDING BOOK BALANCE			\$ 4,553,862.60
	NON-RECONCILIATION ITEM-CUBBY PARK CONCESSIONS			\$ 600.00

CLERK'S REPORT FOR THE MONTH OF JULY 2022

DESCRIPTION	CHECKING	INVESTMENT	BEGINNING BALANCE	RECEIPTS	TRANSFER IN	DISBURSED	TRANSFER OUT	NET CHANGE LIABILITIES	CLERK'S BALANCE
GENERAL									
* (001) GENERAL OPERATING FUND	\$ 1,662,933.68	\$ 5.00	\$ 1,662,938.68	\$ 44,866.33		\$ 965,442.15			\$ 742,362.86
** FIRE APPARATUS RESERVE	\$ 573,415.80	\$ -	\$ 573,415.80						\$ 573,415.80
POLICE APPARATUS RESERVE	\$ 109,530.35	\$ -	\$ 109,530.35						\$ 109,530.35
PARK & RECREATION RESERVE	\$ 17,340.39	\$ -	\$ 17,340.39						\$ 17,340.39
PUBLIC WORKS RESERVE	\$ 11,030.00	\$ -	\$ 11,030.00						\$ 11,030.00
SIGNS-ACCIONA DTN INVESTMENT	\$ 5.59	\$ 7,003.00	\$ 7,008.59						\$ 7,008.59
PARK EQUIPMENT/RESERVE	\$ 8,000.00	\$ -	\$ 8,000.00						\$ 8,000.00
(022) CIVIC CENTER	\$ 36,168.07	\$ -	\$ 36,168.07	\$ 204.54		\$ 1,522.87			\$ 34,849.74
(027) MEMORIAL GARDEN PROJECT	\$ 414.00	\$ -	\$ 414.00						\$ 414.00
(028) SPLASH PAD RESERVE	\$ 100.00	\$ -	\$ 100.00						\$ 100.00
(031) LIBRARY	\$ 6,301.82	\$ 91,358.41	\$ 97,660.23	\$ 261.60		\$ 18,293.29			\$ 79,628.54
(036) TORT LIABILITY	\$ 15,143.11	\$ -	\$ 15,143.11	\$ 390.43					\$ 15,533.54
SPECIAL REVENUE									
(110) ROAD USE TAX	\$ 44,218.90	\$ -	\$ 44,218.90	\$ 26,549.38		\$ 14,236.37			\$ 56,531.91
(112) TRUST & AGENCY (EMPLOYEE BENEFITS)	\$ 252,569.07	\$ -	\$ 252,569.07	\$ 274.56		\$ 21,517.40			\$ 231,326.23
(119) EMERGENCY TAX FUND	\$ 3,182.77	\$ -	\$ 3,182.77	\$ 79.55					\$ 3,262.32
(121) LOCAL OPTION SALES TAX	\$ 274,943.44	\$ -	\$ 274,943.44	\$ 24,599.84					\$ 299,543.28
(125) TIF	\$ 51,273.32	\$ -	\$ 51,273.32	\$ 237.03					\$ 51,510.35
(160) REVOLVING LOAN FUND	\$ 137,082.45	\$ -	\$ 137,082.45						\$ 137,082.45
DEBT SERVICE									
(226) DEBT SERVICE	\$ 269,477.96	\$ -	\$ 269,477.96	\$ 709.62					\$ 270,187.58
CAPITAL PROJECTS									
(300) CAPITAL IMPROVEMENT RESERVE	\$ 63,193.27	\$ -	\$ 63,193.27	\$ 117.12					\$ 63,310.39
(302) ARPA NEU FUND	\$ 186,305.60	\$ -	\$ 186,305.60						\$ 186,305.60
(304) W MAIN ST STORMWATER IMP	\$ 10,000.00	\$ -	\$ 10,000.00						\$ 10,000.00
(308) PARK IMP - PEDERSEN VALLEY	\$ 14,827.20	\$ -	\$ 14,827.20						\$ 14,827.20
(312) DOWNTOWN EAST REDEVELOPMENT	\$ 173,912.82	\$ -	\$ 173,912.82						\$ 173,912.82
(319) RELOCATION OF WATER & SEWER LINES	\$ (4,655.22)	\$ -	\$ (4,655.22)						\$ (4,655.22)
(321) WIDENING WAPSI CREEK @ BERANEK PARK	\$ 94,080.20	\$ -	\$ 94,080.20			\$ 9,768.00			\$ 84,312.20
(323) I-80 WEST, WATER MAIN RELOCATE	\$ (24,271.48)	\$ -	\$ (24,271.48)						\$ (24,271.48)
(324) WW TREATMT FAC IMP 2021	\$ (152,858.55)	\$ -	\$ (152,858.55)						\$ (152,858.55)
(326) ROUNDABOUT MAIN & CEDAR	\$ (21,393.55)	\$ -	\$ (21,393.55)						\$ (21,393.55)
(327) SPONSORED WATER QUALITY IMPE 2021	\$ (20,000.00)	\$ -	\$ (20,000.00)						\$ (20,000.00)
PERMANENT									
(500) CEMETERY PERPETUAL FUND	\$ 30,210.60	\$ 97,262.26	\$ 127,472.86						\$ 127,472.86
(501) KROUTH PRINCIPAL FUND	\$ -	\$ 51,169.10	\$ 51,169.10						\$ 51,169.10
(502) KROUTH INTEREST FUND	\$ (0.00)	\$ 23,983.81	\$ 23,983.81						\$ 23,983.81
ENTERPRISE									
(600) WATER FUND	\$ 196,476.68	\$ -	\$ 196,476.68	\$ 56,390.00		\$ 37,413.48	\$ 5,079.17		\$ 210,374.03
(603) WATER SINKING FUND	\$ 5,105.42	\$ -	\$ 5,105.42	\$ -	\$ 5,079.17				\$ 10,184.59
(610) SEWER FUND	\$ 513,988.98	\$ -	\$ 513,988.98	\$ 80,511.62		\$ 15,711.97	\$ 37,881.19		\$ 540,907.44
(611) SEWER FUND SPECIAL	\$ 459,860.14	\$ -	\$ 459,860.14	\$ -	\$ 37,881.19				\$ 497,741.33
(614) WASTEWATER LIFT STATION	\$ -	\$ -	\$ -						\$ -
(740) STORM WATER UTILITY	\$ 134,916.82	\$ -	\$ 134,916.82	\$ 5,356.57					\$ 140,273.39
(950) BC/BS FLEXIBLE BENEFIT	\$ (6,075.28)	\$ -	\$ (6,075.28)			\$ 316.01			\$ (6,391.29)
TOTAL	\$ 5,128,754.37	\$ 270,781.58	\$ 5,397,535.95	\$ 240,548.19	\$ 42,960.36	\$ 1,084,221.54	\$ 42,960.36	\$ -	\$ 4,553,862.60
O/S CHECKS			\$49,890.65						\$45,810.71
O/S DEPOSIT			\$256.29						\$629.02
BANK STATEMENT BALANCE			\$5,447,170.31						\$4,599,044.29

CITY OF WEST BANCH
MTD TREASURERS REPORT
AS OF: JULY 31ST, 2022

FUND	BEGINNING CASH BALANCE	M-T-D REVENUES	M-T-D EXPENSES	CASH BASIS ENDING BAL.	NET CHANGE OTHER ASSETS	NET CHANGE LIABILITIES	ACCRUAL ENDING CASH BALANCE
001-GENERAL FUND	2,389,263.81	44,866.33	965,442.15	1,468,687.99	0.00	0.00	1,468,687.99
011-POLICE APPARATUS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
014-FIRE APPARATUS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
016-CEMETERY BLDG/EQUIP RES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
017-PARK & REC RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
018-PUBLIC WORKS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
022-CIVIC CENTER	36,168.07	204.54	1,522.87	34,849.74	0.00	0.00	34,849.74
026-SIGNS-ACCIONA DONATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
027-MEMORIAL GARDEN PROJECT	414.00	0.00	0.00	414.00	0.00	0.00	414.00
028-SPLASH PAD RESERVE	100.00	0.00	0.00	100.00	0.00	0.00	100.00
031-LIBRARY	97,660.23	261.60	18,293.29	79,628.54	0.00	0.00	79,628.54
036-TORT LIABILITY	15,143.11	390.43	0.00	15,533.54	0.00	0.00	15,533.54
050-HOME TOWN DAYS FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
110-ROAD USE TAX	44,218.90	26,549.38	14,236.37	56,531.91	0.00	0.00	56,531.91
111-POLICE RECOVERY ACT GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
112-TRUST AND AGENCY	252,569.07	274.56	21,517.40	231,326.23	0.00	0.00	231,326.23
119-EMERGENCY TAX FUND	3,182.77	79.55	0.00	3,262.32	0.00	0.00	3,262.32
121-OPTION TAX	274,943.44	24,599.84	0.00	299,543.28	0.00	0.00	299,543.28
125-T I F	51,273.32	237.03	0.00	51,510.35	0.00	0.00	51,510.35
160-REVOLVING LOAN FUND	137,082.45	0.00	0.00	137,082.45	0.00	0.00	137,082.45
225-TIF DEBT SERVICE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
226-GO DEBT SERVICE	269,477.96	709.62	0.00	270,187.58	0.00	0.00	270,187.58
300-CAPITAL IMPROV. RESERVE	63,193.27	117.12	0.00	63,310.39	0.00	0.00	63,310.39
301-REAP GRANT PROJECT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
302-ARPA NEU FUND	186,305.60	0.00	0.00	186,305.60	0.00	0.00	186,305.60
303-FIRE CAP PROJECT ADDITION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
304-EASTSIDE WATER MAINS	10,000.00	0.00	0.00	10,000.00	0.00	0.00	10,000.00
305-MAIN ST CROSSINGS PROJ	0.00	0.00	0.00	0.00	0.00	0.00	0.00
306-4TH ST IMPROVEMENTS PROJ	0.00	0.00	0.00	0.00	0.00	0.00	0.00
307-MAIN ST INTERSECTION IMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00
308-PARK IMP - PEDERSEN VALLE	14,827.20	0.00	0.00	14,827.20	0.00	0.00	14,827.20
309-PHASE I PARK IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
310-COLLEGE STREET BRIDGE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
311-BERANEK PARKING IMPROVEME	0.00	0.00	0.00	0.00	0.00	0.00	0.00
312-DOWNTOWN EAST REDEVELOPME	173,912.82	0.00	0.00	173,912.82	0.00	0.00	173,912.82
313-MAIN ST SIDEWALK-PHASE 4	0.00	0.00	0.00	0.00	0.00	0.00	0.00
314-N FIRST ST IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
315-MAIN ST WATER MAIN IMPROV	0.00	0.00	0.00	0.00	0.00	0.00	0.00
316-I & I LINE/GROUT PH 2	0.00	0.00	0.00	0.00	0.00	0.00	0.00
317-ORANGE ST 4TH TO 5TH IMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00
318-COLLEGE ST & 2ND ST IMPRO	0.00	0.00	0.00	0.00	0.00	0.00	0.00
319-RELOCATING WATER & SEWER (	4,655.22)	0.00	0.00	(4,655.22)	0.00	0.00	(4,655.22)
320-LIBRARY PARKING LOT IMPRO	0.00	0.00	0.00	0.00	0.00	0.00	0.00
321-WIDENING WAPSI CREEK @ BE	94,080.20	0.00	9,768.00	84,312.20	0.00	0.00	84,312.20
322-SPLASH PAD	0.00	0.00	0.00	0.00	0.00	0.00	0.00
323-I-80 WEST, WATER MAIN REL (	24,271.48)	0.00	0.00	(24,271.48)	0.00	0.00	(24,271.48)
324-WW TREATMT FAC IMP 2021 (	152,858.55)	0.00	0.00	(152,858.55)	0.00	0.00	(152,858.55)
326-ROUNDAABOUT MAIN & CEDAR-J (	21,393.55)	0.00	0.00	(21,393.55)	0.00	0.00	(21,393.55)
327-SPONS WATER QUAL IMP 2021 (	20,000.00)	0.00	0.00	(20,000.00)	0.00	0.00	(20,000.00)
500-CEMETERY PERPETUAL FUND	127,472.86	0.00	0.00	127,472.86	0.00	0.00	127,472.86

CITY OF WEST BRANCH
 MTD TREASURERS REPORT
 AS OF: JULY 31ST, 2022

FUND	BEGINNING CASH BALANCE	M-T-D REVENUES	M-T-D EXPENSES	CASH BASIS ENDING BAL.	NET CHANGE OTHER ASSETS	NET CHANGE LIABILITIES	ACCRUAL ENDING CASH BALANCE
501-KROUTH PRINCIPAL FUND	51,169.10	0.00	0.00	51,169.10	0.00	0.00	51,169.10
502-KROUTH INTEREST FUND	23,983.81	0.00	0.00	23,983.81	0.00	0.00	23,983.81
600-WATER FUND	196,476.68	56,390.00	42,492.65	210,374.03	0.00	0.00	210,374.03
601-WATER RESERVE FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
603-WATER SINKING FUND	5,105.42	5,079.17	0.00	10,184.59	0.00	0.00	10,184.59
610-SEWER FUND	513,988.98	80,511.62	53,593.16	540,907.44	0.00	0.00	540,907.44
611-SEWER FUND SPECIAL	459,860.14	37,881.19	0.00	497,741.33	0.00	0.00	497,741.33
614-WASTEWATER LIFT STATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
740-STORM WATER UTILITY	134,916.82	5,356.57	0.00	140,273.39	0.00	0.00	140,273.39
950-BC/BS FLEXIBLE BENEFIT	(6,075.28)	0.00	316.01	(6,391.29)	0.00	0.00	(6,391.29)
GRAND TOTAL	5,397,535.95	283,508.55	1,127,181.90	4,553,862.60	0.00	0.00	4,553,862.60

*** END OF REPORT ***

CITY OF WEST ANCH
YTD TREASURERS REPORT
AS OF: JULY 31ST, 2022

FUND	BEGINNING CASH BALANCE	Y-T-D REVENUES	Y-T-D EXPENSES	CASH BASIS ENDING BAL.	NET CHANGE OTHER ASSETS	NET CHANGE LIABILITIES	ACCRUAL ENDING CASH BALANCE
001-GENERAL FUND	2,389,263.81	44,866.33	965,442.15	1,468,687.99	0.00	0.00	1,468,687.99
011-POLICE APPARATUS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
014-FIRE APPARATUS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
016-CEMETERY BLDG/EQUIP RES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
017-PARK & REC RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
018-PUBLIC WORKS RESERVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
022-CIVIC CENTER	36,168.07	204.54	1,522.87	34,849.74	0.00	0.00	34,849.74
026-SIGNS-ACCIONA DONATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
027-MEMORIAL GARDEN PROJECT	414.00	0.00	0.00	414.00	0.00	0.00	414.00
028-SPLASH PAD RESERVE	100.00	0.00	0.00	100.00	0.00	0.00	100.00
031-LIBRARY	97,660.23	261.60	18,293.29	79,628.54	0.00	0.00	79,628.54
036-TORT LIABILITY	15,143.11	390.43	0.00	15,533.54	0.00	0.00	15,533.54
050-HOME TOWN DAYS FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
110-ROAD USE TAX	44,218.90	26,549.38	14,236.37	56,531.91	0.00	0.00	56,531.91
111-POLICE RECOVERY ACT GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
112-TRUST AND AGENCY	252,569.07	274.56	21,517.40	231,326.23	0.00	0.00	231,326.23
119-EMERGENCY TAX FUND	3,182.77	79.55	0.00	3,262.32	0.00	0.00	3,262.32
121-OPTION TAX	274,943.44	24,599.84	0.00	299,543.28	0.00	0.00	299,543.28
125-T I F	51,273.32	237.03	0.00	51,510.35	0.00	0.00	51,510.35
160-REVOLVING LOAN FUND	137,082.45	0.00	0.00	137,082.45	0.00	0.00	137,082.45
225-TIF DEBT SERVICE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
226-GO DEBT SERVICE	269,477.96	709.62	0.00	270,187.58	0.00	0.00	270,187.58
300-CAPITAL IMPROV. RESERVE	63,193.27	117.12	0.00	63,310.39	0.00	0.00	63,310.39
301-REAP GRANT PROJECT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
302-ARPA NEU FUND	186,305.60	0.00	0.00	186,305.60	0.00	0.00	186,305.60
303-FIRE CAP PROJECT ADDITION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
304-EASTSIDE WATER MAINS	10,000.00	0.00	0.00	10,000.00	0.00	0.00	10,000.00
305-MAIN ST CROSSINGS PROJ	0.00	0.00	0.00	0.00	0.00	0.00	0.00
306-4TH ST IMPROVEMENTS PROJ	0.00	0.00	0.00	0.00	0.00	0.00	0.00
307-MAIN ST INTERSECTION IMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00
308-PARK IMP - PEDERSEN VALLE	14,827.20	0.00	0.00	14,827.20	0.00	0.00	14,827.20
309-PHASE I PARK IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
310-COLLEGE STREET BRIDGE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
311-BERANEK PARKING IMPROVEME	0.00	0.00	0.00	0.00	0.00	0.00	0.00
312-DOWNTOWN EAST REDEVELOPME	173,912.82	0.00	0.00	173,912.82	0.00	0.00	173,912.82
313-MAIN ST SIDEWALK-PHASE 4	0.00	0.00	0.00	0.00	0.00	0.00	0.00
314-N FIRST ST IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
315-MAIN ST WATER MAIN IMPROV	0.00	0.00	0.00	0.00	0.00	0.00	0.00
316-I & I LINE/GROUT PH 2	0.00	0.00	0.00	0.00	0.00	0.00	0.00
317-ORANGE ST 4TH TO 5TH IMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00
318-COLLEGE ST & 2ND ST IMPRO	0.00	0.00	0.00	0.00	0.00	0.00	0.00
319-RELOCATING WATER & SEWER (	4,655.22)	0.00	0.00	(4,655.22)	0.00	0.00	(4,655.22)
320-LIBRARY PARKING LOT IMPRO	0.00	0.00	0.00	0.00	0.00	0.00	0.00
321-WIDENING WAPSI CREEK @ BE	94,080.20	0.00	9,768.00	84,312.20	0.00	0.00	84,312.20
322-SPLASH PAD	0.00	0.00	0.00	0.00	0.00	0.00	0.00
323-I-80 WEST, WATER MAIN REL (	24,271.48)	0.00	0.00	(24,271.48)	0.00	0.00	(24,271.48)
324-WW TREATMT FAC IMP 2021 (	152,858.55)	0.00	0.00	(152,858.55)	0.00	0.00	(152,858.55)
326-ROUNDAABOUT MAIN & CEDAR-J (	21,393.55)	0.00	0.00	(21,393.55)	0.00	0.00	(21,393.55)
327-SPONS WATER QUAL IMP 2021 (	20,000.00)	0.00	0.00	(20,000.00)	0.00	0.00	(20,000.00)
500-CEMETERY PERPETUAL FUND	127,472.86	0.00	0.00	127,472.86	0.00	0.00	127,472.86

CITY OF WEST BRANCH
YTD TREASURERS REPORT
AS OF: JULY 31ST, 2022

FUND	BEGINNING CASH BALANCE	Y-T-D REVENUES	Y-T-D EXPENSES	CASH BASIS ENDING BAL.	NET CHANGE OTHER ASSETS	NET CHANGE LIABILITIES	ACCRUAL ENDING CASH BALANCE
501-KROUTH PRINCIPAL FUND	51,169.10	0.00	0.00	51,169.10	0.00	0.00	51,169.10
502-KROUTH INTEREST FUND	23,983.81	0.00	0.00	23,983.81	0.00	0.00	23,983.81
600-WATER FUND	196,476.68	56,390.00	42,492.65	210,374.03	0.00	0.00	210,374.03
601-WATER RESERVE FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
603-WATER SINKING FUND	5,105.42	5,079.17	0.00	10,184.59	0.00	0.00	10,184.59
610-SEWER FUND	513,988.98	80,511.62	53,593.16	540,907.44	0.00	0.00	540,907.44
611-SEWER FUND SPECIAL	459,860.14	37,881.19	0.00	497,741.33	0.00	0.00	497,741.33
614-WASTEWATER LIFT STATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
740-STORM WATER UTILITY	134,916.82	5,356.57	0.00	140,273.39	0.00	0.00	140,273.39
950-BC/BS FLEXIBLE BENEFIT	(6,075.28)	0.00	316.01	(6,391.29)	0.00	0.00	(6,391.29)
GRAND TOTAL	5,397,535.95	283,508.55	1,127,181.90	4,553,862.60	0.00	0.00	4,553,862.60

*** END OF REPORT ***

PROGRAM EXPENDITURES FOR THE MONTH JULY OF 2022

8.33%

FUNCTIONS	BUDGET	MTD EXP	YTD EXP	REMAINING	PERCENT
	EXP			BALANCE	OF EXPENSES
PUBLIC SAFETY					
POLICE DEPARTMENT					
GENERAL FUND	\$ 409,802.00	\$ 27,516.57	\$ 27,516.57	\$ 382,285.43	6.71%
TORT LIABILITY	\$ 13,326.00	\$ -	\$ -	\$ 13,326.00	0.00%
TRUST & AGENCY	\$ 118,349.00	\$ 5,372.42	\$ 5,372.42	\$ 112,976.58	4.54%
FIRE DEPARTMENT					
GENERAL FUND	\$ 293,500.00	\$ 822,452.72	\$ 822,452.72	\$ (528,952.72)	280.22%
TORT LIABILITY	\$ 29,216.00	\$ -	\$ -	\$ 29,216.00	0.00%
TRUST & AGENCY	\$ 12,950.00	\$ 1,533.87	\$ 1,533.87	\$ 11,416.13	11.84%
ANIMAL CONTROL	\$ 3,000.00	\$ 32.50	\$ 32.50	\$ 2,967.50	1.08%
BUILDING INSPECTIONS	\$ 21,077.00	\$ 3,411.18	\$ 3,411.18	\$ 17,665.82	16.18%
TORT LIABILITY	\$ 190.00	\$ -	\$ -	\$ 190.00	0.00%
TRUST & AGENCY	\$ 2,400.00	\$ 781.55	\$ 781.55	\$ 1,618.45	32.56%
TOTAL PUBLIC SAFETY	\$ 903,810.00	\$ 861,100.81	\$ 861,100.81	\$ 42,709.19	95.27%
PUBLIC WORKS					
ROADS & STREETS					
GENERAL FUND	\$ 51,508.00	\$ 18,290.88	\$ 18,290.88	\$ 33,217.12	35.51%
TORT LIABILITY	\$ 15,002.00	\$ -	\$ -	\$ 15,002.00	0.00%
ROAD USE TAX FUND	\$ 317,355.00	\$ 14,236.37	\$ 14,236.37	\$ 303,118.63	4.49%
TRUST & AGENCY	\$ 55,371.00	\$ 3,715.36	\$ 3,715.36	\$ 51,655.64	6.71%
STREET LIGHTING - GENERAL FUND	\$ 45,477.00	\$ 3,013.16	\$ 3,013.16	\$ 42,463.84	6.63%
SOLID WASTE - GENERAL FUND	\$ 212,447.00	\$ 32,346.82	\$ 32,346.82	\$ 180,100.18	15.23%
TOTAL PUBLIC WORKS	\$ 697,160.00	\$ 71,602.59	\$ 71,602.59	\$ 625,557.41	10.27%
TOTAL HEALTH & SOCIAL SERVICES	\$ -	\$ -	\$ -	\$ -	#DIV/0!
CULTURE & RECREATION					
LIBRARY					
GENERAL FUND	\$ 226,587.00	\$ 18,293.29	\$ 18,293.29	\$ 208,293.71	8.07%
TORT LIABILITY	\$ 4,885.00	\$ -	\$ -	\$ 4,885.00	0.00%
TRUST & AGENCY	\$ 56,035.00	\$ 3,103.35	\$ 3,103.35	\$ 52,931.65	5.54%
PARKS & RECREATION				\$ -	
GENERAL FUND	\$ 223,546.00	\$ 21,686.40	\$ 21,686.40	\$ 201,859.60	9.70%
TORT LIABILITY	\$ 6,585.00	\$ -	\$ -	\$ 6,585.00	0.00%
TRUST & AGENCY	\$ 38,361.00	\$ 3,583.53	\$ 3,583.53	\$ 34,777.47	9.34%
CEMETERY					

FUNCTIONS	BUDGET	MTD EXP	YTD EXP	REMAINING	PERCENT
	EXP			BALANCE	OF EXPENSES
GENERAL FUND	\$ 61,028.00	\$ 12,366.20	\$ 12,366.20	\$ 48,661.80	20.26%
TORT LIABILITY	\$ 2,228.00	\$ -	\$ -	\$ 2,228.00	0.00%
TRUST & AGENCY	\$ 10,891.00	\$ 845.15	\$ 845.15	\$ 10,045.85	7.76%
CIVIC CENTER				\$ -	
GENERAL FUND	\$ 19,975.00	\$ 1,522.87	\$ 1,522.87	\$ 18,452.13	7.62%
TRUST & AGENCY	\$ -	\$ -	\$ -	\$ -	#DIV/0!
COMMUNITY & CULTURAL DEV. (HHTD)	\$ 62,225.00	\$ 21.94	\$ 21.94	\$ 62,203.06	0.04%
LOCAL CABLE ACCESS				\$ -	
GENERAL FUND	\$ 19,244.00	\$ 1,504.28	\$ 1,504.28	\$ 17,739.72	7.82%
TRUST & AGENCY	\$ -	\$ 160.92	\$ 160.92	\$ (160.92)	#DIV/0!
TOTAL CULTURE & RECREATION	\$ 731,590.00	\$ 63,087.93	\$ 63,087.93	\$ 668,502.07	8.62%
COMMUNITY & ECONOMIC DEV.					
ECONOMIC DEVELOPMENT	\$ 67,159.00	\$ 2,500.00	\$ 2,500.00	\$ 64,659.00	3.72%
PLANNING & ZONING	\$ 29,383.00	\$ 32.50	\$ 32.50	\$ 29,350.50	0.11%
REVOLVING LOAN FUND	\$ -	\$ -	\$ -	\$ -	
TIF DEBT SERVICE	\$ 77,268.00	\$ -	\$ -	\$ 77,268.00	0.00%
TOTAL COMMUNITY & E.D.	\$ 173,810.00	\$ 2,532.50	\$ 2,532.50	\$ 171,277.50	1.46%
GENERAL GOVERNMENT					
MAYOR & COUNCIL					
GENERAL FUND	\$ 17,800.00	\$ 435.19	\$ 435.19	\$ 17,364.81	2.44%
TRUST & AGENCY	\$ 2,228.00	\$ 47.39	\$ 47.39	\$ 2,180.61	2.13%
CLERK & TREASURER					
GENERAL FUND	\$ 155,820.00	\$ 17,583.73	\$ 17,583.73	\$ 138,236.27	11.28%
TORT LIABILITY	\$ 6,066.00	\$ -	\$ -	\$ 6,066.00	0.00%
TRUST & AGENCY	\$ 36,715.00	\$ 2,373.86	\$ 2,373.86	\$ 34,341.14	6.47%
LEGAL SERVICES	\$ 27,000.00	\$ 2,248.08	\$ 2,248.08	\$ 24,751.92	8.33%
TOTAL GENERAL GOVERNMENT	\$ 245,629.00	\$ 22,688.25	\$ 22,688.25	\$ 222,940.75	9.24%
GO DEBT SERVICE	\$ 1,439,005.00	\$ -	\$ -	\$ 1,439,005.00	0.00%
CAPITAL PROJECTS					
ARPA FUNDED PROJECT	\$ 371,367.00	\$ -	\$ -	\$ 371,367.00	0.00%
EASTSIDE WATER MAINS	\$ 1,000,000.00	\$ -	\$ -	\$ 1,000,000.00	
DOWNTOWN EAST REDEVELOPMENT	\$ 160,000.00	\$ -	\$ -	\$ 160,000.00	0.00%
RELOCATING WATER & SEWER LINES	\$ 658,100.00	\$ -	\$ -	\$ 658,100.00	0.00%
WIDENING WAPSI CREEK @ BERANEK	\$ 1,000,000.00	\$ 9,768.00	\$ 9,768.00	\$ 990,232.00	0.98%

FUNCTIONS	BUDGET	MTD EXP	YTD EXP	REMAINING	PERCENT
	EXP			BALANCE	OF EXPENSES
WW TREATMENT FACILITY IMP 2021	\$ 7,000,000.00	\$ -	\$ -	\$ 7,000,000.00	0.00%
ROUNDBOUT MAIN & CEDAR	\$ 1,000,000.00	\$ -	\$ -	\$ 1,000,000.00	0.00%
TOTAL CAPITAL PROJECTS	\$ 11,189,467.00	\$ 9,768.00	\$ 9,768.00	\$ 11,179,699.00	0.09%
BUSINESS TYPE ACTIVITIES					
WATER FUND	\$ 412,791.00	\$ 37,413.48	\$ 37,413.48	\$ 375,377.52	9.06%
WATER SINKING FUND	\$ 61,538.00	\$ -	\$ -	\$ 61,538.00	0.00%
SEWER FUND	\$ 312,772.00	\$ 15,711.97	\$ 15,711.97	\$ 297,060.03	5.02%
WASTE WATER LIFT STATION	\$ -	\$ -	\$ -	\$ -	
STORM WATER UTILITY	\$ 50,960.00	\$ -	\$ -	\$ 50,960.00	0.00%
TOTAL BUSINESS TYPE ACTIVITIES	\$ 838,061.00	\$ 53,125.45	\$ 53,125.45	\$ 784,935.55	6.34%
NON-DEPARTMENTAL TRANSFERS					
GENERAL FUND	\$ 100,000.00	\$ -	\$ -	\$ 100,000.00	0.00%
ROAD USE TAX	\$ -	\$ -	\$ -	\$ -	#DIV/0!
EMERGENCY TAX FUND	\$ 40,986.00	\$ -	\$ -	\$ 40,986.00	0.00%
LOCAL OPTION SALES TAX	\$ 287,310.00	\$ -	\$ -	\$ 287,310.00	0.00%
TIF	\$ 459,642.00	\$ -	\$ -	\$ 459,642.00	0.00%
WATER FUND	\$ 122,888.00	\$ 5,079.17	\$ 5,079.17	\$ 117,808.83	4.13%
SEWER FUND	\$ 335,995.00	\$ 37,881.19	\$ 37,881.19	\$ 298,113.81	11.27%
SEWER FUND SPECIAL	\$ -	\$ -	\$ -	\$ -	#DIV/0!
STORM WATER UTILITY	\$ 40,000.00	\$ -	\$ -	\$ 40,000.00	0.00%
BC/BS FLEXIBLE BENEFIT	\$ -	\$ 316.01	\$ 316.01	\$ (316.01)	#DIV/0!
TOTAL NON-DEPARMENTAL TRANSFERS	\$ 1,386,821.00	\$ 43,276.37	\$ 43,276.37	\$ 1,343,544.63	3.12%
TOTAL FOR ALL FUNCTIONS	\$ 17,605,353.00	\$ 1,127,181.90	\$ 1,127,181.90	\$ 16,478,171.10	

CITY OF WEST BRANCH
EXPENDITURES BY ACTIVITY (UNAUDITED)
AS OF: JULY 31ST, 2022

001-GENERAL FUND

08.33% OF FISCAL YEAR

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
TOTAL NON-PROGRAM	1,386,821.00	43,276.37	43,276.37	3.12	1,343,544.63
TOTAL PUBLIC SAFETY	903,810.00	861,100.81	861,100.81	95.27	42,709.19
TOTAL PUBLIC WORKS	697,160.00	71,602.59	71,602.59	10.27	625,557.41
TOTAL HEALTH & SOCIAL SERVICES	0.00	0.00	0.00	0.00	0.00
TOTAL CULTURE & RECREATION	731,590.00	63,087.93	63,087.93	8.62	668,502.07
TOTAL COMMUNITY & ECON DEVELOP	173,810.00	2,532.50	2,532.50	1.46	171,277.50
TOTAL GENERAL GOVERNMENT	245,629.00	22,688.25	22,688.25	9.24	222,940.75
TOTAL DEBT SERVICE	1,439,005.00	0.00	0.00	0.00	1,439,005.00
TOTAL CAPITAL PROJECTS	11,189,467.00	9,768.00	9,768.00	0.09	11,179,699.00
TOTAL BUSINESS TYPE/ENTERPRISE	838,061.00	53,125.45	53,125.45	6.34	784,935.55
TOTAL EXPENDITURES	17,605,353.00	1,127,181.90	1,127,181.90	6.40	16,478,171.10

CLERK'S REPORT FOR THE MONTH OF JUNE 2022 AMENDED 9/19/2022									
DESCRIPTION	CHECKING	INVESTMENT	BEGINNING BALANCE	RECEIPTS	TRANSFER IN	DISBURSED	TRANSFER OUT	NET CHANGE LIABILITIES	CLERK'S BALANCE
GENERAL									
*(001) GENERAL OPERATING FUND	\$ 1,859,405.54	\$ 5.00	\$ 1,859,410.54	\$ 169,882.38		\$ 133,627.22	\$ 232,727.02		\$ 1,662,938.68
** FIRE APPARATUS RESERVE	\$ 400,132.05	\$ -	\$ 400,132.05		\$ 173,283.75				\$ 573,415.80
POLICE APPARATUS RESERVE	\$ 56,587.08	\$ -	\$ 56,587.08		\$ 52,943.27				\$ 109,530.35
PARK & RECREATION RESERVE	\$ 17,340.39	\$ -	\$ 17,340.39						\$ 17,340.39
PUBLIC WORKS RESERVE	\$ 11,030.00	\$ -	\$ 11,030.00						\$ 11,030.00
SIGNS-ACCIONA DTN INVESTMENT	\$ 0.00	\$ 7,003.00	\$ 7,003.00	\$ 5.59					\$ 7,008.59
PARK EQUIPMENT/RESERVE	\$ 1,500.00	\$ -	\$ 1,500.00		\$ 6,500.00				\$ 8,000.00
(022) CIVIC CENTER	\$ 36,273.39	\$ -	\$ 36,273.39	\$ 1,145.30		\$ 1,250.62			\$ 36,168.07
(027) MEMORIAL GARDEN PROJECT	\$ 314.00	\$ -	\$ 314.00	\$ 100.00					\$ 414.00
(028) SPLASH PAD RESERVE	\$ 100.00	\$ -	\$ 100.00						\$ 100.00
(031) LIBRARY	\$ 22,563.80	\$ 91,313.24	\$ 113,877.04	\$ 2,694.50		\$ 18,911.31			\$ 97,660.23
(036) TORT LIABILITY	\$ 12,805.13	\$ -	\$ 12,805.13	\$ 2,337.98					\$ 15,143.11
SPECIAL REVENUE									
(110) ROAD USE TAX	\$ 15,034.98	\$ -	\$ 15,034.98	\$ 44,070.37		\$ 14,886.45			\$ 44,218.90
(112) TRUST & AGENCY (EMPLOYEE BENEFITS)	\$ 259,362.38	\$ -	\$ 259,362.38	\$ 15,210.29		\$ 22,003.60			\$ 252,569.07
(119) EMERGENCY TAX FUND	\$ 1,083.20	\$ -	\$ 1,083.20	\$ 2,099.57					\$ 3,182.77
(121) LOCAL OPTION SALES TAX	\$ 250,343.60	\$ -	\$ 250,343.60	\$ 24,599.84					\$ 274,943.44
(125) TIF	\$ 1,665.99	\$ -	\$ 1,665.99	\$ 55,470.39		\$ 5,863.06			\$ 51,273.32
(160) REVOLVING LOAN FUND	\$ 137,082.45	\$ -	\$ 137,082.45						\$ 137,082.45
DEBT SERVICE									
(226) DEBT SERVICE	\$ 353,992.76	\$ -	\$ 353,992.76	\$ 19,075.24		\$ 103,590.04			\$ 269,477.96
CAPITAL PROJECTS									
(300) CAPITAL IMPROVEMENT RESERVE	\$ 60,101.97	\$ -	\$ 60,101.97	\$ 3,091.30					\$ 63,193.27
(302) ARPA NEU FUND	\$ 186,305.60	\$ -	\$ 186,305.60						\$ 186,305.60
(304) W MAIN ST STORMWATER IMP	\$ 10,000.00	\$ -	\$ 10,000.00						\$ 10,000.00
(308) PARK IMP - PEDERSEN VALLEY	\$ 14,827.20	\$ -	\$ 14,827.20						\$ 14,827.20
(312) DOWNTOWN EAST REDEVELOPMENT	\$ 173,912.82	\$ -	\$ 173,912.82						\$ 173,912.82
(319) RELOCATION OF WATER & SEWER LINES	\$ (4,655.22)	\$ -	\$ (4,655.22)						\$ (4,655.22)
(321) WIDENING WAPSI CREEK @ BERANEK PARK	\$ 149,371.20	\$ -	\$ 149,371.20			\$ 55,291.00			\$ 94,080.20
(323) I-80 WEST, WATER MAIN RELOCATE	\$ (24,271.48)	\$ -	\$ (24,271.48)						\$ (24,271.48)
(324) WW TREATMT FAC IMP 2021	\$ (139,207.00)	\$ -	\$ (139,207.00)	\$ 8,000.00		\$ 21,651.55			\$ (152,858.55)
(326) ROUNDABOUT MAIN & CEDAR	\$ (6,429.00)	\$ -	\$ (6,429.00)			\$ 14,964.55			\$ (21,393.55)
(327) SPONSORED WATER QUALITY IMPE 2021	\$ (20,000.00)	\$ -	\$ (20,000.00)						\$ (20,000.00)
PERMANENT									
(500) CEMETERY PERPETUAL FUND	\$ 29,850.60	\$ 97,213.25	\$ 127,063.85	\$ 409.01					\$ 127,472.86
(501) KROUTH PRINCIPAL FUND	\$ -	\$ 51,126.28	\$ 51,126.28	\$ 42.82					\$ 51,169.10
(502) KROUTH INTEREST FUND	\$ -	\$ 23,964.69	\$ 23,964.69	\$ 19.12					\$ 23,983.81
ENTERPRISE									
(600) WATER FUND	\$ 188,801.46	\$ -	\$ 188,801.46	\$ 47,522.74		\$ 34,767.52	\$ 5,080.00		\$ 196,476.68
(603) WATER SINKING FUND	\$ 58,444.17	\$ -	\$ 58,444.17	\$ -	\$ 5,080.00	\$ 58,418.75			\$ 5,105.42
(610) SEWER FUND	\$ 508,928.14	\$ -	\$ 508,928.14	\$ 68,837.71		\$ 23,534.98	\$ 40,241.89		\$ 513,988.98
(611) SEWER FUND SPECIAL	\$ 419,618.25	\$ -	\$ 419,618.25	\$ -	\$ 40,241.89				\$ 459,860.14
(614) WASTEWATER LIFT STATION	\$ -	\$ -	\$ -						\$ -
(740) STORM WATER UTILITY	\$ 129,841.89	\$ -	\$ 129,841.89	\$ 5,624.93		\$ 550.00			\$ 134,916.82
(950) BC/BS FLEXIBLE BENEFIT	\$ (4,857.78)	\$ -	\$ (4,857.78)			\$ 1,217.50			\$ (6,075.28)
TOTAL	\$ 5,167,199.56	\$ 270,625.46	\$ 5,437,825.02	\$ 470,239.08	\$ 278,048.91	\$ 510,528.15	\$ 278,048.91	\$ -	\$ 5,397,535.95
O/S CHECKS			\$4,010.37						\$49,890.65
O/S DEPOSIT			\$194.26						\$256.29
BANK STATEMENT BALANCE			\$5,441,641.13						\$5,447,170.31



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM: Public Hearing - To consider a request for rezoning 154 Ohrt Street from R-1 to R-2.
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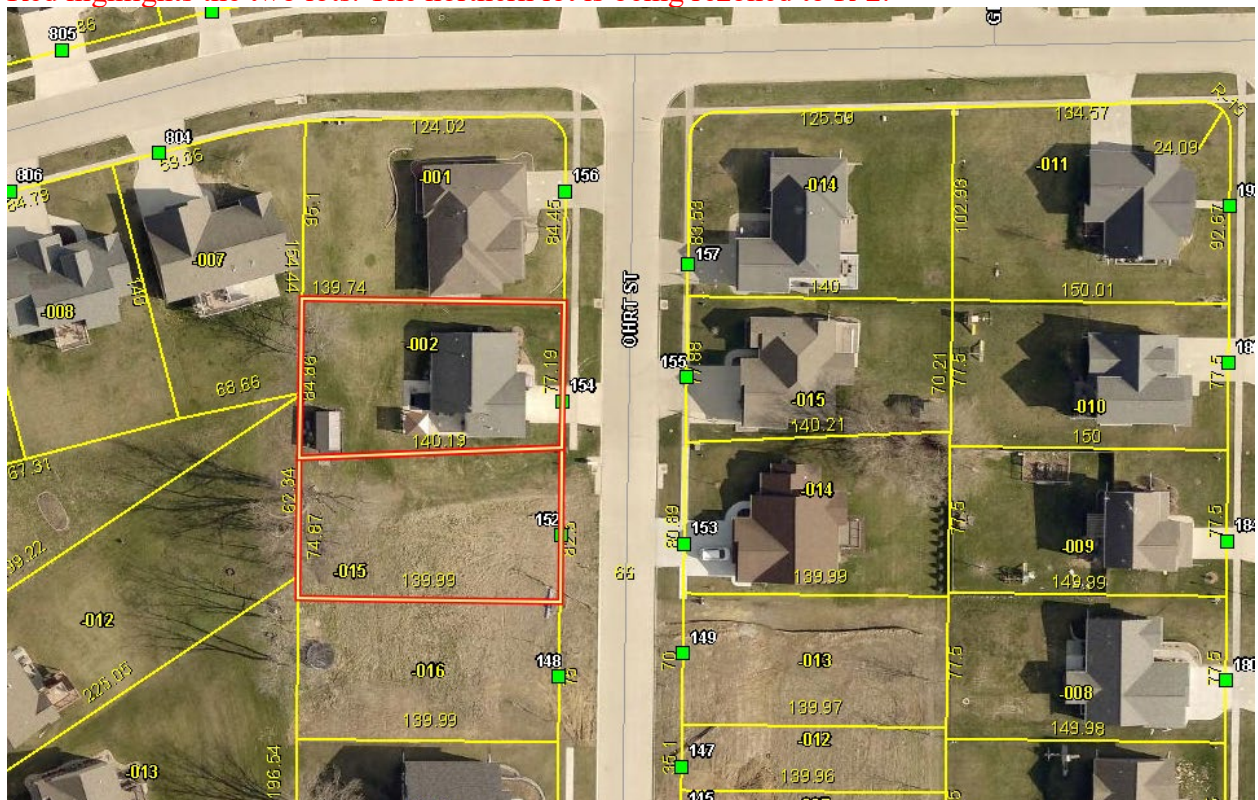
PREPARED BY: Adam Kofoed, City Administrator

DATE: August 29, 2022

BACKGROUND:

Brad and Dawn Bower are requesting to rezone their property from R-1 to R-2. The request is required as the adjoining vacant lot (Bower's own) is zoned R-2. They are wishing to join the two lots for future building expansion and a possible accessory dwelling unit, if council adopts an ADU zoning ordinance.

Red highlights the two lots. The northern lot is being rezoned to R-2.



RECOMMENDATION

Approval for hearing as lots north are R-1 and lots south are R-2. Staff has no initial concerns with the request.

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING ON PROPOSAL TO REZONE ONE LOT LOCATED ON OHRT STREET FROM R-1 TO R-2 RESIDENTIAL DISTRICT.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the Planning and Zoning Commission of the City of West Branch in the Council Chambers at 110 N. Poplar Street, at 7:00 o'clock P.M., on **Tuesday, September 27, 2022.**

Said public hearing shall be to consider the proposal of rezoning of the following parcel: Lot 54, Pedersen Valley, Part Four, West Branch, Iowa, more commonly known as 154 Ohrt Street. Rezoning parcel #0500-13-06-386-002-0 from R-1 to R-2 District.

YOU ARE FURTHER NOTIFIED that a public hearing will be held by the City Council of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Monday, October 3, 2022.**

The public hearing will discuss the proposed rezoning of the following described parcel: Lot 54, Pedersen Valley, Part Four, West Branch, Iowa, more commonly known as 154 Ohrt Street. Rezoning parcel #0500-13-06-386-002-0 from R-1 to R-2 District.

All interested persons are invited to attend these meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch City Clerk.

Prepared by: Kevin D. Olson, West Branch City Attorney, PO Box 5640, Coralville, Iowa 52241 (319)351-2277
Return to: City of West Branch, 110 N. Poplar Street, P.O. Box 218, West Branch, Iowa 52358 (319)643-5888

ORDINANCE NO. 797

AN ORDINANCE RE-ZONING THAT CERTAIN PARCEL OF REAL PROPERTY LOCATED AT 154 OHRT STREET FROM R-1 RESIDENCE DISTRICT TO R-2 RESIDENCE DISTRICT.

WHEREAS, the owner of 154 Ohrt Street has petitioned the City of West Branch for a zoning district amendment for properties located in the Pederson Valley subdivision, said parcel being legally described as:

Lot 54, Pedersen Valley, Part Four, West Branch, Cedar County, Iowa (the "Parcel").

WHEREAS, the owner has requested that the Parcel be rezoned to be located in an R-2 Residence Business District, in place of an R-1 Residence District; and

WHEREAS, the West Branch Planning and Zoning Commission has recommended the City Council approve said rezoning request; and

WHEREAS, a public hearing has been held on said request pursuant to published notice thereof.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of West Branch, Iowa :

Section 1. That the zoning map for the City of West Branch is hereby amended to show the Parcel being located in a R-2 Residence District in place of R-1 Residence District.

Section 2. This ordinance shall be in full force and effect from and after its publication as by law provided.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 4. If any section, provision or part of this ordinance shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of this ordinance as a whole or any part, section, or provision thereof not adjudged invalid or unconstitutional.

Passed and approved this ____ day of _____, 2022.

Read First Time: October 3, 2022

Read Second Time:

Read Third Time:

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: September 26, 2022

AGENDA ITEM: Public Hearing – To consider a request for rezoning 222 N. 4th Street from R-3 to PUD and a triangle parcel along the east side of Wapsi Creek owned by the City of West Branch from P-1 to PUD

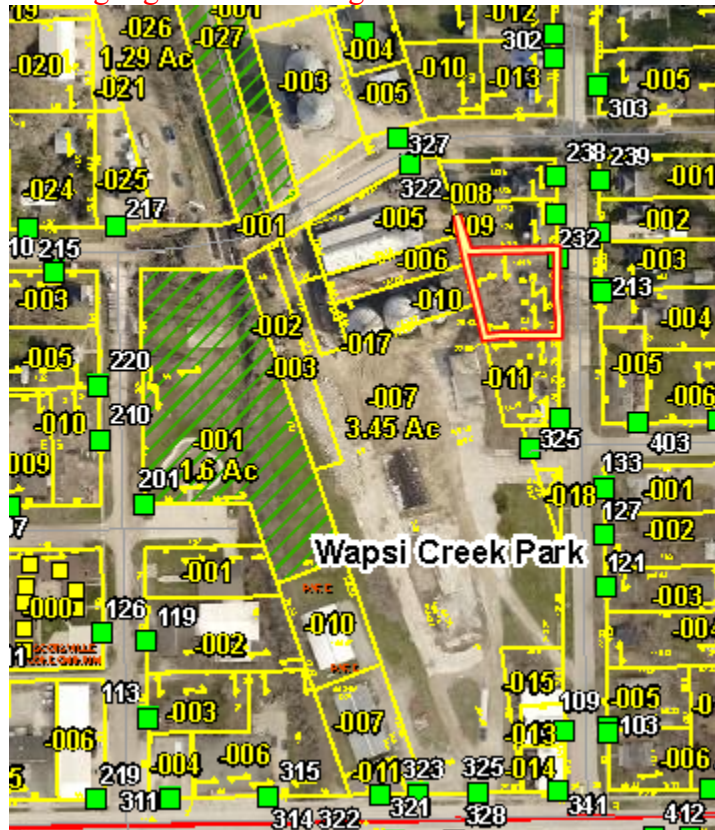
PREPARED BY: Adam Kofoed, City Administrator

DATE: August 29, 2021

BACKGROUND:

Blaine Thomas from BBCO is looking to rezone the Clark property from R-3 to PUD. The Clark property was never rezoned as staff/mayor didn't know what properties would get purchased.

Red highlights the lot being rezoned to PUD.



RECOMMENDATION

Approval for hearing as lots north are all zoned PUD. Staff has received written approval from the owners as BBCO LLC does not officially own them yet.

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING ON PROPOSAL TO REZONE VARIOUS PARCELS IN THE AREA BOUNDED BY N. 2ND STREET; E. COLLEGE STREET; E. MAIN STREET AND N. 4TH STREET.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the Planning and Zoning Commission of the City of West Branch in the Council Chambers at 110 N. Poplar Street, at 7:00 o'clock P.M., on **Tuesday, September 27, 2022**. Said public hearing shall be to consider the proposal of rezoning of the following parcels:

All that portion of former Depot Street as shown in the 1901 Replat of West Branch, Iowa, as shown in Book S, pages 351-353, Recorder's Office, Cedar County, Iowa, and more particularly described as follows: Beginning at the NW corner of Lot Five (5), Block Thirteen (13) in the Town of West Branch, Cedar County, Iowa; thence westerly 20.48 feet along the northerly line of said Lot Five (5) produced westerly to a point; thence northerly along a straight line to the NW corner of Lot Ten (1), said Block Thirteen (13), thence southeasterly along the westerly line of said Block Thirteen (13) to a point of beginning; and also

Lots Six (6), Seven (7) and Eight (8) in Block Thirteen (13) in the Original Town of Cameron, now West Branch, Cedar County, Iowa; also beginning at the NE corner of Lot Seven (7) of Block Thirteen (13) of the plat of the Original Town of Cameron as recorded in Book E at pages 436-438 of the Town Lot Deed Records of Cedar County, Iowa; thence north to the SE corner of Lot Eight (8) in said Block Thirteen (13); thence west along the south line of said Lot Eight (8) to the SW corner of Lot Eight (8); thence south to the NW corner of Lot Seven (7) of said Block Thirteen (13); thence east along the north line of Lot Seven (7) to the place of beginning; and also

Beginning at the NW corner of Lot 5 in Block 13, 1901 Replat of West Branch, Cedar County, Iowa, as shown in Book S, pages 351-353, Recorder's Office of Cedar County, Iowa; thence northerly to the SW corner of Lot 6 in Block 13; thence westerly along the southerly border of said Lot 6 to the SW corner thereof; thence southeasterly along the northern lot line of said Lot 5 to the point of beginning; and also

Lot 9, Block 13 in the Original Town of Cameron, now West Branch, Cedar County, Iowa; and also

That portion of Wapsi Creek Park shown on that certain preliminary plat of Heritage Hill Subdivision, West Branch, Iowa.

From R-3 and P-1 to Planned Unit Development District.

YOU ARE FURTHER NOTIFIED that a public hearing on the same subject will be held by the City Council of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Monday, October 3, 2022**.

All interested persons make appear at this meeting to make comment on the proposed rezoning application in the City of West Branch, Iowa.

Leslie Brick, City Clerk,
by Direction of the Planning and Zoning Commission

Prepared by: Kevin D. Olson, West Branch City Attorney, PO Box 5640, Coralville, Iowa 52241 (319)351-2277
Return to: City of West Branch, 110 N. Poplar Street, P.O. Box 218, West Branch, Iowa 52358 (319)643-5888

ORDINANCE NO. 798

AN ORDINANCE RE-ZONING THAT CERTAIN PARCELS OF REAL PROPERTY LOCATED NORTH OF E. MAIN STREET AND WEST OF N. 4TH STREET FROM R-3 RESIDENCE DISTRICT TO PLANNED UNIT DEVELOPMENT DISTRICT.

WHEREAS, BBCO, LLC, has petitioned the City of West Branch for a zoning district amendment for properties located north of E. Main Street and west of N. 4th Street, said parcel being legally described as:

All that portion of former Depot Street as shown in the 1901 Replat of West Branch, Iowa, as shown in Book S, pages 351-353, Recorder's Office, Cedar County, Iowa, and more particularly described as follows: Beginning at the NW corner of Lot Five (5), Block Thirteen (13) in the Town of West Branch, Cedar County, Iowa; thence westerly 20.48 feet along the northerly line of said Lot Five (5) produced westerly to a point; thence northerly along a straight line to the NW corner of Lot Ten (1), said Block Thirteen (13), thence southeasterly along the westerly line of said Block Thirteen (13) to a point of beginning; and also

Lots Six (6), Seven (7) and Eight (8) in Block Thirteen (13) in the Original Town of Cameron, now West Branch, Cedar County, Iowa; also beginning at the NE corner of Lot Seven (7) of Block Thirteen (13) of the plat of the Original Town of Cameron as recorded in Book E at pages 436-438 of the Town Lot Deed Records of Cedar County, Iowa; thence north to the SE corner of Lot Eight (8) in said Block Thirteen (13); thence west along the south line of said Lot Eight (8) to the SW corner of Lot Eight (8); thence south to the NW corner of Lot Seven (7) of said Block Thirteen (13); thence east along the north line of Lot Seven (7) to the place of beginning; and also

Beginning at the NW corner of Lot 5 in Block 13, 1901 Replat of West Branch, Cedar County, Iowa, as shown in Book S, pages 351-353, Recorder's Office of Cedar County, Iowa; thence northerly to the SW corner of Lot 6 in Block 13; thence westerly along the southerly border of said Lot 6 to the SW corner thereof; thence southeasterly along the northern lot line of said Lot 5 to the point of beginning; and also

Lot 9, Block 13 in the Original Town of Cameron, now West Branch, Cedar County, Iowa; and also

That portion of Wapsi Creek Park shown on that certain preliminary plat of Heritage Hill Subdivision, West Branch, Iowa. (*the "Parcel"*).

WHEREAS, the owner has requested that the Parcel be rezoned to be located in a Planned Unit Development District, in place of an R-3 Residence District; and

WHEREAS, the West Branch Planning and Zoning Commission has recommended the City Council approve said rezoning request; and

WHEREAS, a public hearing has been held on said request pursuant to published notice thereof.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of West Branch, Iowa :

Section 1. That the zoning map for the City of West Branch is hereby amended to show the Parcel being located in a Planned Unit Development District in place of R-3 Residence District.

Section 2. This ordinance shall be in full force and effect from and after its publication as by law provided.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 4. If any section, provision or part of this ordinance shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of this ordinance as a whole or any part, section, or provision thereof not adjudged invalid or unconstitutional.

Passed and approved this ____ day of _____, 2022.

Read First Time: October 3, 2022

Read Second Time:

Read Third Time:

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM: Public Hearing - Amending the Historic Preservation Commission Ordinance – Chapter 25 of the West Branch Code of Ordinances

PREPARED BY: Adam Kofoed, City Administrator

DATE: August 29, 2022

BACKGROUND:

In January 2022, the city and its contractor completed a process known as “recodification” which adopts all amendments to the West Branch Code of Ordinances. Re-codifying makes it easier for the public and city officials to read through the city’s laws which are ever changing.

Somewhere in the process, the Historic Preservation chapter omitted our Historic Preservation District section. This finding kick-started improvements to the historic preservation chapter.

SUMMARY OF CHANGES

1. Re-establishes the hold historic preservation district.
2. Re-establishes nonvoting advisory members from the NPS, Hoover Foundation, and Presidential Museum.
3. Establishes an Underground Railroad Historic District to preserve James Townsend’s Traveler’s Rest.
4. Establishes administrative review rights for historic signage. Authority given to City Administrator and Chairperson of Historic Preservation Commission. If a disagreement occurs or they deem the signs to be controversial, commission will vote on signage at the next scheduled quarterly meeting.

SCHEDULE OF HEARINGS

- Wed. Sep. 14, 6:30pm City Hall, for Historic Preservation Commission hearing.
- Tue. Sep. 27, 7:00pm City Hall, for Planning and Zoning public hearing.
- Mon. Oct. 3, 7:00pm City Hall, for City Council public hearing.
- Mon. Oct. 17, 7:00pm City Hall, for City Council public hearing.
- Mon. Nov. 7, 7:00pm City Hall, for City Council public hearing.

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING ON AMENDING THE HISTORIC PRESERVATION COMMISSION ORDINANCE – CHAPTER 25 OF THE WEST BRANCH CODE OF ORDINANCES.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the **Historic Preservation Commission** of the City of West Branch in the Council Chambers at 110 N. Poplar Street, at 6:30 o'clock P.M., on **Wednesday, September 14, 2022**.

Said public hearing shall be to consider the proposal of re-instating the Historic Districts of West Branch, Iowa and establishing a new district for the Townsends Traveler's Rest.

YOU ARE FURTHER NOTIFIED that a public hearing will be held by **the Planning & Zoning Commission** of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Tuesday, September 27, 2022**.

Said public hearing shall be to consider the proposal of re-instating the Historic Districts of West Branch, Iowa and establishing a new district for the Townsends Traveler's Rest.

YOU ARE FURTHER NOTIFIED that a public hearing will be held by the **City Council** of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Monday, October 3, 2022**.

Said public hearing shall be to consider the proposal of re-instating the Historic Districts of West Branch, Iowa and establishing a new district for the Townsends Traveler's Rest.

All interested persons are invited to attend these meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch City Clerk.

ORDINANCE NO. 799

AN ORDINANCE ESTABLISHING A HISTORIC PRESERVATION COMMISSION FOR THE CITY OF WEST BRANCH, IOWA; PROVIDING FOR THE RECOGNITION AND PROMOTION OF HISTORIC SITES AND DEFINING POWERS AND DUTIES OF THE COMMISSION.

BE IT ORDAINED by the City Council of the City of West Branch, Iowa:

Section 1. Amendment. The Code of Ordinances of the City of West Branch, Iowa, is hereby amended by adding and incorporating Chapter 25 entitled "Historic Preservation," which reads as follows:

"25.01. PURPOSE AND INTENT.

The purpose of this ordinance is to:

- a. Promote the educational, cultural, economic and general welfare of the public through the recognition, enhancement, and perpetuation of sites and districts of historical and cultural significance;
- b. Safeguard the City's historic, aesthetic, and cultural heritage by preserving sites and districts of historic and cultural significance;
- c. Stabilize and improve property values;
- d. Foster pride in the legacy of beauty and achievements of the past;
- e. Protect and enhance the City's attractions to tourists and visitors and the support and stimulus to business thereby provided;
- f. Strengthen the economy of the City;
- g. Promote the use of sites and districts of historic and cultural significance as places for the education, pleasure, and welfare of the people of the City.

25.02. DEFINITIONS.

- a. Commission. The City of West Branch Historic Preservation Commission, as established by this ordinance.
- b. Historic District. An area which contains a significant portion of sites including archaeological sites, buildings, structures, objects and/or other improvements which, considered as a whole, possesses integrity of location, design, setting, materials, workmanship, feeling, and association, and
 1. embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or
 2. that represents a significant and distinguishable entity whose components may lack individual distinction; or

3. is associated with events that have made significant contributions to the broad patterns of our local, state or national history; or
4. possesses a coherent and distinctive visual character or integrity based upon similarity of scale, design, color, setting, workmanship, materials, or combinations thereof, which is deemed to add significantly to the value and attractiveness of properties within such area.
5. is associated with the lives of persons significant in our past; or
6. has yielded, or may be likely to yield, information important in prehistory or history.

c. Historic Landmark. A site including archaeological sites, object, structure or building which,

1. is associated with events that have made a significant contribution to the broad patterns of our history; or
2. is associated with the lives of persons significant in our past; or
3. embodies the distinctive characteristics of a type, period, or method of construction, or that represents a work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
4. has yielded, or may be likely to yield, information important in prehistory or history.

d. Districts

1. “West Branch Historic District” consists of any building in West Branch that is listed on the National Register of Historic Places. All of the terms of this chapter apply to property located within the West Branch Historic District. (See Map included in the Appendix to this Code of Ordinances.)

2. “West Branch Preservation District” consists of all of those properties located within the West Branch Historic District, together with all of those properties in the West Branch Preservation District, as shown on the map included in the Appendix to this Code of Ordinances. The provisions of this chapter relating to signs apply to property located within the West Branch Preservation District. Any properties adjacent to a district, may be included in the West Branch Preservation District upon application of the property owner to the City Office. (See form of application in the Appendix to this Code of Ordinances.)

3. “West Branch Underground Railroad Preservation District” consist of any building or site in West Branch known to be affiliated with the underground railroad; or is a nearby property or site affiliated with the West Branch Underground Railroad. (See Map included in the Appendix to this Code of Ordinances.)

25.03. WEST BRANCH HISTORIC PRESERVATION COMMISSION.

- a. The Commission shall initially consist of (not less than three, 3) members who shall be residents of the City.

- b. Members of the Commission shall be appointed by the Mayor with the advice and consent of the City Council. Members shall demonstrate a positive interest in historic preservation, possessing interest or expertise in architecture, architectural history, historic preservation, city planning, building rehabilitation, conservation in general or real estate.
- c. The original appointment of the members of the Commission shall be, three for two years, and two for three years, from January 1 following the year of such appointment or until their successor is appointed to serve for a term of three years.
- d. Vacancies occurring in the Commission, other than expiration of term of office, shall be only for the unexpired portion of the term of the member replaced.
- e. Members may serve for more than one term and each member shall serve until the appointment of a successor.
- f. Vacancies shall be filled by the City according to the original selection as aforesaid.
- g. Members shall serve without compensation.
- h. A simple majority of the commission shall constitute a quorum for the transaction of business.
- i. The Commission shall elect a Chairman who shall preside over all Commission meetings and elect a Secretary who shall be responsible for maintaining written records of the commission's proceedings.
- j. The Commission shall meet at least three (3) times a year.

Because the West Branch Historic Preservation Commission has a strong interest in liaison with organizations that have a special affinity with local history, the Commission may recommend to the Mayor and Council that up to three Ex. Officio (non-voting) honorary members be appointed to the Commission by the Mayor with the advice and consent of the City Council. These Ex. Officio (non-voting) honorary members may be representatives of the Herbert Hoover National Historic Site, the Herbert Hoover Presidential Library-Museum and the Hoover Presidential Foundation.

25.04. POWERS OF THE COMMISSION.

- a. The Commission may conduct studies for the identification and designation of historic districts and landmarks meeting the definitions established by this ordinance. The commission may proceed at its own initiative or upon a petition from any person, group, or association. The Commission shall maintain records of all studies and inventories for public use.
- b. The Commission may make a recommendation to the State Historic Preservation Office for the listing of a historic district or landmark in the National Register of Historic Places and may conduct a public hearing thereon.
- c. The Commission may investigate and recommend to the City Council the adoption of ordinances designating historic landmarks and historic districts if they qualify as defined herein; and
- d. Provide information for the purpose of historic preservation to the governing body.

- e. Promote and conduct an educational and interpretive program on historic properties within its jurisdiction.
- f. Other Powers. In addition to those duties and powers specified above, the Commission may, with City Council approval:
 - i. Accept unconditional gifts and donations of real and personal property, including money, for the purpose of historic preservation.
 - ii. Acquire by purchase, bequest, or donation, fee and lesser interests in historic properties, including properties adjacent to or associated with historic properties.
 - iii. Preserve, restore, maintain and operate historic properties, under the ownership or control of the Commission.
 - iv. Lease, sell, and otherwise transfer or dispose of historic properties subject to rights of public access and other covenants and in a manner that will preserve the property.
 - v. Contract, with the approval of the governing body, with the state or the federal government or other organizations. Cooperate with the federal, state and local governments in the pursuance of the objectives of historic preservation.

25.05. PERMIT REQUIRED. It is unlawful for any person to begin new construction or to make any external alteration or repairs, including signs, in any manner whatsoever to any building within the confines of the Historic District, or to install or change a sign within the Preservation District, without first obtaining a permit as provided herein. Permits may be found and turned in at the City Office.

25.06. APPLICATION. Applicants for permit under this chapter must file with the City Administrator an application in writing on a form furnished for such purpose, which shall give the following information:

1. Name of applicant and property owner.
2. Permanent address of applicant and full address of property owner.
3. A detailed description of the nature of the proposed construction, external alteration and/or repair to the building.
4. A drawing or sketch of proposed construction or external alteration.
5. The intended start and finish dates for alteration and/or repair.

(See the Appendix to this Code of Ordinances for Permit Application Form.)

25.07. ADMINISTRATIVE REVIEW AUTHORITY. The City Administrator or designee and the Historic Preservation Commission Chair, will have authoritative review rights on window decals that meet design standards. The Historic Preservation Commission will be the appeal board on window decal administrative review.

25.08. INVESTIGATION AND ISSUANCE.

1. Upon receipt of application for permit under this chapter by the City Administrator or designated alternate, the application shall be checked for compliance with the City of West Branch Building Codes within five (5) days. It shall also be referred upon receipt to the Chairperson of the West Branch Preservation Commission.
2. Applications for construction, alterations and/or repairs not in compliance with City of West Branch Building Codes will be returned to the applicant with a complete explanation of changes necessary for compliance.
3. Upon receipt of application, the Chairperson of the West Branch Preservation Commission shall call a meeting of said Commission. The Commission shall approve or disapprove the application by majority vote based on the *Basic Standards for the Restoration and Rehabilitation of Historic Structures, Standards for Signage Design and Display, Checklist and Example of Prohibited Signs*. (See Appendix to this Code of Ordinances.) The application and a report of Commission action shall be returned to the Mayor within ten (10) calendar days from date of receipt.
4. Upon receipt of the application and report from the West Branch Preservation Commission, the City Administrator or designated agent will issue a permit to authorize construction, alterations and repairs receiving approval of the Commission. The permit shall be issued within twelve (12) calendar days from the date of the application. The permit fee shall be \$10.00.
5. Upon receipt of an unfavorable report from the West Branch Preservation Commission, the City Administrator or his or her assigned agent will notify applicant of the rejection and the reason therefor. The applicant will also be informed in the same notification that the rejection can be appealed through the Council at the following regular meeting, or that a revised application may be submitted to the Commission for review.
6. The Council shall serve as an arbitrator on all appeals. The Council shall decide within 30 days of an appeal. An appeal of the decision of Council, if any, must be made with the Clerk of District Court within 60 days of the decision of Council.

25.09. VIOLATION. Any person violating any provision of this chapter shall be deemed guilty of a misdemeanor; if such violation continues, each day's violation shall be considered a separate offense.

25.10. NONCONFORMING SIGNS. All signs installed or displayed on September 9, 1991, are allowed to remain. All signs installed or displayed subsequent to September 9, 1991, and all future signs, including replacements or modifications, must fully comply with this chapter. Variances may be granted upon showing of undue hardship. Before any variance is granted the following conditions must be shown to be present: the sign must be located outside a building and must display a trademark or symbol recognized State-wide or nationally.

25.11. AMENDATORY PROVISIONS.

The City may amend this ordinance to meet any unforeseen circumstances which may affect the duties and responsibilities of the Commission."

Section 2. This ordinance shall be in full force and effect from and after its publication as by law provided.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 4. If any section, provision or part of this ordinance shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of this ordinance as a whole or any part, section, or provision thereof not adjudged invalid or unconstitutional.

Passed and approved this _____ day of _____, 2022.

First Reading: October 3, 2022

Second Reading:

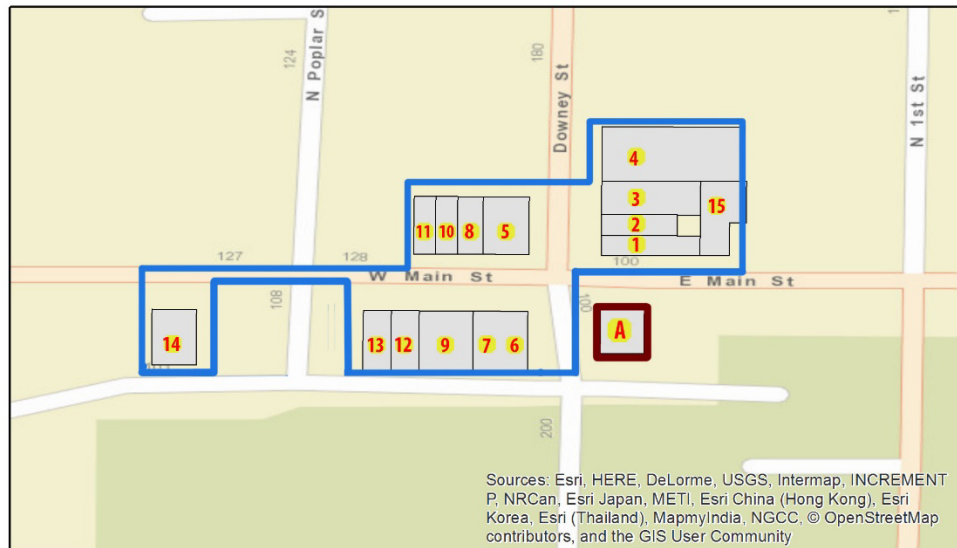
Third Reading:

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk

West Branch Preserved Historic Buildings



Legend

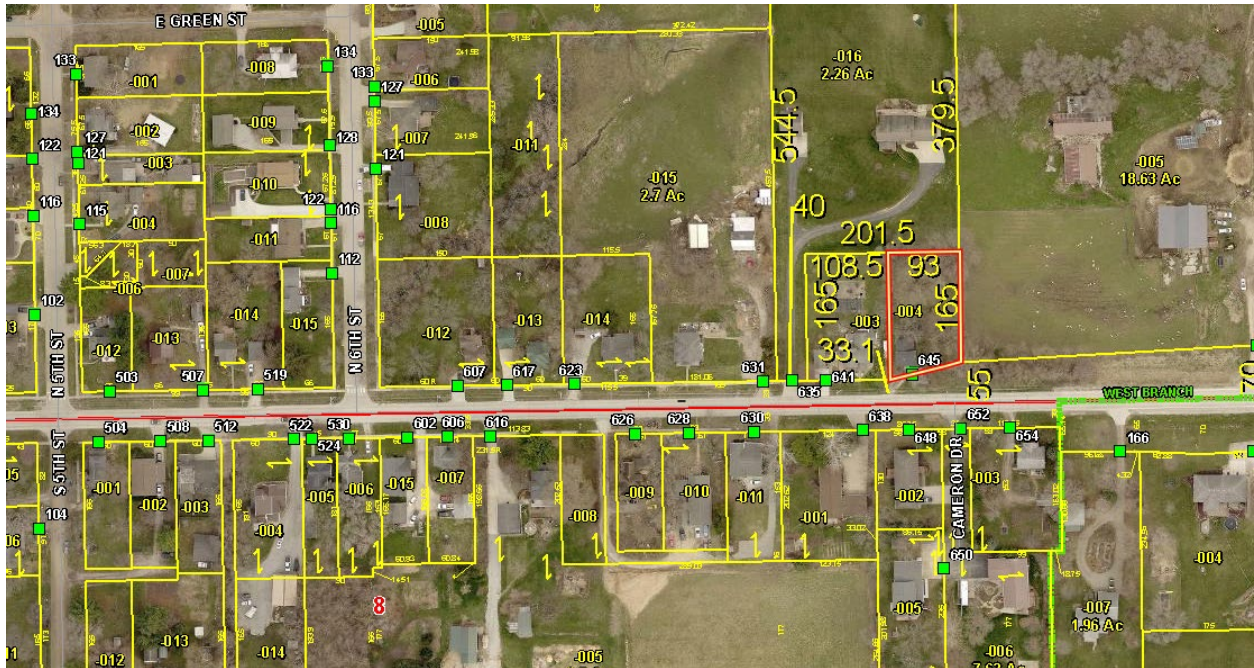
- Preserved Buildings
- Historic District
- Preservation District

Building Legend

1. Citizen's Savings Bank (1908)
2. Leech Building (1912)
3. Leech-Gruwell Garage (1911)
4. Opera Block (1895)

5. Old West Branch State Bank (1916)
6. Crook's Hotel/Hoover House (1870)
7. West Branch Bank (1875)
8. Veterans Memorial Building (1947)
9. Union Block (1895)
10. Patterson-Leech Building (1890)

11. Gruwell-Crew Building (1894)
12. Earliest Citizen's Savings Bank (1898)
13. Grinnell Building (1869)
14. Enlow Building (1904)
15. Rich and Bailey Block (1895)
- A- Albin-Douglass Building



Red: West Branch Underground Railroad Preservation District, selected property is known as Townsend's Traveler's Rest.

RESOLUTION 2022-86

**A RESOLUTION ENTERING INTO AN OFFICER TRAINING REIMBURSEMENT
AGREEMENT WITH LUCAS MOORE**

WHEREAS, the City of West Branch has hired Lucas Moore as a Police Officer in West Branch;
and

WHEREAS, the City Attorney has prepared an officer training reimbursement agreement
(Exhibit A) which requires City approval from the City Council; and

WHEREAS, based on the terms of the training reimbursement agreement, the
aforementioned officer will reimburse the City should he leave before four years of service.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West
Branch, Iowa approves the authorization of the aforementioned officer training reimbursement
agreement be and the same is hereby approved by City Council of the City of West Branch.
Further, the Mayor and City Administrator are directed to execute said agreement on behalf of the
City.

* * * * *

Passed and approved this 3rd day of October, 2022.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk

OFFICER TRAINING REIMBURSEMENT AGREEMENT

THIS AGREEMENT, made and entered this ____ day of October, 2022, by and between the City of West Branch, Iowa, an Iowa municipal corporation, 110 N. Poplar Street, West Branch, Iowa (The "CITY") and Lucas Moore, [REDACTED] (the "EMPLOYEE").

THE INTENT OF THIS AGREEMENT IS TO PROVIDE FOR THE TRAINING OF THE EMPLOYEE AS A POLICE OFFICER, AND TO SPECIFY THE CONSIDERATION THAT THE EMPLOYEE PROVIDES THE CITY IN RETURN FOR THE TRAINING. THIS AGREEMENT SHALL NOT BE CONSTRUED IN ANY WAY AS AN EMPLOYMENT AGREEMENT THAT WOULD PROFFER A PROPERTY RIGHT OR INTEREST ON THE EMPLOYEE.

NOW, THEREFORE, THE CITY AND THE EMPLOYEE, FOR CONSIDERATION HEREIN SET FORTH, DO MUTUALLY AGREE AS FOLLOWS:

1. TRAINING OF THE EMPLOYEE

A. The CITY and the EMPLOYEE hereby expressly agree that the CITY shall pay the total training expenses as defined and set forth below for the EMPLOYEE to attend the Iowa Law Enforcement Academy (The "Academy") as soon as the EMPLOYEE is accepted into the program. The CITY shall also pay for all other expenses, as detailed below, that are specifically related to the EMPLOYEE'S training. Total training expenses ("Total Training Expenses") represents the actual amounts of:

- a. Any overtime incurred by a field training officer for preparation or reporting of activities directly related to, and specifically for the EMPLOYEE'S training;
- b. The cost of travel to and from the Iowa Law Enforcement Academy;
- c. Any monies paid to the EMPLOYEE for reimbursable expenses while studying for classes at the Iowa Law Enforcement Academy;
- d. The EMPLOYEE'S mileage, food, lodging and tuition while attending the Iowa Law Enforcement Academy;
- e. All costs associated with the replacing of an officer while in training, if the replacement officer is a temporary employee hired for that purpose only, or if the replacement requires the payment of overtime; and
- f. Any other costs incurred by the CITY relating to the training of the EMPLOYEE.

2. "Total Training Expenses" do not include any time spent by the EMPLOYEE performing other services for the CITY, including dispatching, filing, patrol work, or other work assigned by the CITY.

3. An estimate of Total Training Expenses is set forth in Exhibit "A" attached hereto and incorporated by this reference for the EMPLOYEE'S reference. Both parties hereto acknowledge and agree that Total Training Expenses shall be based on actual costs incurred by the CITY. Accordingly, upon the EMPLOYEE'S successful completion of training at the Academy, certification as a law enforcement officer, and successful completion of Field Training, the CITY shall provide the EMPLOYEE with an itemization of Total Training Expenses incurred by the CITY hereunder for the EMPLOYEE'S files, as set forth in Exhibit "B," which will be completed at the conclusion of the training and supplied to the employee. This final accounting of actual Total Training Expenses shall be in essentially the same format as estimated costs are presented in Exhibit "A" of this Agreement.

B. In the event the EMPLOYEE elects not to complete the Academy training program or does not otherwise successfully complete the Academy training program, the EMPLOYEE shall be released from employment with the CITY, and the EMPLOYEE shall reimburse the CITY for Total Training Expenses incurred to date in accordance with the reimbursement obligations set forth in Section II below.

II. REIMBURSEMENT OF TOTAL TRAINING EXPENSES

A. In consideration for the expenditures incurred by the CITY to train the EMPLOYEE as a police officer, the EMPLOYEE expressly agrees to serve as a full time police officer for the CITY for at least four (4) years from the date upon which the EMPLOYEE graduates from the Academy and has met all other criteria needed to receive proper certification as a law enforcement officer (the "Reimbursement Period").

B. If any of the following occurs during the Reimbursement Period:

1. The EMPLOYEE voluntarily resigns from the West Branch Police Department; OR
2. The EMPLOYEE is dismissed during the probationary period of nine (9) months from the date of certification as an Iowa Peace Officer (said probationary period to expressly include the training period hereunder); OR
3. The EMPLOYEE is properly terminated; THEN the EMPLOYEE shall reimburse the CITY for Total Training Expenses under the terms of this AGREEMENT as set forth below:

Years of Service Following Approved Training	Amount of Reimbursement
0-1 years	100% of actual costs
1-2 years	75% of actual costs
2-3 years	50% of actual costs
3-4 years	25% of actual costs
More than 4 years	No reimbursement required

C. In the event the EMPLOYEE is required to make reimbursement payments hereunder, one hundred per cent (100%) of the total reimbursement is due within thirty (30) days from the date of resignation, dismissal or termination, unless the EMPLOYEE contacts the City Finance Officer to make payment arrangements under the following terms:

1. The first payment shall be made within thirty (30) calendar days from the date of resignation, dismissal, or termination, as applicable, and on the same date for each successive month thereafter until the CITY has been reimbursed in full for Total Training Expenses hereunder.
2. The minimum monthly payment shall be three hundred dollars (\$300.00).
3. Interest shall commence from the date of resignation, dismissal or termination at the rate of six per cent (6%) per year, and shall be calculated on the unpaid principal balance to the date of each installment paid, with the payments being credited first to the accrued interest and then to the reduction of principal.
4. Until such time as the CITY has been reimbursed in full by the EMPLOYEE in accordance with the terms of this Agreement, the EMPLOYEE has an ongoing duty to notify the CITY of any change in

the EMPLOYEE'S place of residence. Such notice shall be in writing and shall be made no later than fifteen (15) calendar days from the date of any such change in place of residence.

The EMPLOYEE does hereby expressly acknowledge and understand that, in addition to any remedies at law or in equity that the CITY may have to recover Total Training Expenses hereunder, the CITY may, at its sole election, also seek to have the EMPLOYEE decertified as an Iowa law enforcement officer.

THE EMPLOYEE DOES FURTHER HEREBY EXPRESSLY ACKNOWLEDGE AND UNDERSTAND THAT THE REIMBURSEMENT OBLIGATION SET FORTH HEREUNDER IS MANDATORY. IN OTHER WORDS, WHILE THE CITY HAS THE DISCRETION TO DETERMINE WHETHER TO SEEK DECERTIFICATION OF THE EMPLOYEE AS A LAW ENFORCEMENT OFFICER, NO SUCH AFFIRMATIVE ELECTION OF ENFORCEMENT IS REQUIRED FOR REIMBURSEMENT HEREUNDER. FAILURE ON THE PART OF THE EMPLOYEE TO SATISFY THE EMPLOYEE'S EMPLOYMENT OBLIGATION DURING THE REIMBURSEMENT PERIOD HEREUNDER SHALL AUTOMATICALLY TRIGGER MANDATORY REIMBURSEMENT OF TOTAL TRAINING EXPENSES UNDER THIS AGREEMENT.

If the EMPLOYEE is dismissed for any reason other than those set forth in Section II(B) above, such as reduction in force, the EMPLOYEE shall not be required to reimburse the CITY for any unpaid Training Expenses incurred hereunder.

If the EMPLOYEE is killed or permanently and totally disabled, as defined under Chapter 85 and 411 of the Code of Iowa, while in the employ of the CITY, Total Training Expense reimbursement obligations hereunder shall be deemed satisfied in full.

III. DUTIES DURING TRAINING

A. The EMPLOYEE may, at the CITY'S sole option, be required by the CITY to work for the West Branch Police Department while attending the Academy training program, and may be required to patrol, dispatch, operate computer systems, perform clerical tasks, or do other duties as assigned by the Chief of Police or the Chief's designee. The hours expended by the EMPLOYEE in attendance at the Academy training program and in service to the West Branch Police Department shall be subject to the same limitations and compensatory time policies as apply to all police officers of the CITY.

IV. BONA FIDE EMPLOYMENT

A. The EMPLOYEE does hereby expressly acknowledge that the CITY is entering into this Agreement to facilitate the bona fide employment of the EMPLOYEE as a police officer by the CITY. Accordingly, the EMPLOYEE does hereby further acknowledge that the EMPLOYEE is not entering into this Agreement to achieve certification as a law enforcement officer by way of "sponsorship" through the CITY for the Academy training program.

V. CONTROLLING LAW

A. This Agreement is to be governed by the laws of the State of Iowa. The parties hereto agree that any action, suit, or proceeding based upon any matter, claim or controversy arising under this Agreement shall be brought solely in the state courts located in Cedar County, Iowa. The parties hereto irrevocably waive objection to the venue of the above-mentioned courts, including any claim that such action, suit or proceeding has been brought in an inconvenient forum. Both parties hereby expressly acknowledge and agree that nothing contained in this Agreement shall be construed to require the parties to submit to mandatory arbitration or mediation in the event of a breach or dispute hereunder.

VI. HEADINGS

A. The heading of sections of this Agreement are for convenient reference only and shall not be deemed to limit, construe, affect, modify or alter the meaning of such sections.

VII. SEVERABILITY

A. If any section, subsection, term or provision of this agreement or the application thereof to the EMPLOYEE, the CITY or a particular circumstance shall, at any extent, be invalid or unenforceable, the remainder of said section, subsection, term or provision of this Agreement or the application of same to the EMPLOYEE, the CITY or particular circumstances other than that for which it was held valid or invalid or enforceable, shall not be affected thereby and each remaining section, subsection, term or provision of this Agreement shall be valid and enforceable to the fullest extent of the law.


VIII. AUTHORITY

A. The persons signing this Agreement warrant and represent that they have the authority to sign as, or on behalf of, the party for whom they are signing.

IX. FINAL AGREEMENT

A. Both the EMPLOYEE and the CITY hereby expressly acknowledge and agree that this Agreement is intended to set forth the entire agreement between the parties regarding reimbursement of Total Training Expenses by the EMPLOYEE, that there are no other considerations or monies contingent upon or resulting from the execution of this Agreement, and that no other monies or consideration have been solicited. No waiver, change, modification or amendment of this Agreement shall be binding upon either party hereto unless in writing and signed by both the EMPLOYEE and the CITY. The waiver by either party hereto of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach of that provision or of any other provision or condition in this Agreement.

EMPLOYEE:

By: 
Lucas Moore

CITY:

Roger Laughlin, Mayor

ATTEST:

Adam Kofoed, City Administrator

EXHIBIT A

ITEM	COST
IOWA LAW ENFORCEMENT ACADEMY -BASIC ACADEMY TUITION -ROOM & BOARD	\$6,650.00
ILEA MEALS	\$2,122.72
ILEA UNIFORMS	\$230.00
ILEA TASER CERTIFICATION	\$225.00
ILEA PIT CERTIFICATION	\$225.00
ILEA FIREARM QUALIFICATION -250 ROUNDS DUTY AMMUNITION	\$102.25
MILEAGE (USE OF WBPd VEHICLE) @ \$0.655/mile -TRAVEL TO AND FROM TRAINING 16 WEEKS --TO ILEA FROM WEST BRANCH 127 MILES X 16 --TO WEST BRANCH FROM ILEA 127 MILES X 16	\$2,661.92
WBPd CLASS A S/S UNIFORM SHIRT X2 @\$60.00	\$120.00
WBPd CLASS A L/S UNIFORM SHIRT X2 @ \$60.00	\$120.00
WBPd CLASS A UNIFORM PANTS X2 @\$100.00	\$200.00
WBPd WINTER JACKET	\$300.00
WBPd BODY ARMOR	\$550.00
WBPd INNER DUTY BELT	\$40.00
WBPd OUTER DUTY BELT	\$60.00
COSTS ASSOCIATED WITH REPLACEMENT OF AN OFFICER WHILE IN TRAINING	To be determined with actual costs and receipts
TOTAL COSTS	Actual costs



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM: Resolution 2022-87, 2022-88 and 2022-89 Heritage Hill Preliminary Plat, Final Plan & Site Plan
--

PREPARED BY: Adam Kofoed, City Administrator

DATE: September 26, 2022

BACKGROUND:

Planning and Zoning approved the preliminary, final, and site plan on the following conditions by a vote of 6-0:

1. Advisory review committee of one planning and zoning member, mayor, engineer, building inspector, city attorney, and city administrator to advocate on behalf of planning and zoning commission and city council.
2. Developer is responsible for costs and resubmittal of a final plat in the event an error occurs after final plat has been recorded.
3. A letter of credit or performance bond as required in our city code of ordinance for any public improvements required.

RECOMMENDATION

Approve only with conditions. Staff verified with city attorney, other local developers, and bankers that a final plat was needed in order for BBCO to receive financing. Other city administrators and West Branch construction companies that have experience working with BBCO confirm BBCO can be trusted. However, conditions still need to take place to ensure the city is protected.

RESOLUTION 2022-87

**RESOLUTION APPROVING THE PRELIMINARY PLAT OF HERITAGE HILL, WEST
BRANCH, IOWA.**

WHEREAS, the developer did file with the City Clerk of West Branch, a preliminary plat for Heritage Hill, West Branch, Iowa, which is legally described on Exhibit “A” attached hereto; and

WHEREAS, the aforementioned plat and subdivision is found to conform with Chapter 166 of the West Branch Code of Ordinances, and all other ordinances and statutory requirements; and

WHEREAS, said preliminary platting of the aforementioned subdivision has been examined by the West Branch Planning and Zoning Commission; and

WHEREAS, recommendations from both said Commission and City Staff have been made; and

WHEREAS, after due deliberation, said Commission has recommended that the preliminary platting of the proposed subdivision, be accepted and approved.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of West Branch, Iowa, that the preliminary platting of Heritage Hill, West Branch, Iowa, be and the same is hereby approved.

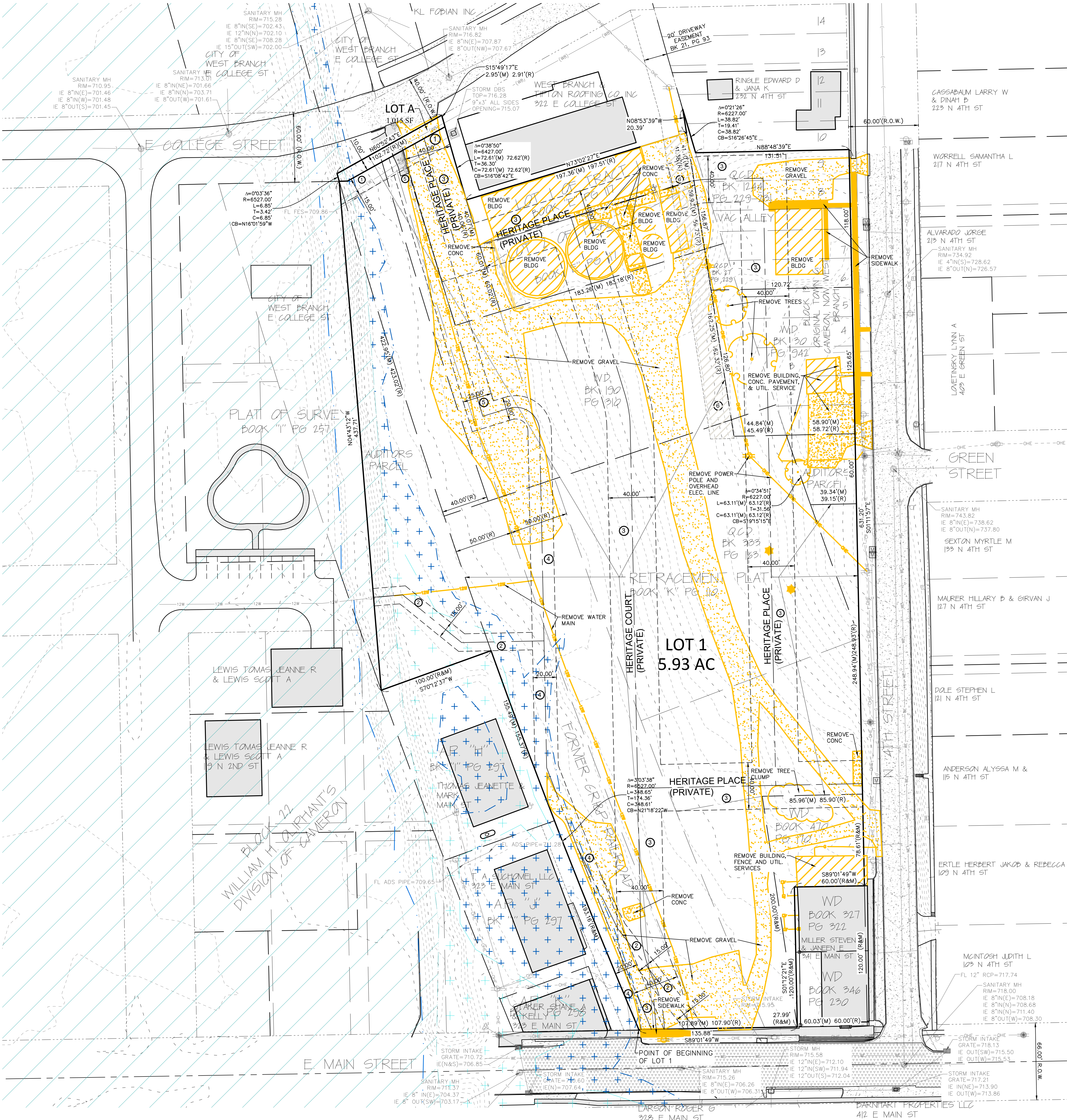
* * * * *

Passed and approved this 3rd day of October, 2022.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



PRELIMINARY PLAT
HERITAGE HILL SUBDIVISION
WEST BRANCH, CEDAR COUNTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
BBOC LLC
C/O BARRY FRANTZ
CONSTRUCTION INC.
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240

DEVELOPMENT CHARACTERISTICS:
HERITAGE HILL - LOT 1 ON GREEN STREET IS TO BE A 5.93 ACRE. THE PLAT WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-PLY BUILDINGS, AND FIFTY FIVE (55) PROPOSED RESIDENTIAL 2 (TWO) BEDROOM UNITS.

LOT REQUIREMENTS: TO BE ZONED "PUD"
FRONT YARD SETBACK (N. 4TH ST) 13 FEET
(E. MAIN ST) 15 FEET
(E. COLLEGE ST) 15 FEET
SIDE YARD SETBACK 15 FEET
REAR YARD SETBACK 15 FEET

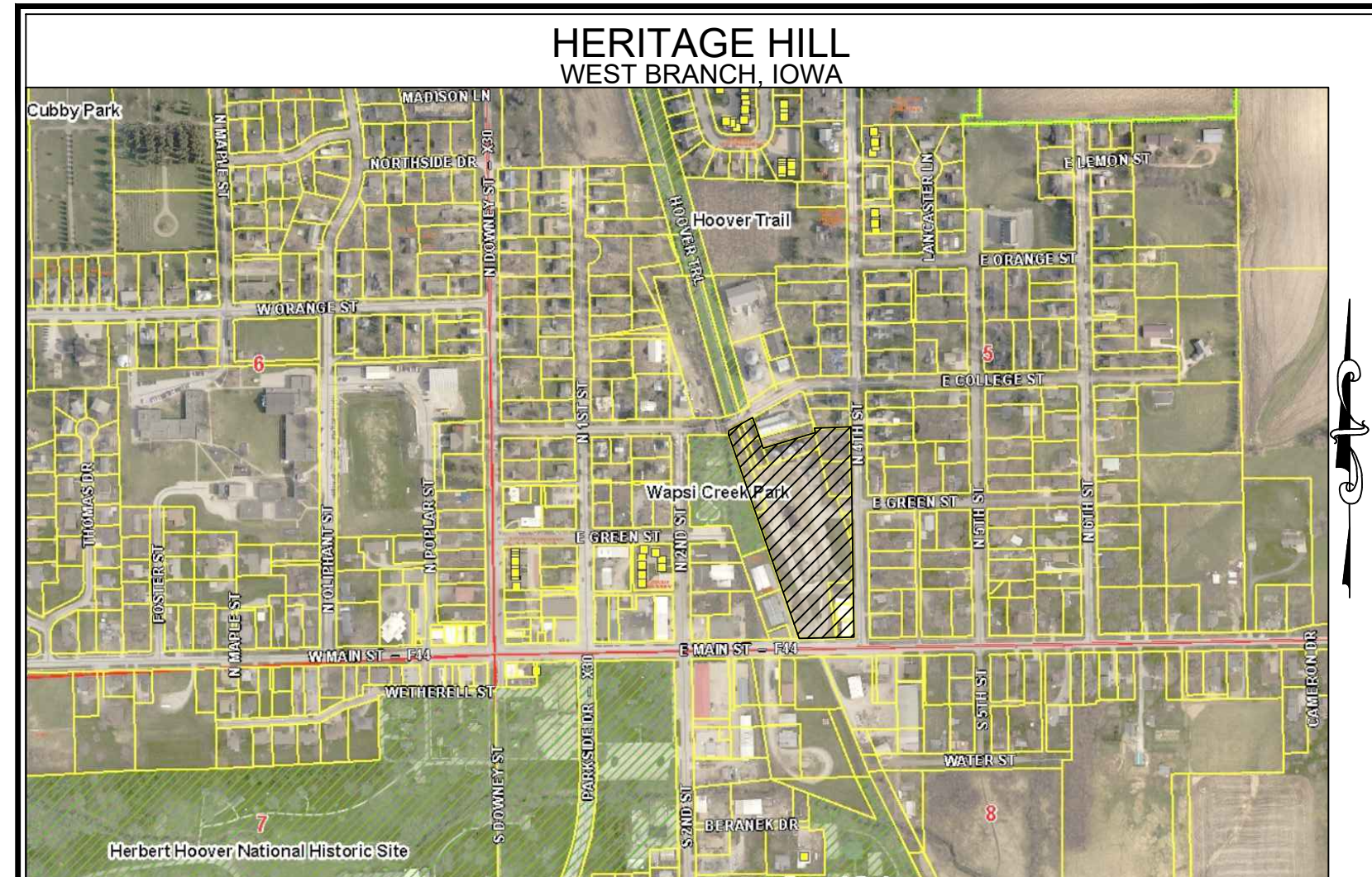
FEMA NOTE:
1. A PORTION OF THIS SITE RESIDES WITHIN THE FEMA FLOODWAY AREA IN ZONE AE, THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE), AND THE ZONE X (0.2% CHANCE) AS NOTED IN FEMA PANEL NUMBER 19031C0212C, EFFECTIVE DATE: 08/19/2013. SEE LEGEND BELOW.

- FLOODWAY AREA IN ZONE AE
- THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE)
- THE ZONE X (0.2% CHANCE)

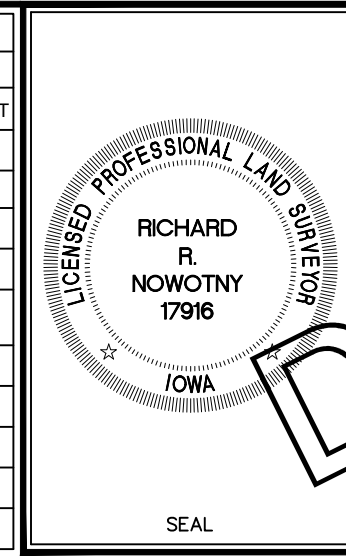
EXHIBIT A

LEGAL DESCRIPTION: A PORTION OF LAND IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF A RETRACEMENT PLAT, RECORDED IN BOOK "K", AT PAGE 110, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE NORTHWESTERLY 348.65 FEET, ALONG THE WEST LINE OF SAID RETRACEMENT PLAT AND ALONG AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 348.61 FOOT CHORD BEARS N21°18'22"W, TO THE SOUTHEAST CORNER OF A PLAT OF SURVEY, RECORDED IN BOOK I, PAGE 257 IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE S70°12'37"W, ALONG SAID SOUTHERLY LINE, 100.00 FEET TO A SOUTHERLY CORNER OF SAID PLAT OF SURVEY; THENCE N04°43'12"W, 437.71 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF SURVEY; THENCE NORTHWESTERLY 6.85 FEET, ALONG THE WEST LINE OF AFOREMENTIONED RETRACEMENT PLAT AND ALONG AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE CHORD BEARS N16°01'59"W, 6.85 FEET, TO THE NORTHWEST CORNER OF SAID RETRACEMENT SURVEY; THENCE N60°52'43"E, ALONG THE PERIMETER, A DISTANCE OF 102.72 FEET; THENCE S15°49'17"E, ALONG SAID PERIMETER, A DISTANCE OF 2.95 FEET; THENCE SOUTHEASTERLY 72.61 FEET, ALONG SAID PERIMETER OF SAID RETRACEMENT PLAT, ALONG AN ARC OF A 6427.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 72.61 FOOT CHORD BEARS S16°08'42"E TO THE NORTHWEST CORNER OF LOT 1 OF TRACT 1 AS RECORDED IN BOOK "E", PAGE 117, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE N73°02'27"E, ALONG THE NORTH LINE OF SAID LOT 1 OF TRACT 1, 197.36 FEET TO THE EAST LINE OF SAID LOT 1; THENCE N08°53'39"W, ALONG THE EAST LINE OF A DEED DESCRIBED IN BOOK 293 AT PAGE 168, IN THE OFFICE OF THE CEDAR COUNTY RECORDER, A DISTANCE OF 20.39 FEET TO THE WESTERLY LINE OF BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA; THENCE SOUTHEASTERLY 38.82 FEET, ALONG SAID WESTERLY LINE, AND AN ARC OF A 6227.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 38.82 FOOT CHORD BEARS S16°26'45"E TO THE NORTHWEST CORNER OF SAID LOT 9; THENCE N88°48'39"E, ALONG THE NORTH LINE OF LOT 9 OF SAID BLOCK 13, A DISTANCE OF 131.51 FEET TO THE EAST LINE OF SAID BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA, ALSO THE EASTERLY LINE OF SAID RETRACEMENT PLAT AND ALSO BEING THE WESTERLY LINE OF 4TH STREET RIGHT OF WAY; THENCE S01°11'57"E, ALONG SAID EASTERLY LINE, A DISTANCE OF 631.20 FEET TO THE NORTH LINE OF A WARRANTY DEED AS RECORDED IN BOOK 327, AT PAGE 322 IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE S89°01'49"W, ALONG SAID NORTH LINE, A DISTANCE OF 60.00 FEET TO THE NORTHWEST CORNER OF SAID WARRANTY DEED; THENCE S01°12'21"E, A DISTANCE OF 120.00 FEET TO THE SOUTHWEST CORNER OF SAID WARRANTY DEED, AND THE NORTH RIGHT OF WAY LINE OF EAST MAIN STREET; THENCE S89°01'49"W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 135.88 FEET THE POINT OF BEGINNING. SAID PARCEL CONTAINS 5.93 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
15.00 FOOT PUBLIC UTILITY AND WATERMAIN EASEMENT	
15.00 FOOT PUBLIC WATERMAIN EASEMENT	
40.00 FOOT PRIVATE ACCESS AND UTILITY EASEMENT	
20.00 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT	
25.00 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT	
20.00 FOOT DRIVE EASEMENT RECORDED IN BK 21, PG 93 TO BE VACATED	



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.

RICHARD R. NOWOTNY
P.L.S. No. 1796, State of Iowa
December 31, 20__

Pages covered by this seal: _____

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (2' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

MMS

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

PRELIMINARY PLAT

HERITAGE HILL
SUBDIVISION

WEST BRANCH,
CEDAR COUNTY,
IOWA

1186-002 of 1

Prepared by: Kevin D. Olson, 1400 5th Street, Coralville, Iowa 52241 (319) 351-2277
Return to: City of West Branch, 110 Poplar Street, West Branch, Iowa 52358 (319) 643-5888

RESOLUTION 2022-88

RESOLUTION APPROVING THE FINAL PLAT OF HERITAGE HILL, WEST BRANCH, IOWA.

WHEREAS, the developer did file with the City Clerk of West Branch, a final plat for Heritage Hill, West Branch, Iowa; and

WHEREAS, the legal description for said Subdivision is as follows: See Exhibit “A” attached hereto; and

WHEREAS, said property has been dedicated with the free consent and in accordance with the desires of the owner; and

WHEREAS, the aforementioned plat and subdivision is found to conform with Chapter 354 of the State Code of Iowa, Chapter 166 of the West Branch Code of Ordinances, and all other ordinances and statutory requirements; and

WHEREAS, said final platting of the aforementioned subdivision has been examined by the West Branch Planning and Zoning Commission; and

WHEREAS, recommendations from both said Commission and City Staff have been made; and

WHEREAS, after due deliberation, said Commission has recommended that the final platting of the proposed subdivision, be accepted and approved.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of West Branch, Iowa, that the final platting of Heritage Hill, West Branch, Iowa, be and the same is hereby approved, subject to the following requirements:

1. Advisory review committee of one planning and zoning member, mayor, engineer, building inspector, city attorney, and city administrator to advocate on behalf of planning and zoning commission and city council.
2. Developer’s engineer is responsible for costs and resubmittal of a final plat in the event an error occurs after final plat has been recorded.
3. Submission of a performance bond/letter of credit for the completion of the public improvements for the subdivision.

BE IT FURTHER RESOLVED that the City Clerk of the City of West Branch, Iowa, is hereby authorized and directed to certify a copy of this Resolution to the County Recorder of Cedar County, Iowa, along with all other required ancillary documents.

* * * * *

Passed and approved this 3rd day of October, 2022.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282

www.mmsconsultants.net

Date	Revision

EXHIBIT A

FINAL PLAT

A PORTION OF THE
SOUTHWEST QUARTER
OF SECTION 5, TOWNSHIP
79 NORTH, RANGE 4
WEST, OF THE FIFTH
PRINCIPAL MERIDIAN

WEST BRANCH
CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 08/04/22

Designed by: DMW Field Book No: 1343, PG 39

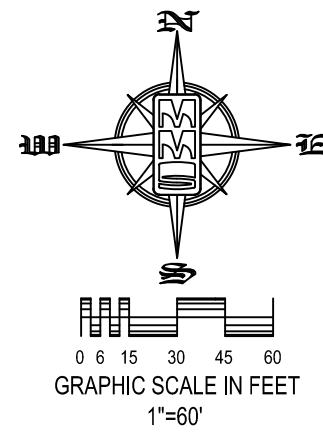
Drawn by: TAV Scale: 1"=60'

Checked by: RNN Sheet No: 1

Project No: 11186-002

of: 2

FINAL PLAT HERITAGE HILL SUBDIVISION WEST BRANCH, CEDAR COUNTY, IOWA



LOCATION:	SUBDIVIDER:
A PORTION OF SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA	BBCO LLC C/O BARRY FRANTZ CONSTRUCTION INC. PO BOX 277 WEST LIBERTY, IOWA, 52776
LAND SURVEYOR:	SUBDIVIDER'S ATTORNEY:
RICHARD R. NOWOTNY P.L.S. MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IOWA 52240
DATE OF SURVEY:	PROPRIETOR OR OWNER:
05-16-2022	BBCO LLC C/O BARRY FRANTZ CONSTRUCTION INC. PO BOX 277 WEST LIBERTY, IOWA, 52776
DOCUMENT RETURN INFORMATION:	PROPRIETOR OR OWNER:
ATTORNEY	BBCO LLC C/O BARRY FRANTZ CONSTRUCTION INC. PO BOX 277 WEST LIBERTY, IOWA, 52776

LEGAL DESCRIPTION: A PORTION OF LAND IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF A RETRACEMENT PLAT, RECORDED IN BOOK "K", AT PAGE 110, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE NORTHWESTERLY 348.65 FEET, ALONG THE WEST LINE OF SAID RETRACEMENT PLAT AND ALONG AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 348.61 FOOT CHORD BEARS N21°18'22"W, TO THE SOUTHEAST CORNER OF A PLAT OF SURVEY, RECORDED IN BOOK I, PAGE 257 IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE S70°12'37"W, ALONG SAID SOUTHERLY LINE, 100.00 FEET TO A SOUTHERLY CORNER OF SAID PLAT OF SURVEY; THENCE N04°43'12"W, 437.71 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF SURVEY; THENCE NORTHWESTERLY 6.85 FEET, ALONG THE WEST LINE OF AFOREMENTIONED RETRACEMENT PLAT AND ALONG AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE CHORD BEARS N16°01'59"W, 6.85 FEET, TO THE NORTHWEST CORNER OF SAID RETRACEMENT SURVEY; THENCE N60°52'43"E, ALONG THE PERIMETER, A DISTANCE OF 102.72 FEET; THENCE S15°49'17"E, ALONG SAID PERIMETER, A DISTANCE OF 2.95 FEET; THENCE SOUTHEASTERLY 72.61 FEET, ALONG SAID PERIMETER OF SAID RETRACEMENT PLAT, ALONG AN ARC OF A 6427.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 72.61 FOOT CHORD BEARS S16°08'42"E TO THE NORTHWEST CORNER OF LOT 1 OF TRACT 1 AS RECORDED IN BOOK "E", PAGE 117, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE N73°02'27"E, ALONG THE NORTH LINE OF SAID LOT 1 OF TRACT 1, 197.36 FEET TO THE EAST LINE OF SAID LOT 1 OF TRACT 1; THENCE N08°53'39"W, ALONG THE EAST LINE OF A DEED DESCRIBED IN BOOK 293 AT PAGE 168, IN THE OFFICE OF THE CEDAR COUNTY RECORDER, A DISTANCE OF 20.39 FEET TO THE WESTERLY LINE OF BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA; THENCE SOUTHEASTERLY 38.82 FEET, ALONG SAID WESTERLY LINE, AND AN ARC OF A 6227.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 38.82 FOOT CHORD BEARS S16°26'45"E TO THE NORTHWEST CORNER OF SAID LOT 9; THENCE N88°48'39"E, ALONG THE NORTH LINE OF LOT 9 OF SAID BLOCK 13, A DISTANCE OF 131.51 FEET TO THE EAST LINE OF SAID BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA, ALSO THE EASTERLY LINE OF SAID RETRACEMENT PLAT AND ALSO BEING THE WESTERLY LINE OF 4TH STREET RIGHT OF WAY; THENCE S01°11'57"E, ALONG SAID EASTERLY LINE, A DISTANCE OF 631.20 FEET TO THE NORTH LINE OF A WARRANTY DEED AS RECORDED IN BOOK 327, AT PAGE 322 IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE S89°01'49"W, ALONG SAID NORTH LINE, A DISTANCE OF 60.00 FEET TO THE NORTHWEST CORNER OF SAID WARRANTY DEED; THENCE S01°12'21"E, A DISTANCE OF 120.00 FEET TO THE SOUTHWEST CORNER OF SAID WARRANTY DEED, AND THE NORTH RIGHT OF WAY LINE OF EAST MAIN STREET; THENCE S89°01'49"W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 135.88 FEET THE POINT OF BEGINNING. SAID PARCEL CONTAINS 5.93 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PLAT/PLAN APPROVED
by the
City of West Branch

Mayor Date:

City Clerk Date:

UTILITY EASEMENTS, AS SHOWN HEREON, ARE ADEQUATE FOR THE INSTALLATION AND MAINTENANCE OF THE FACILITIES REQUIRED BY THE FOLLOWING AGENCIES:

ALLIANT ENERGY Date:

LIBERTY COMMUNICATIONS Date:

MEDIACOM Date:

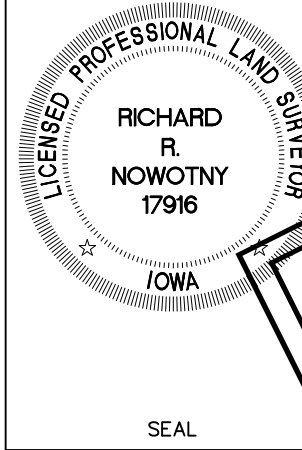
Signed before me this _____ day of _____, 20____.

Notary Public, in and for the State of Iowa.

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

RICHARD R. NOWOTNY
P.L.S. Iowa Lic. No. 17916
My license renewal date is December 31, 20____.

Pages or sheets covered by this seal:



SEAL

FOR COUNTY RECORDER'S USE

SURVEYOR'S RECORD
BOOK 4 PG 397

E COLLEGE STREET

WAPSI CREEK PARK

N. 2ND STREET

PLAT OF SURVEY
BOOK "I" PG 257

GREEN STREET

23 22

WILLIAM H. OLIPHANT'S
DIVISION OF CAMERON

LEGEND AND NOTES

- CONGRESSIONAL CORNER, FOUND
 - PROPERTY CORNER(S), FOUND (as noted)
 - PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
 - PROPERTY &/or BOUNDARY LINES
 - CONGRESSIONAL SECTION LINES
 - RIGHT-OF-WAY LINES
 - CENTER LINES
 - LOT LINES, INTERNAL
 - LOT LINES, PLATTED OR BY DEED
 - EASEMENT LINES, WIDTH & PURPOSE NOTED
 - EXISTING EASEMENT LINES, PURPOSE NOTED
 - RECORDED DIMENSIONS
 - MEASURED DIMENSIONS
 - CURVE SEGMENT NUMBER
- (R)
(M)
C22-1

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS
ERROR OF CLOSURE IS LESS THAN 1 FOOT IN 10,000 FEET

RETRACEMENT
SURVEY
BOOK "E" PG 194

WD
BOOK "I408"
PG 115

E COLLEGE STREET

S15°49'17"E
2.95'(M) 2.91'(R)

A=0°38'50"
R=6427.00'
L=72.61'(M) 72.62'(R)
T=36.30'
C=72.61'(M) 72.62'(R)
CB=S16°08'42"E

N60°52'43"E
1102.72'(R&M)

N04°43'12"W
437.71'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

N73°02'27"E
197.36'(M) 197.51'(R)

N08°53'39"W
20.39'

LOT 1
5.90 AC
257,166 SF

RETRACEMENT PLAT
BOOK "K" PG 110

A=3°03'38"
R=6527.00'
L=348.65'
T=174.36'
C=348.61'
CB=N21°18'22"W

HERITAGE PLACE
(PRIVATE)

HERITAGE COURT
(PRIVATE)

FORMER CR&P RAILROAD

WD
BOOK 470
PG 170
S89°01'49"W
60.00'(R&M)

WD
BOOK 327
PG 322
120.00'(R&M)

WD
BOOK 346
PG 230
60.03'(M)
60.00'(R)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

LOT 2
5.90 AC
257,166 SF

RETRACEMENT PLAT
BOOK "K" PG 110

A=3°03'38"
R=6527.00'
L=348.65'
T=174.36'
C=348.61'
CB=N21°18'22"W

HERITAGE PLACE
(PRIVATE)

HERITAGE COURT
(PRIVATE)

FORMER CR&P RAILROAD

WD
BOOK 470
PG 170
S89°01'49"W
60.00'(R&M)

WD
BOOK 327
PG 322
120.00'(R&M)

WD
BOOK 346
PG 230
60.03'(M)
60.00'(R)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

LOT 3
5.90 AC
257,166 SF

RETRACEMENT PLAT
BOOK "K" PG 110

A=3°03'38"
R=6527.00'
L=348.65'
T=174.36'
C=348.61'
CB=N21°18'22"W

HERITAGE PLACE
(PRIVATE)

HERITAGE COURT
(PRIVATE)

FORMER CR&P RAILROAD

WD
BOOK 470
PG 170
S89°01'49"W
60.00'(R&M)

WD
BOOK 327
PG 322
120.00'(R&M)

WD
BOOK 346
PG 230
60.03'(M)
60.00'(R)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

LOT 4
5.90 AC
257,166 SF

RETRACEMENT PLAT
BOOK "K" PG 110

A=3°03'38"
R=6527.00'
L=348.65'
T=174.36'
C=348.61'
CB=N21°18'22"W

HERITAGE PLACE
(PRIVATE)

HERITAGE COURT
(PRIVATE)

FORMER CR&P RAILROAD

WD
BOOK 470
PG 170
S89°01'49"W
60.00'(R&M)

WD
BOOK 327
PG 322
120.00'(R&M)

WD
BOOK 346
PG 230
60.03'(M)
60.00'(R)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

LOT 5
5.90 AC
257,166 SF

RETRACEMENT PLAT
BOOK "K" PG 110

A=3°03'38"
R=6527.00'
L=348.65'
T=174.36'
C=348.61'
CB=N21°18'22"W

HERITAGE PLACE
(PRIVATE)

HERITAGE COURT
(PRIVATE)

FORMER CR&P RAILROAD

WD
BOOK 470
PG 170
S89°01'49"W
60.00'(R&M)

WD
BOOK 327
PG 322
120.00'(R&M)

WD
BOOK 346
PG 230
60.03'(M)
60.00'(R)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

S01°12'21"E
120.00'(R&M)

of: 2



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
------	----------

FINAL PLAT

A PORTION OF THE
SOUTHWEST QUARTER
OF SECTION 5, TOWNSHIP
79 NORTH, RANGE 4
WEST, OF THE FIFTH
PRINCIPAL MERIDIAN

WEST BRANCH
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date: 08/04/22

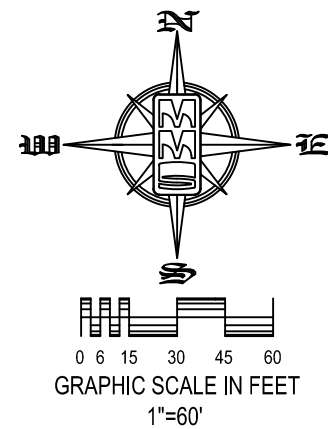
Designed by: DMW Field Book No: 1343, PG 39

Drawn by: TAV Scale: 1"=60'

Checked by: RNN Sheet No:

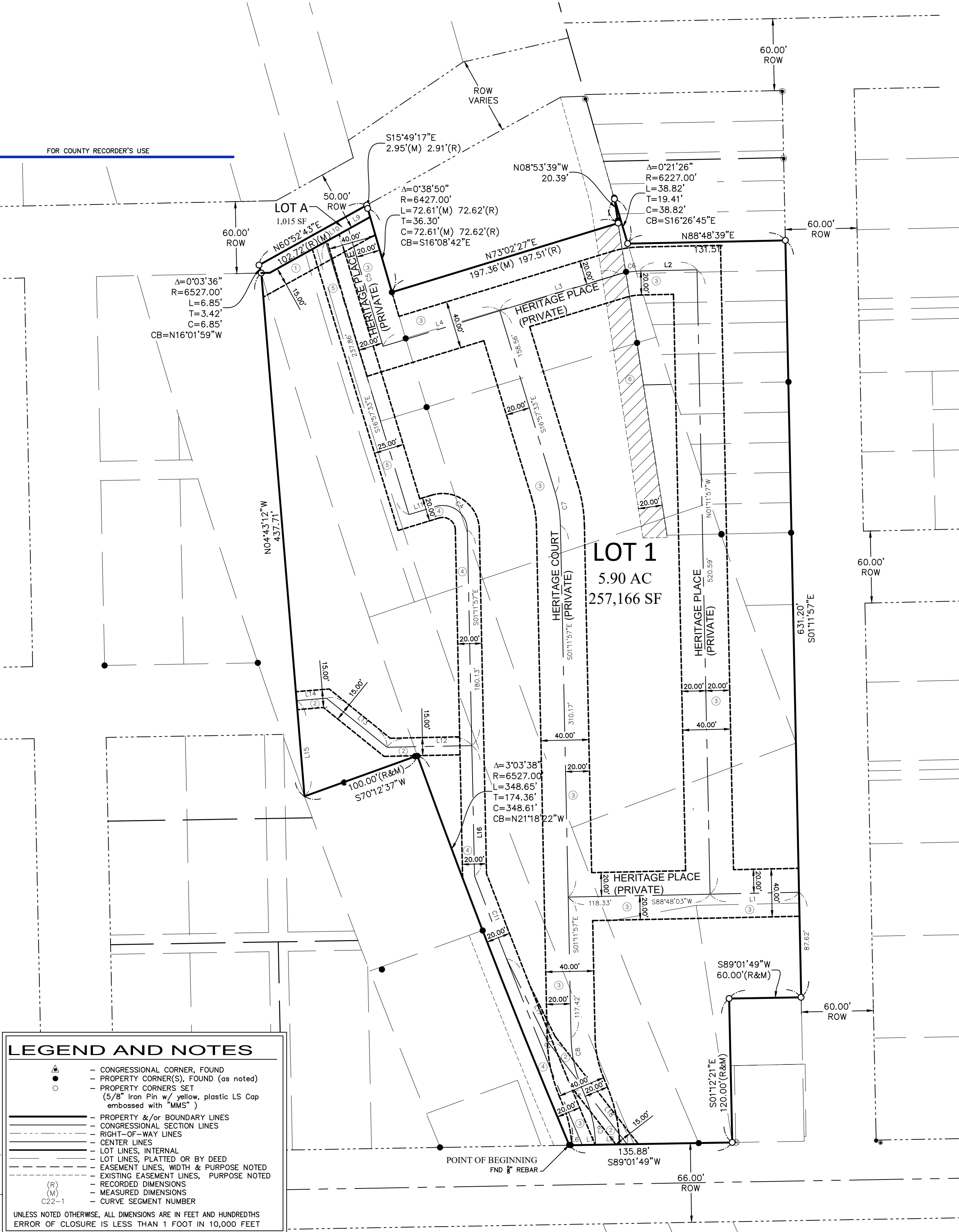
Project No: 11186-002

FINAL PLAT HERITAGE HILL SUBDIVISION WEST BRANCH, CEDAR COUNTY, IOWA



LOCATION:	SUBDIVIDER:
A PORTION OF SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA	BBCO LLC C/O BARRY FRANTZ CONSTRUCTION INC. PO BOX 277 WEST LIBERTY, IOWA, 52776
LAND SURVEYOR:	SUBDIVIDER'S ATTORNEY:
RICHARD R. NOWOTNY P.L.S. MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IOWA 52240
DATE OF SURVEY:	PROPRIETOR OR OWNER:
05-16-2022	BBCO LLC C/O BARRY FRANTZ CONSTRUCTION INC. PO BOX 277 WEST LIBERTY, IOWA, 52776
DOCUMENT RETURN INFORMATION:	PROPRIETOR OR OWNER:
ATTORNEY	BBCO LLC C/O BARRY FRANTZ CONSTRUCTION INC. PO BOX 277 WEST LIBERTY, IOWA, 52776

FOR COUNTY RECORDER'S USE



LEGEND AND NOTES	
	CONGRESSIONAL CORNER, FOUND
	PROPERTY CORNER(S), FOUND (as noted)
	PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	EASEMENT LINES, WIDTH & PURPOSE NOTED
	EXISTING EASEMENT LINES, PURPOSE NOTED
	RECORDED DIMENSIONS
	MEASURED DIMENSIONS
	CURVE SEGMENT NUMBER
UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS ERROR OF CLOSURE IS LESS THAN 1 FOOT IN 10,000 FEET	

NOTES:
1) BEARINGS ARE BASED ON IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE LIBRARY CALIBRATION, UTILIZING THE IOWA REAL TIME NETWORK (RTN) WITH DATUM NAD83(2011) (EPOCH2010.000). THE DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES AND NOT GRID DISTANCES.
2) SEE PLAT BOOK K, PAGES 142, 143, & 144 FOR RIGHT OF WAY ACQUISITION PLATS ON COLLEGE STREET.
3) SEE SHEET 2 FOR EASEMENT INFORMATION

EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
①	15.00 FOOT PUBLIC UTILITY AND WATERMAIN EASEMENT
②	15.00 FOOT PUBLIC WATERMAIN EASEMENT
③	40.00 FOOT PRIVATE ACCESS AND UTILITY EASEMENT
④	20.00 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT
⑤	25.00 FOOT PUBLIC TRAIL AND WATERMAIN EASEMENT
⑥	20.00 FOOT DRIVE EASEMENT RECORDED IN BK 21, PG 93 TO BE VACATED

RESOLUTION 2022-89

RESOLUTION APPROVING THE SITE PLAN FOR LOT 1, HERITAGE HILL, WEST BRANCH, IOWA.

WHEREAS, BBCO, LLC and the City of West Branch (“BBCO”), are the owners of Lot 1, Heritage Hill, West Branch, Iowa (the “Property”); and

WHEREAS, the City and BBCO previously entered into a Development Agreement whereby the City would convey the City’s portion of Lot 1 to BBCO; and

WHEREAS, BBCO has submitted a proposed Site Plan for the Property; and

WHEREAS, the Planning and Zoning Commission has reviewed said Site Plan and recommended approval of the same; and

WHEREAS, said Site Plan complies with the requirements of Chapter 167 of the Code of Ordinances of the City of West Branch.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the site plan of BBCO for Lot 1, Heritage Hill, West Branch, Iowa, is hereby approved, subject to implementing any changes recommended by the committee reviewing the site plan.

Passed and approved this 3rd day of October, 2022.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

OVERALL SITE LAYOUT AND DIMENSION PLAN

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG 39

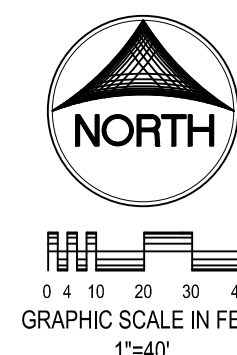
Drawn by: TAV Scale: 1"=40'

Checked by: KJB Sheet No:

Project No: C120

11186-002 of:

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BRCO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



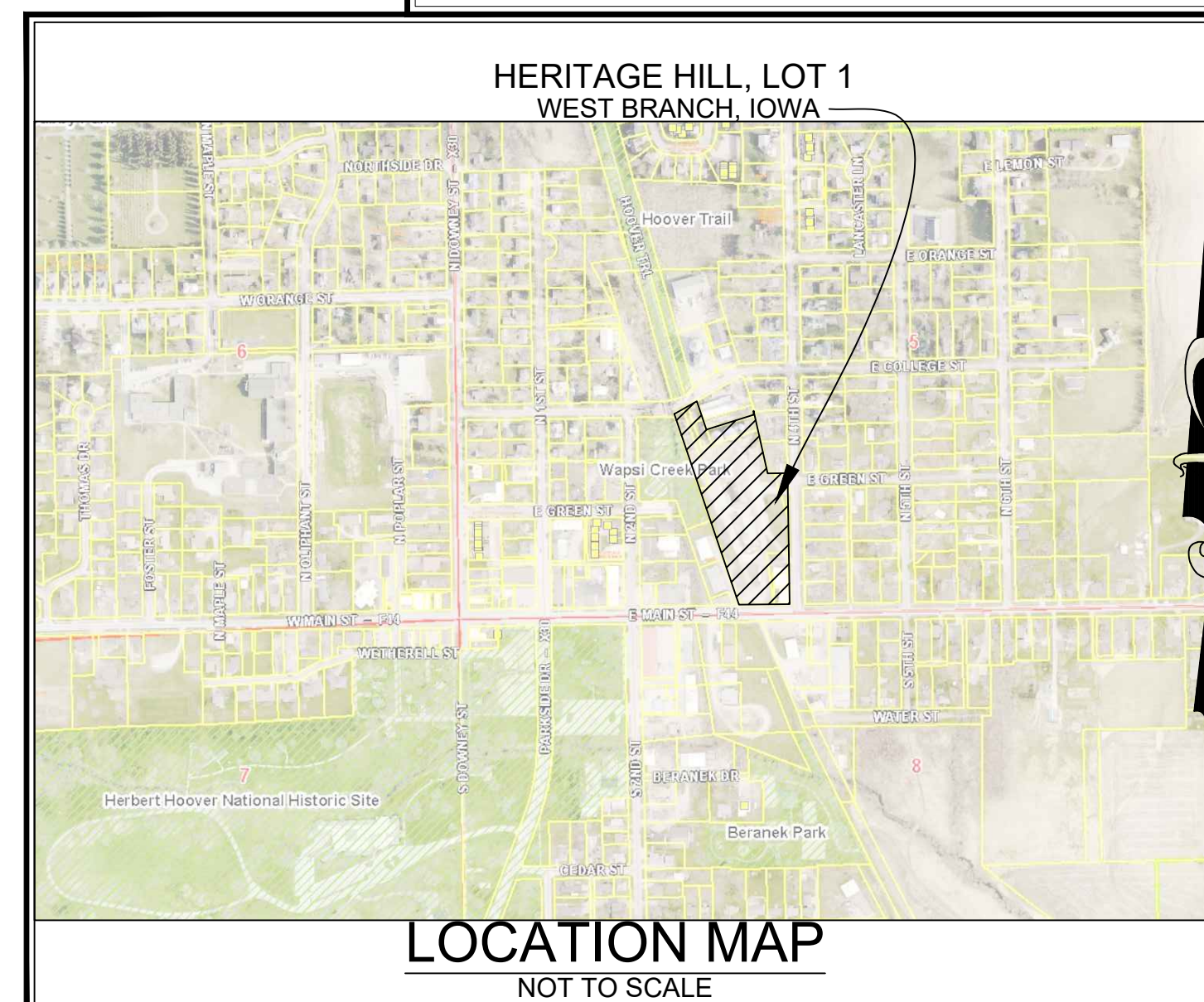
STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

FEMA NOTE:

1. A PORTION OF THIS SITE RESIDES WITHIN THE FEMA FLOODWAY AREA IN ZONE AE, THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE), AND THE ZONE X (0.2% CHANCE) AS NOTED IN FEMA PANEL NUMBER 19031C0212C, EFFECTIVE DATE: 08/19/2013. SEE LEGEND BELOW.

- FLOODWAY AREA IN ZONE AE
- THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE)
- THE ZONE X (0.2% CHANCE)



PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

PAVEMENT LEGEND

	MATERIAL	TOTAL*
	7" PCC	5,176 SY
	6" PCC	3,618 SY
	4" PCC	1,573 SY

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

LEGAL:

HERITAGE HILL - LOT 1 IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 5.93 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

SITE DEVELOPMENT SUMMARY:

ZONING: PUD
SQUARE FOOTAGE: 258,182 SF
PROPOSED USE: RESIDENTIAL

DEVELOPMENT CHARACTERISTICS:

HERITAGE HILL - LOT 1 ON GREEN STREET IS TO BE A 5.93 ACRE. THE PLAN WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-PLEX BUILDINGS, AND FIFTY FIVE (55) PROPOSED RESIDENTIAL 2 (TWO) BEDROOM UNITS.

DEVELOPMENT SCHEDULE:

APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2022, WITH AN ESTIMATED COMPLETION DATE IN FALL 2023.

SITE COVERAGES:

TOTAL LOT AREA 258,182 S.F. (100%)
PROPOSED BUILDING AREA 46,117 S.F. (17.9%)
PROPOSED PAVING AREA 86,800 S.F. (33.6%)
TOTAL IMPERVIOUS AREA 132,917 S.F. (51.5%)
TOTAL OPEN AREA 125,265 S.F. (48.5%)

LOT REQUIREMENTS:

FRONT YARD SETBACK (N. 4TH ST) 13 FEET
(E. MAIN ST) 15 FEET
(E. COLLEGE ST) 15 FEET
SIDE YARD SETBACK 15 FEET
REAR YARD SETBACK 15 FEET

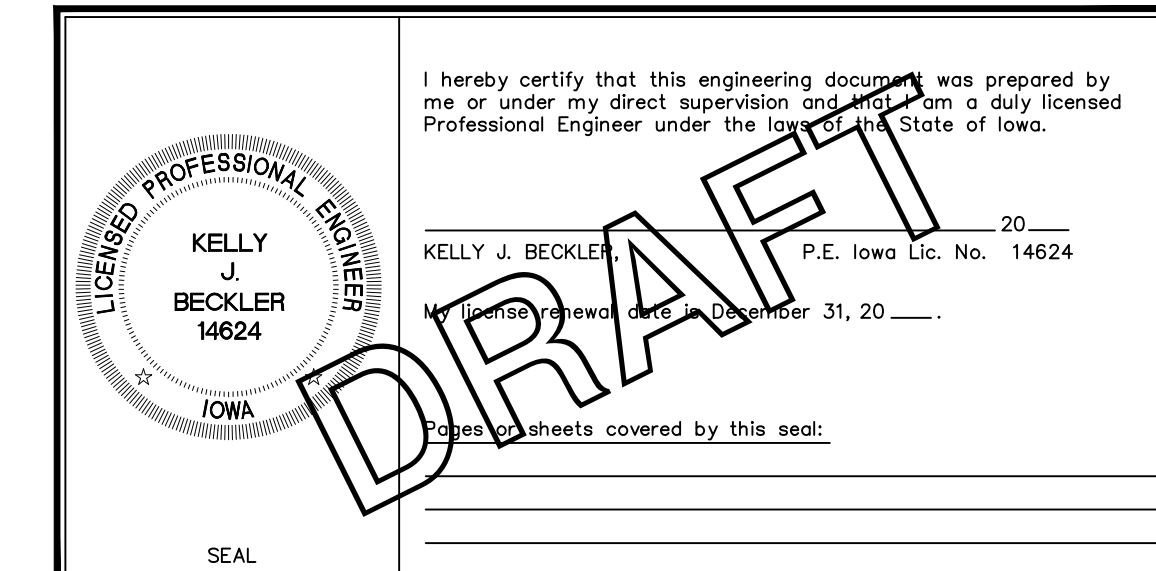
PARKING REQUIREMENTS:

2 SPACES PER UNIT/ 12 UNITS (TWO BEDROOM EACH) PER BUILDING/ 2 BUILDINGS
2*(12+12) = 48 SPACES
TOTAL PARKING PROVIDED = 60 SPACES
2 SPACES PER UNIT/ (TWO BEDROOM EACH) PER BUILDING/ 55 BUILDINGS
2*(55) = 110 SPACES
TOTAL PARKING PROVIDED = 220 SPACES (110 GARAGE SPACES AND 110 DRIVE SPACES)

SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.

SHEET INDEX

CD100	EXISTING FEATURES AND DEMOLITION PLAN
C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN



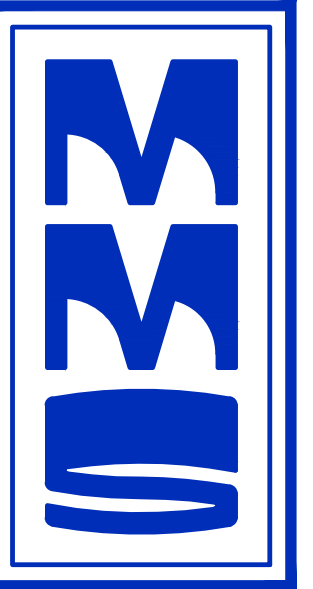
I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

KELLY J. BECKLER P.E. Iowa Lic. No. 14624

My commission expires on October 31, 2024.

Pages and sheets covered by this seal:

SEAL



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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
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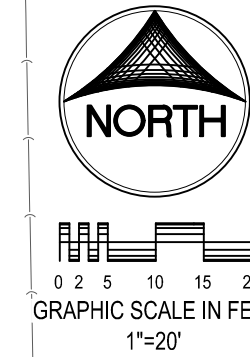
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBCO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240



PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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C501 GENERAL NOTES AND DETAILS
L100 LANDSCAPE PLAN

PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC	5,176 SY
	6" PCC	3,618 SY
	4" PCC	1,329 SY

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
 - CONGRESSIONAL SECTION LINES
 - RIGHT-OF-WAY LINES
 - EXISTING RIGHT-OF-WAY LINES
 - CENTER LINES
 - EXISTING CENTER LINES
 - LOT LINES, INTERNAL
 - LOT LINES, PLATTED OR BY DEED
 - PROPOSED EASEMENT LINES
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 - CURVE SEGMENT NUMBER
- 22-1
- POWER POLE W/DROP
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 - POWER POLE W/LIGHT
 - GUY POLE
 - LIGHT POLE
 - SANITARY MANHOLE
 - FIRE HYDRANT
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 - DRAINAGE MANHOLE
 - CURB INLET
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 - ELECTRICAL LINES
 - TELEPHONE LINES
 - GAS LINES
 - CONTOUR LINES (1' INTERVAL)
 - PROPOSED GROUND
 - EXISTING TREE LINE
 - EXISTING DECIDUOUS TREE & SHRUB
 - EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

KEYNOTES	NUMBER	KEYNOTE	DETAIL
	1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
	2	INSTALL STANDARD 6" CURB AND GUTTER	
	3	INSTALL THICKENED EDGE SIDEWALK	
	4	INSTALL 4" PCC SIDEWALK	
	5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT'-5' JOINT	
	6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
	7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET C1500	
	8	INSTALL ADA RAMP	
	9	INSTALL 3" ROLL CURB AND GUTTER	
	10	TRANSITION TO 6" CURB	
	11	TRANSITION CURB TO ZERO	
	12	MATCH EXISTING CURB AND GUTTER	
	13	INSTALL DUMPSTER ENCLOSURE	
	14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
	15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
	16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
	17	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	
	18	INSTALL ADA COMPLIANT SAFETY RAIL	

DETAILED SITE LAYOUT
AND DIMENSION PLAN
- NORTH HALF

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22

Designed by: KLC Field Book No: 1343, PG 39

Drawn by: TAV Scale: 1"=20'

Checked by: KJB Sheet No:

Project No: C121

11186-002 of:



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

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(319) 351-8282
www.mmsconsultants.net

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

DETAILED SITE LAYOUT
AND DIMENSION PLAN
- SOUTH HALF

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG. 39
Drawn by:	TAV
Scale:	1"=20'
Checked by:	KJB
Sheet No:	C122
Project No:	11186-002

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBCO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
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0 2 5 10 15 20
GRAPHIC SCALE IN FEET
1"=20'

PAVEMENT LEGEND MATERIAL TOTAL*

	7" PCC	
	6" PCC	
	4" PCC	

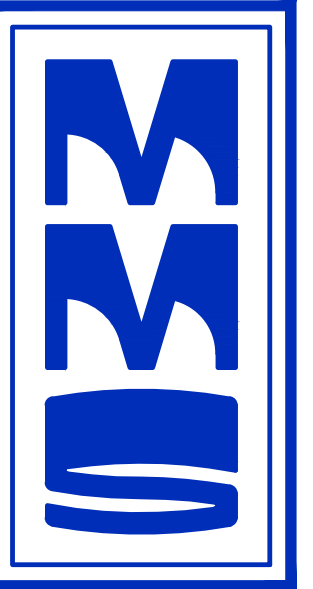
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STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
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- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- 22-1
- EXIST-
 - POWER POLE
 - POWER POLE W/DROP
 - POWER POLE W/TRANS
 - POWER POLE W/LIGHT
 - GUY POLE
 - LIGHT POLE
 - SANITARY MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - DRAINAGE MANHOLE
 - CURB INLET
 - FENCE LINE
 - EXISTING SANITARY SEWER
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	3	INSTALL THICKENED EDGE SIDEWALK	
	4	INSTALL 4" PCC SIDEWALK	
	5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT-5' JOINT	
	6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
	7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
	8	INSTALL ADA RAMP	
	9	INSTALL 3" ROLL CURB AND GUTTER	
	10	TRANSITION TO 6" CURB	
	11	TRANSITION CURB TO ZERO	
	12	MATCH EXISTING CURB AND GUTTER	
	13	INSTALL DUMPSTER ENCLOSURE	
	14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
	15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
	16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
	17	EDGE OF PAVEMENT, NO CURB	
	18	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	



CIVIL ENGINEERS
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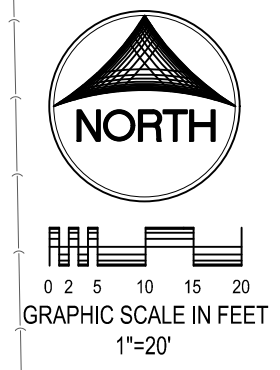
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

DETAILED GRADING PLAN
- NORTH HALF

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG. 39
Drawn by:	TAV
Scale:	1"=20'
Checked by:	KJB
Sheet No:	C141
Project No:	11186-002
of:	

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240

UTILITIES

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IOWA ONE CALL

STANDARD LEGEND AND NOTES

--- EXIST ---	--- PROP ---	--- EXIST ---
--- PROPERTY &/OR BOUNDARY LINES ---	--- CONGRESSIONAL SECTION LINES ---	--- EXISTING RIGHT-OF-WAY LINES ---
--- RIGHT-OF-WAY LINES ---	--- EXISTING CENTER LINES ---	--- LOT LINES, INTERNAL ---
--- LOT LINES, PLATTED OR BY DEED ---	--- PROPOSED EASEMENT LINES ---	--- EXISTING EASEMENT LINES ---
--- BENCHMARK ---	--- RECORDED DIMENSIONS ---	--- CURVE SEGMENT NUMBER ---

22-1

--- EXIST ---	--- PROP ---	--- EXIST ---
--- POWER POLE ---	--- POWER POLE W/DROP ---	--- POWER POLE W/TRANS ---
--- POWER POLE W/LIGHT ---	--- GUY POLE ---	--- LIGHT POLE ---
--- SANITARY MANHOLE ---	--- FIRE HYDRANT ---	--- WATER VALVE ---
--- DRAINAGE MANHOLE ---	--- CURB INLET ---	--- EXISTING SANITARY SEWER ---
--- PROPOSED SANITARY SEWER ---	--- EXISTING STORM SEWER ---	--- PROPOSED STORM SEWER ---
--- WATER LINES ---	--- ELECTRICAL LINES ---	--- TELEPHONE LINES ---
--- GAS LINES ---	--- CONTOUR LINES (1' INTERVAL) ---	--- PROPOSED GROUND ---
--- EXISTING TREE LINE ---	--- EXISTING DECIDUOUS TREE & SHRUB ---	--- EXISTING EVERGREEN TREES & SHRUBS ---

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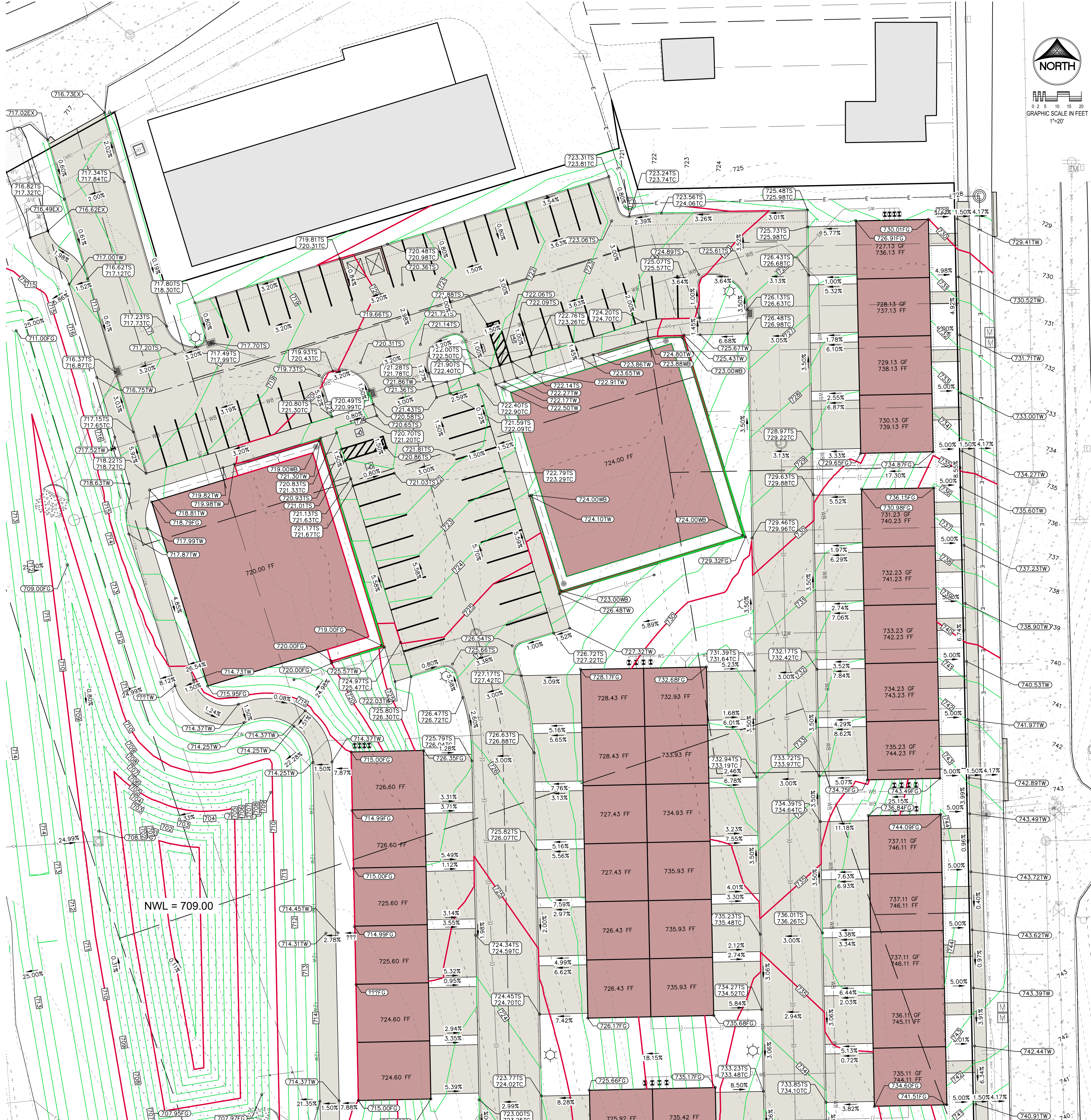
SHEET INDEX

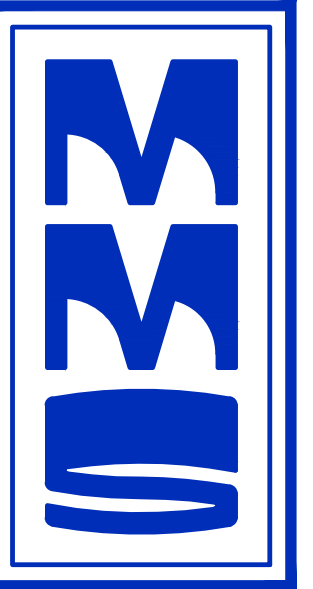
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GRADING LEGEND

0000.00EG	- EXISTING GRADE
0000.00FG	- FINISHED GRADE
0000.00TC	- TOP CURB
0000.00TS	- TOP SLAB
0000.00TW	- TOP WALK
0000.00TR	- TOP RIM
0000.00WB	- BOTTOM WALL*
0000.00WT	- TOP WALL*

*REPRESENT GROUND ELEVATION AT WALL





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Date	Revision
8/24/22	INTERNAL REVIEW - KJC
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DETAILED GRADING PLAN
- SOUTH HALF

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG 39
Drawn by:	TAV
Scale:	1"=20'
Checked by:	KJB
Sheet No:	C142
Project No:	11186-002
of:	

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBOC LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240



GRAPHIC SCALE IN FEET
1"=20'

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	FINISHED GRADE
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	TOP SLAB
	TOP WALK
	TOP RIM
	BOTTOM WALL*
	TOP WALL*

*REPRESENT GROUND ELEVATION AT WALL



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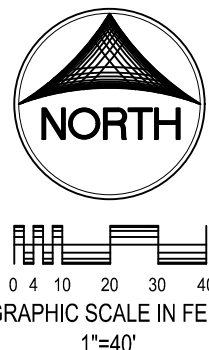
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UTILITY PLAN:
SEWER AND WATER

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Drawn by:	TAV
Checked by:	KJB
Project No:	11186-002
Field Book No:	1343, PG 39
Scale:	1"=40'
Sheet No:	C160

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
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C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



STANDARD LEGEND AND NOTES

EXIST-	PROPOSED	DESCRIPTION
---	---	PROPERTY &/OR BOUNDARY LINES
---	---	CONGRESSIONAL SECTION LINES
---	---	EXISTING RIGHT-OF-WAY LINES
---	---	EXISTING CENTER LINES
---	---	LOT LINES, INTERNAL
---	---	LOT LINES, PLATTED OR BY DEED
---	---	PROPOSED EASEMENT LINES
---	---	EXISTING EASEMENT LINES
---	---	BENCHMARK
---	---	RECORDED DIMENSIONS
---	---	CURVE SEGMENT NUMBER
---	---	POWER POLE
---	---	POWER POLE W/DROP
---	---	POWER POLE W/TRANS
---	---	POWER POLE W/LIGHT
---	---	GUY POLE
---	---	LIGHT POLE
---	---	SANITARY MANHOLE
---	---	FIRE HYDRANT
---	---	WATER VALVE
---	---	DRAINAGE MANHOLE
---	---	CURB INLET
---	---	FENCE LINE
---	---	EXISTING SANITARY SEWER
---	---	PROPOSED SANITARY SEWER
---	---	EXISTING STORM SEWER
---	---	PROPOSED STORM SEWER
---	---	WATER LINES
---	---	ELECTRICAL LINES
---	---	TELEPHONE LINES
---	---	GAS LINES
---	---	CONTOUR LINES (1' INTERVAL)
---	---	PROPOSED GROUND
---	---	EXISTING TREE LINE
---	---	EXISTING DECIDUOUS TREE & SHRUB
---	---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240

UTILITIES

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	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
(R)	BENCHMARK
22-1	RECORDED DIMENSIONS
-EXIST-	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
X	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
T	WATER LINES
E	ELECTRICAL LINES
W	TELEPHONE LINES
G	GAZES LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREES & SHRUBS
	EXISTING EVERGREEN TREES & SHRUBS

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NEENAH R-5901-F OR APPROVED EQUAL

ELEV.=711.75

INLET=710.50

48" X 48"

STEEL PLATE WITH 2.5" Ø ORIFICE OPENING

8" Ø OUTLET PIPE

ELEV.=706.00

4'

WASHED GRANULAR BACKFILL (GRADATION #29)

ELEV.=709.00

6" Ø DIP TEE

6" Ø DIP WITH 1/2" Ø HOLES (12 COLUMNS OF HOLES, 6 ROWS OF HOLES)

GRAVEL (1 1/2" TO 3" IN ROCK) AROUND PERFORATED RISER

FILTER FABRIC

STAINLESS STEEL PIPE STRAP AND 1/2" STAINLESS STEEL ANCHOR BOLTS

THREADED CAP

THREADED CAP

ROWS

COLUMNS

WATER QUALITY OUTLET HOLES

DUCTILE IRON PIPE

OUTLET WORKS WITH RISER BARREL AND GRAVEL PAUK FOR INLET DEBRIS PROTECTION

SCALE: NTS

NUMBER OF PERFORATED COLUMNS	
RISER DIAMETER, IN.	HOLE DIAMETER, IN.
6	1/2 IN.
HOLE DIAMETER, IN.	AREA OF HOLES, SQ. IN.
1/2	0.1964

WATER QUALITY RISER PIPE DETAIL

WATER QUALITY RISER PIPE DETAIL
SCALE: NTS



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Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

GENERAL NOTES AND DETAILS

HERITAGE HILL,
LOT 1
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22

Designed by: KJC Field Book No: 1343, PG 39

Drawn by: TAV Scale: N/A

Checked by: KJB Sheet No:

Project No: C500

11186-002 of:

SANITARY SEWER AND WATERMAIN NOTES

- SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2016) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.01E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- CONTRACTOR TO PROVIDE FERNOCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHOWN ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
 - WILL NOT SHOW STEPS.
 - WILL HAVE EXTERNAL CHIMNEY SEAL BY INFILSHIELD UNIBAND, CRETEX, OR APPROVED EQUAL.
 - WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
 - WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, I.E. WOOD, BRICK, ROCKS, ETC.
 - WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
- ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING.

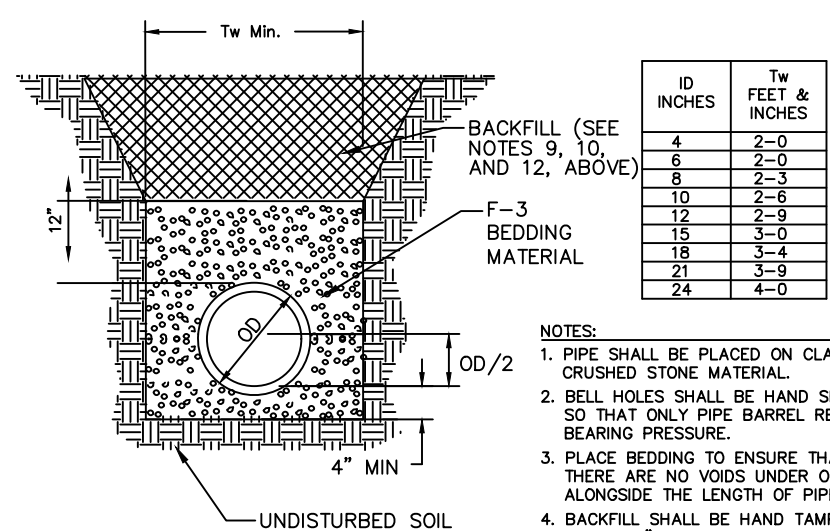
AIR TESTING

- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:

NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.

 - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
 - PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
 - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psi & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
 - LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
 - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
 - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5
 - IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.5 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.
 - LOCATE, REPAIR AND RETEST LEAKS.
 - AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
 - ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
 - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED :

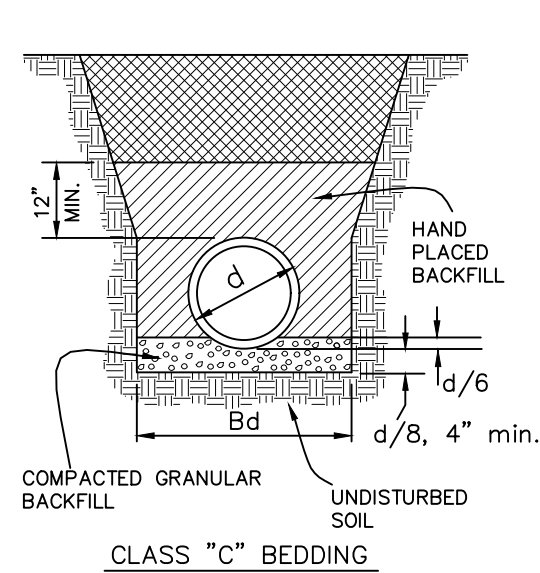
- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
- NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

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STORM SEWER NOTES

- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- STORM SEWERS SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS, STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

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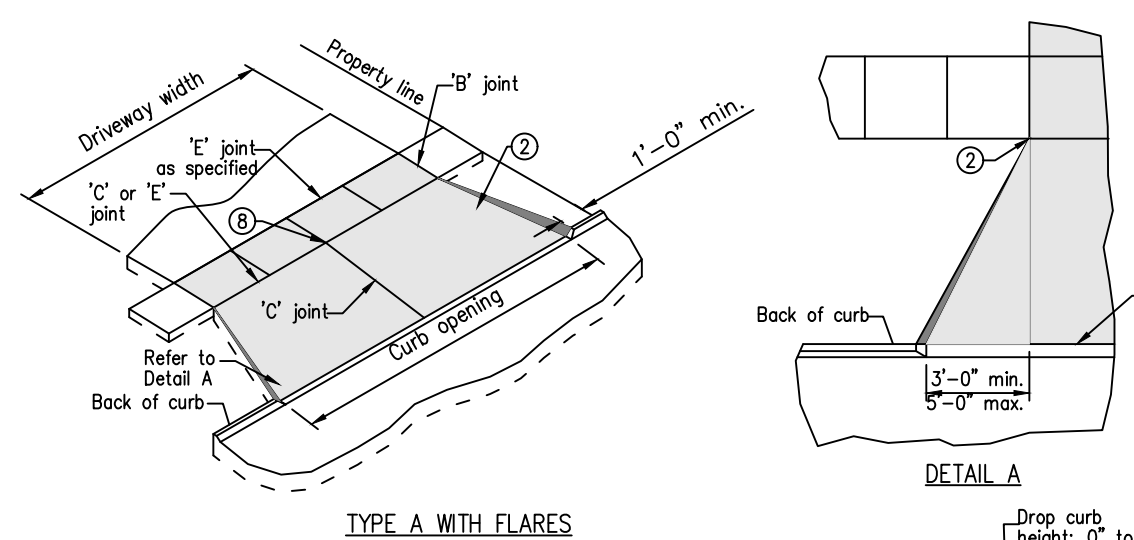
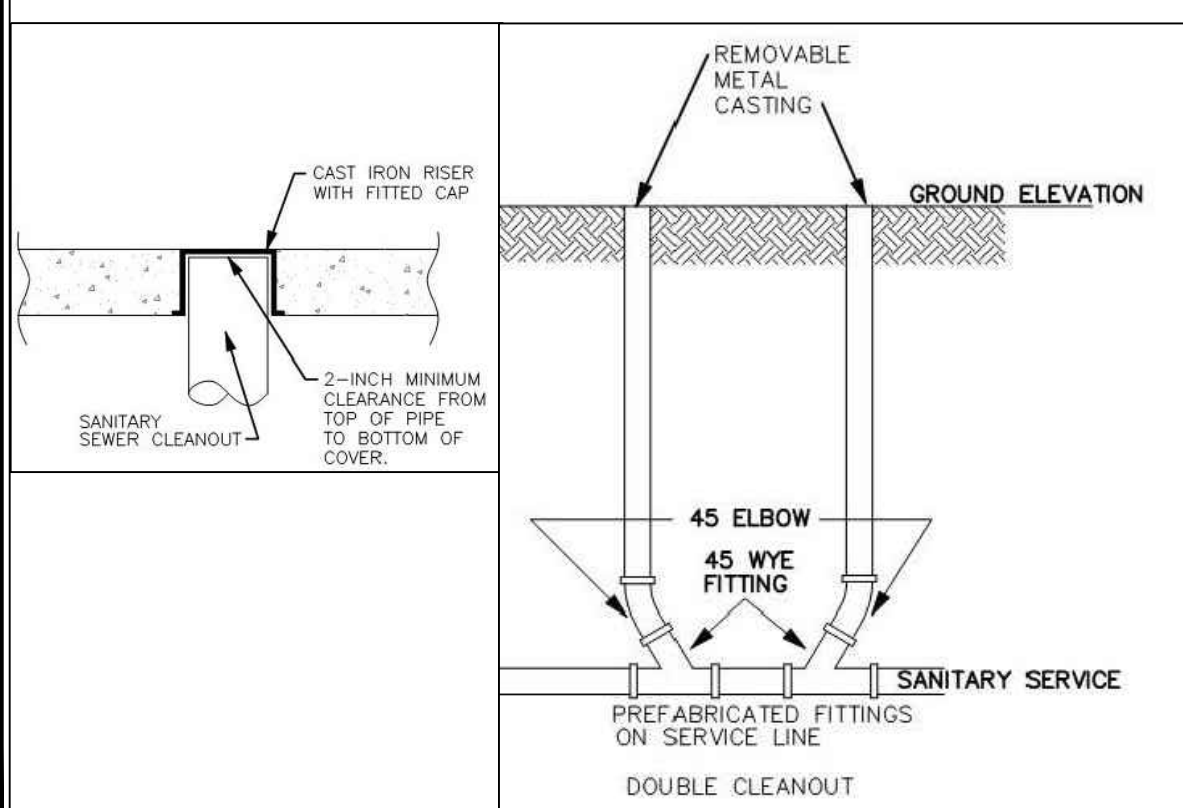


- PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
- BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
- PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
- BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
- SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bg.

ID INCHES	Bd FEET & INCHES
12	2-3
15	2-9
18	3-0
21	3-3
24	3-6
27	4-0
30	4-3
36	4-9
42	5-6
48	6-3

SIAMESE DETAIL

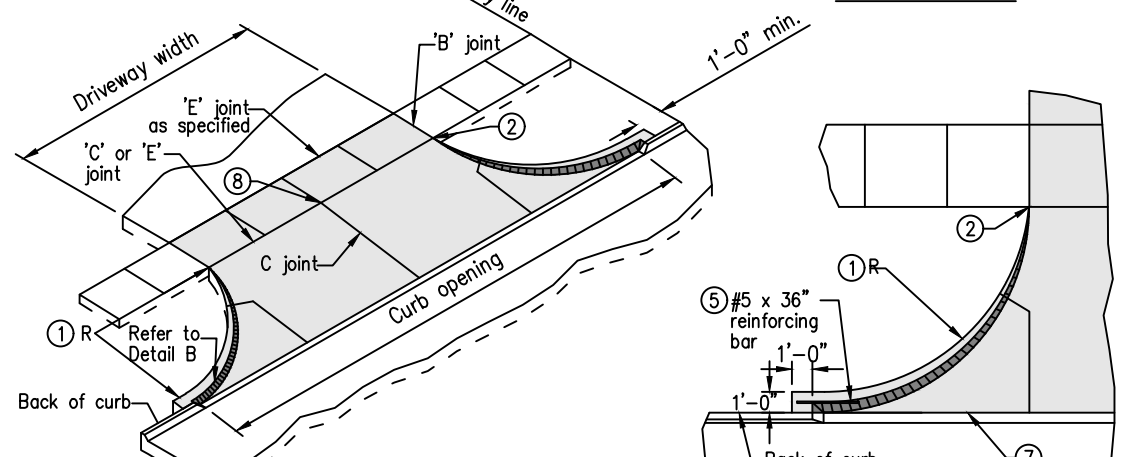
N.T.S.



TYPE A WITH FLARES



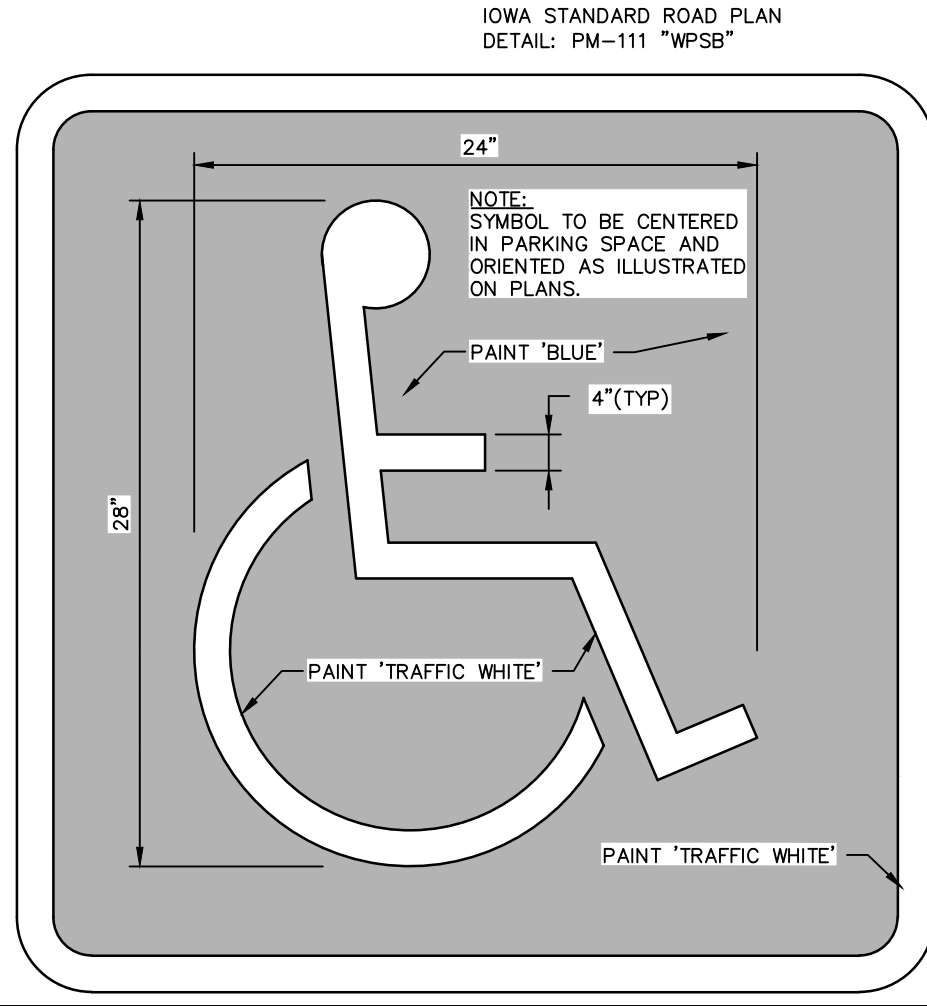
TYPICAL SECTION



TYPE A WITH RADI

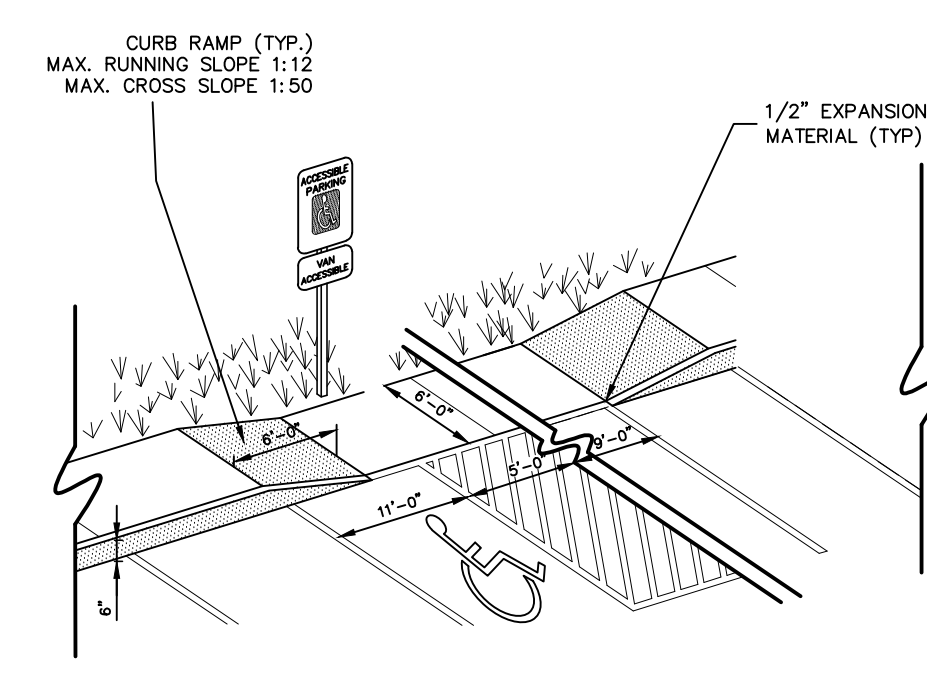
ACCESSIBLE PARKING SYMBOL

N.T.S.



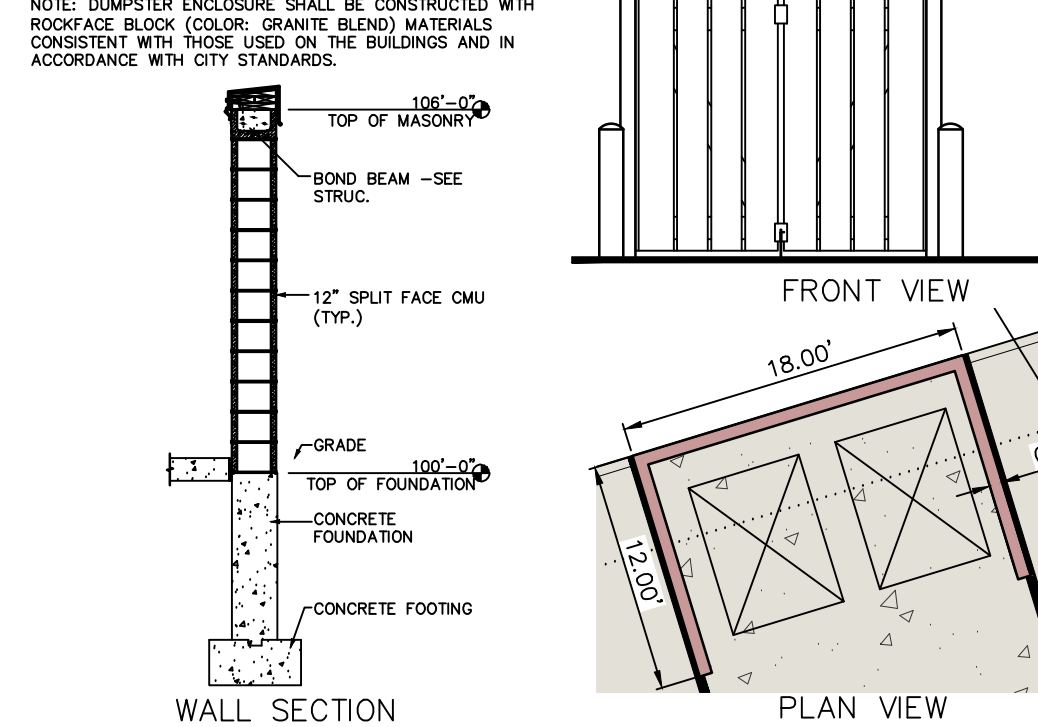
ACCESSIBLE PARKING DETAIL

N.T.S.



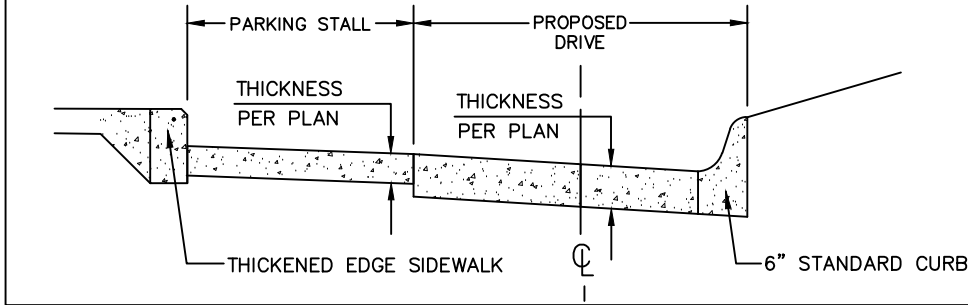
TRASH ENCLOSURE DETAIL

N.T.S.



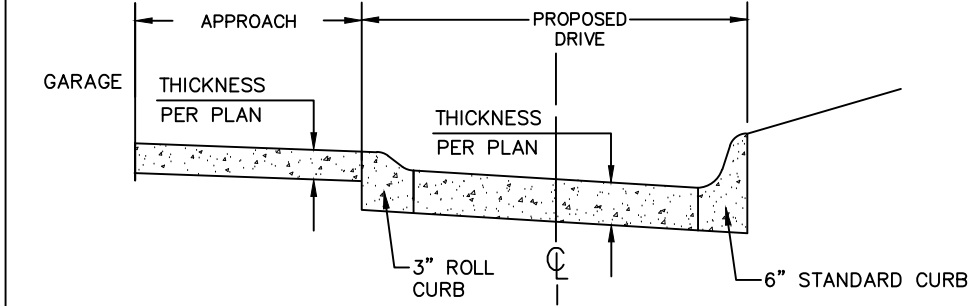
TYPICAL DRIVE / PARKING SECTION

N.T.S.



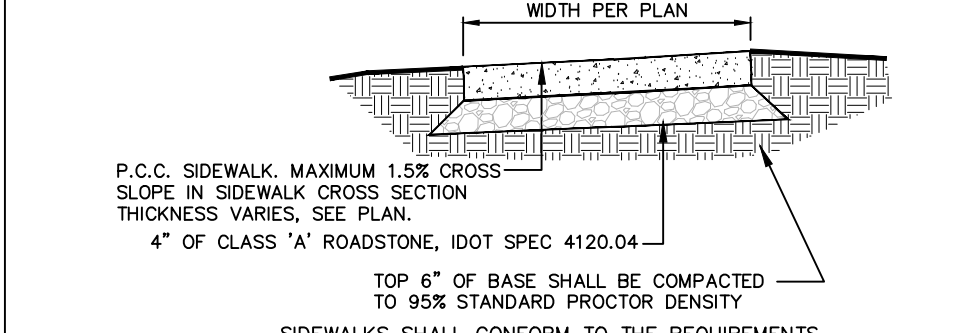
TYPICAL DRIVE/GARAGE APPROACH SECTION

N.T.S.



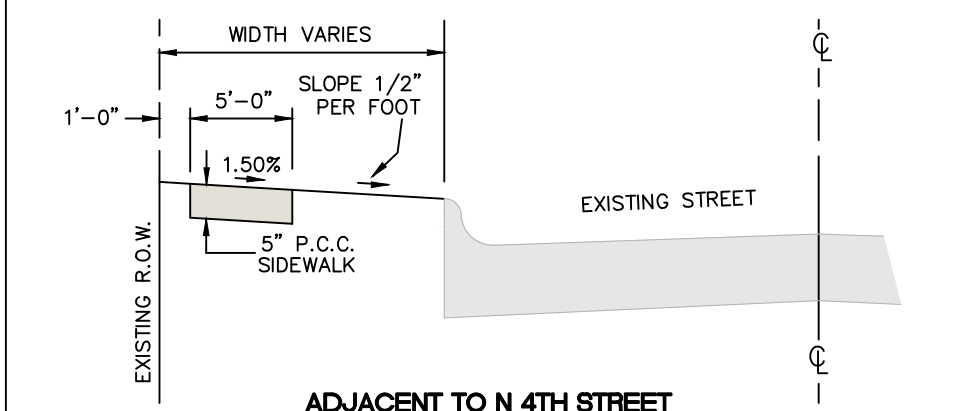
TYPICAL SIDEWALK DETAIL

N.T.S.



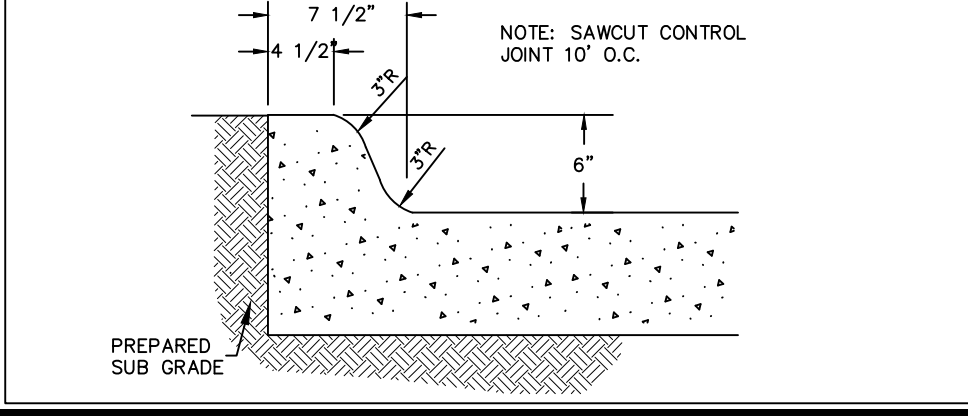
TYPICAL SIDEWALK INSTALLATION

N.T.S.



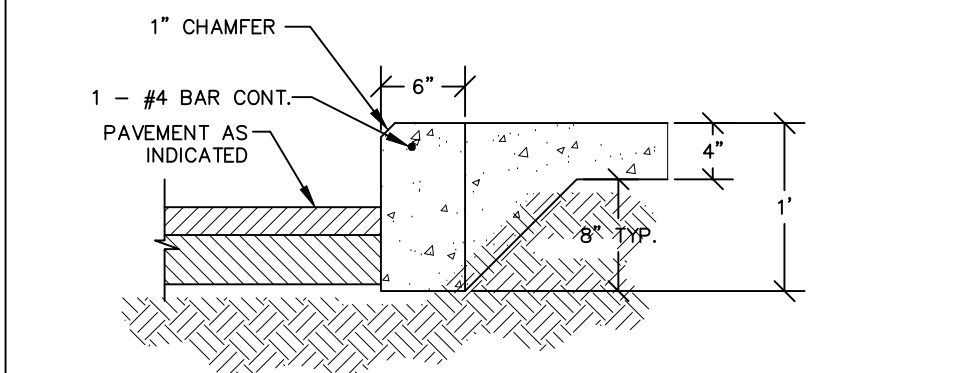
6" STANDARD CURB DETAIL

N.T.S.



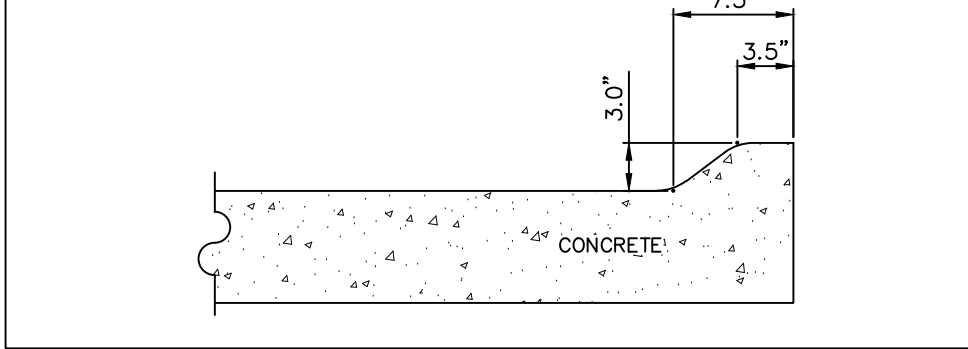
SIDEWALK THICKENED EDGE

N.T.S.



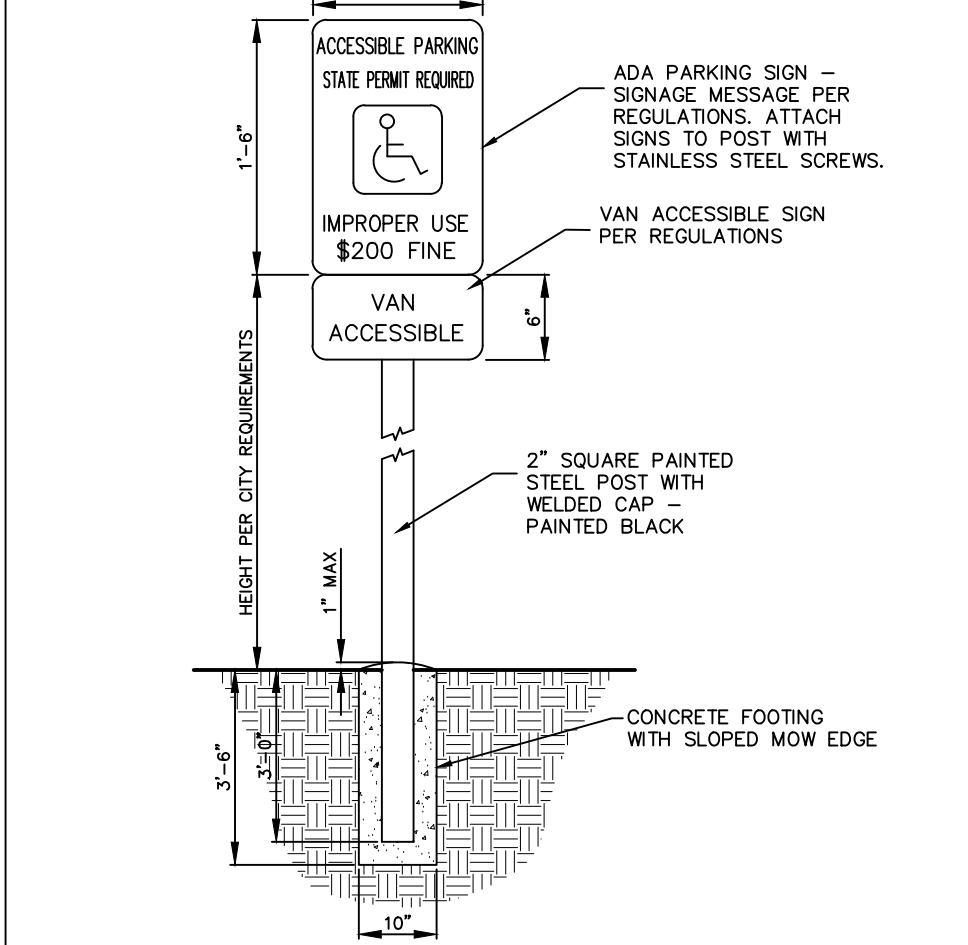
3" ROLL CURB DETAIL

N.T.S.



ACCESSIBLE SIGN DETAIL

N.T.S.





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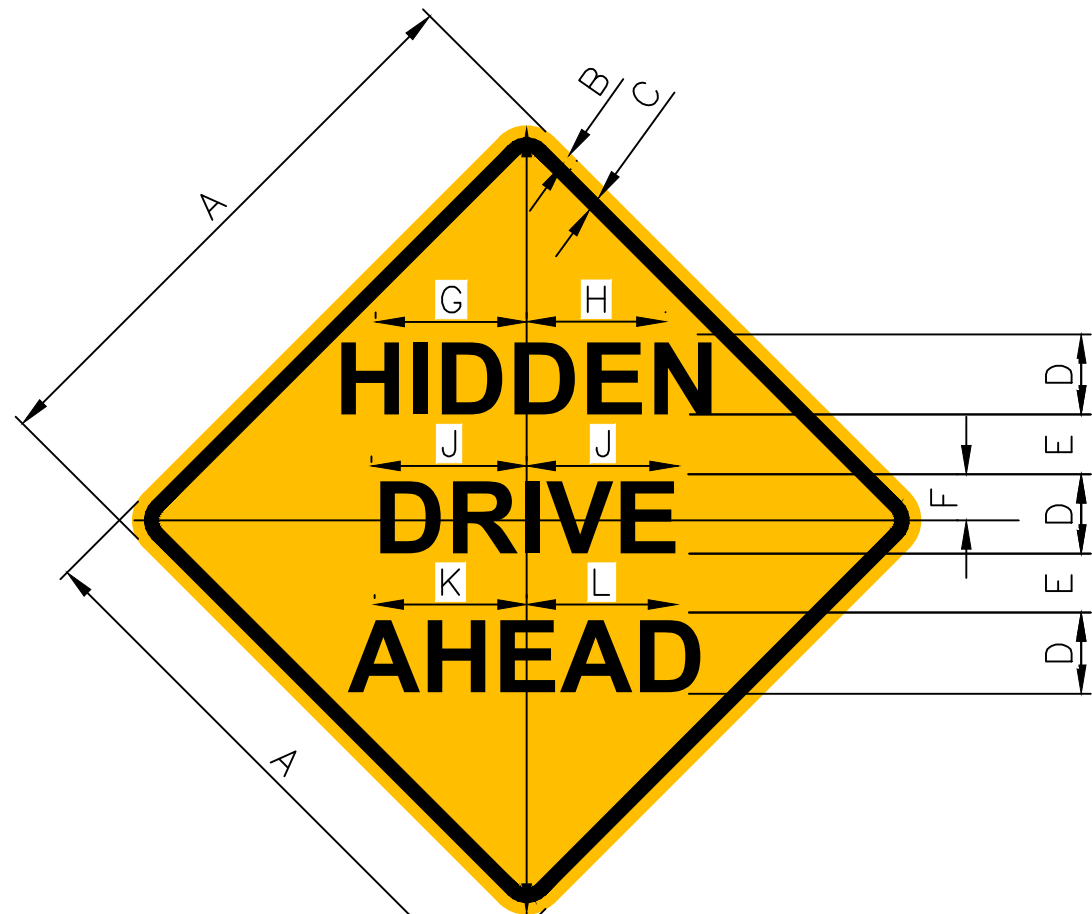
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

GENERAL NOTES AND DETAILS

HERITAGE HILL,
LOT 1
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MMS CONSULTANTS, INC.

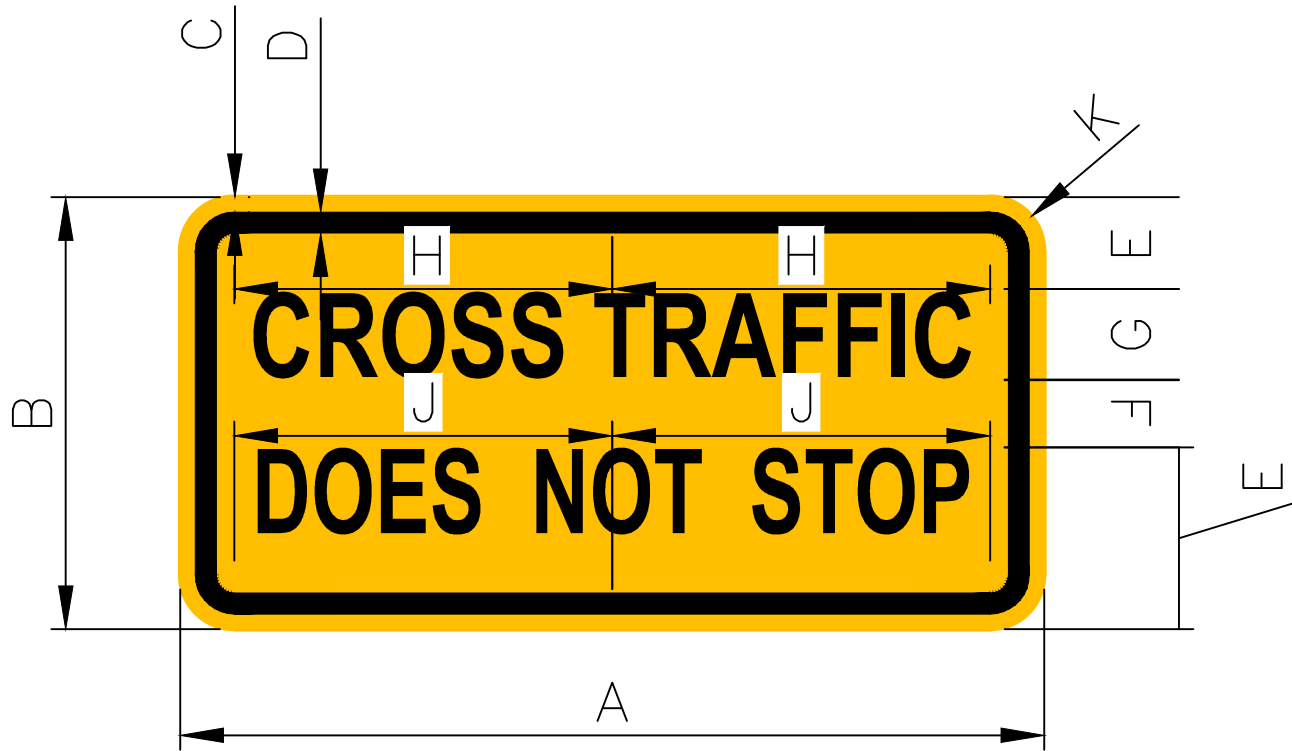
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG 39
Drawn by:	TAV
Scale:	N/A
Checked by:	KJB
Sheet No:	C501
Project No:	11186-002



K-6530
36"x36"

A	B	C	D	E	F	G	H	J	K	L	M
24	.375	.625	4D	3	2	4.803	6	9.747	5.844	5.724	1.5
30	.5	.75	5D	3.802	2.601	5.764	7.765	12.189	7.285	7.165	1.875
36	.625	.875	6D	4.483	3	6.845	9.367	14.631	8.886	8.446	2.25
48	.75	1.25	7D	5.243	3.522	8.326	10.608	17.052	10.167	10.047	3

COLORS: LEGEND — BLACK
BACKGROUND— YELLOW (RETROREFLECTIVE)



W4-4p
36" x 18"

MUTCD W4-4B SIGN

A	B	C	D	E	F	G	H	J	K	L	M	N		
24	12	.375	.625	3	2.25	C	1.5	9.314	9.63	1.5	10.106	9.779	2.25	B
30	15	.5	.75	3.5	3	C	2	12.423	12.423	1.875	12.902	13.039	3	B
36	18	.625	.875	4	3.5	C	3	14.487	14.978	2.25	15.721	15.212	3.5	B
48	24	.75	1.25	5.5	4.5	C	4	18.628	19.259	3	20.214	19.56	4.5	B

COLORS: LEGEND — BLACK
BACKGROUND— YELLOW (RETROREFLECTIVE)

SHEET INDEX	
CD100	EXISTING FEATURES AND DEMOLITION PLAN
C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

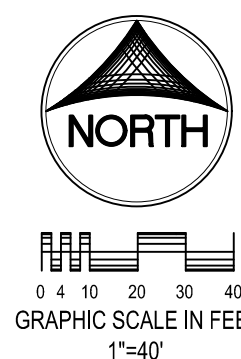
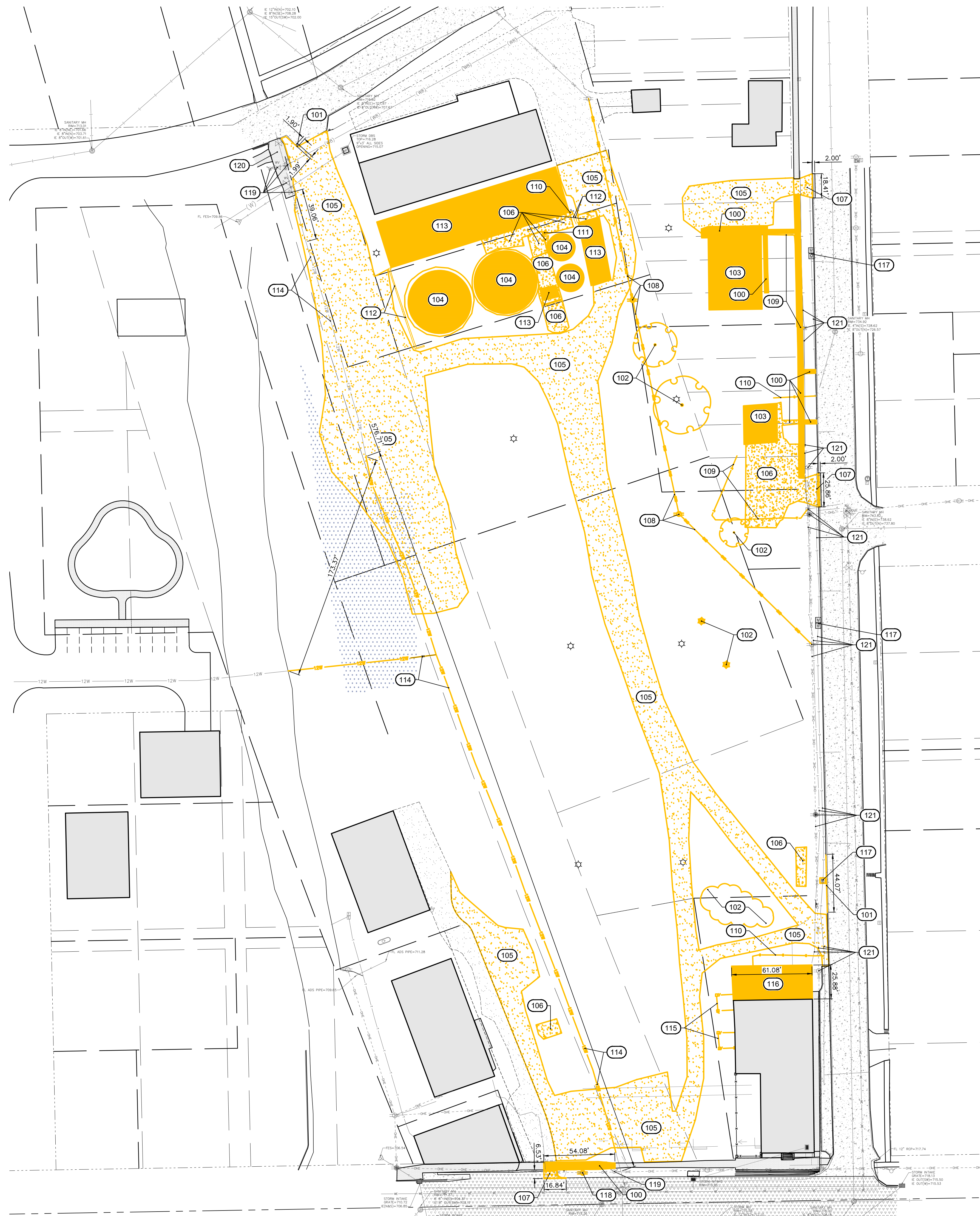
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

EXISTING FEATURES AND DEMOLITION PLAN

MMS CONSULTANTS, INC.

Project No:	CD100
11186-002	of:

11186-002	of:
-----------	-----



SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT: _____
BBCO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240



THE CONTRACTOR SHALL NOTIFY IOWA
ONE CALL AT 811 OR 800/292-8989
NO LESS THAN 48 HRS. IN ADVANCE
OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS, PERMITS, SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE; IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR KNOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAY OR INTERFERENCE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

NUMBER	KEYNOTE
100	REMOVE CONCRETE SIDEWALK TO THE NEAREST JOINT.
101	GRIND 6" CURB LINE.
102	REMOVE TREES AND TREE CLUSTERS
103	REMOVE EXISTING RESIDENTIAL HOUSE
104	REMOVE EXISTING BINS AND FOOTINGS
105	REMOVE ROCK DRIVE.
106	REMOVE CONCRETE PAVING AND ANY ROCK SUB-BASE UNDERNEATH THE PAVING.
107	REMOVE CONCRETE DRIVE ALONG WITH 2' STREET CURB AND GUTTER SECTION ADJOINING DRIVE. REPLACEMENT NOTED ON SHEETS C121 & 122.
108	REMOVE POWER POLES AND LINES. TO BE DONE BY OTHERS. TO BE REPLACED BY UNDERGROUND LINE IN NEW LOCATION. SEE C161)
109	REMOVE TELEPHONE SERVICE LINES AND STRUCTURES. TO BE DONE BY OTHERS.
110	REMOVE EXISTING GAS SERVICE LINES AND VALVES. TO BE DONE BY OTHERS.
111	REMOVE EXISTING STEPS.
112	REMOVE EXISTING RETAINING WALLS
113	REMOVE EXISTING GRAIN ELEVATOR BUILDINGS
114	REMOVE EXISTING WATER MAIN. TO BE REPLACED IN NEW LOCATION. (SEE C160)
115	REMOVE EXISTING FENCE.
116	REMOVE EXISTING BUILDING TO PARTY WALL.
117	REMOVE EXISTING MAILBOXES ASSOCIATED WITH PROPOSED PROPERTY. MAILBOXES FOR THE ADJOINING SIDE OF THE STREET ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
118	REMOVE AND RELOCATE POWER POLE. TO BE DONE BY OTHERS. FOR NEW LOCATION OF POLE SEE C161)
119	PROTECT EXISTING FIRE HYDRANT AND WATER VALVES DURING CONSTRUCTION.
120	EXISTING HOOPER TRAIL EXTENSION. PROTECT DURING CONSTRUCTION.
121	PROTECT EXISTING ABOVEGROUND UTILITY FEATURES AND UTILITY MAINS DURING CONSTRUCTION.

		- PROPERTY &/or BOUNDARY LINES
		- CONGRESSIONAL SECTION LINES
		- RIGHT-OF-WAY LINES
		- EXISTING RIGHT-OF-WAY LINES
		- CENTER LINES
		- EXISTING CENTER LINES
		- LOT LINES, INTERNAL
		- LOT LINES, PLATTED OR BY DEED
		- PROPOSED EASEMENT LINES
		- EXISTING EASEMENT LINES
		- BENCHMARK
		- RECORDED DIMENSIONS
		- CURVE SEGMENT NUMBER
-EXIST-	22-1-	-PROP-
		- POWER POLE
		- POWER POLE W/DROP
		- POWER POLE W/TRANS
		- POWER POLE W/LIGHT
		- GUY POLE
		- LIGHT POLE
		- SANITARY MANHOLE
		- FIRE HYDRANT
		- WATER VALVE
		- DRAINAGE MANHOLE
		- CURB INLET
		- FENCE LINE
		- EXISTING SANITARY SEWER
		- PROPOSED SANITARY SEWER
		- EXISTING STORM SEWER
		- PROPOSED STORM SEWER
		- WATER LINES
		- ELECTRICAL LINES
		- TELEPHONE LINES
		- GAS LINES
		- CONTOUR LINES (1' INTERVAL)
		- PROPOSED GROUND
		- EXISTING TREE LINE
		- EXISTING DECIDUOUS TREES & SHRUB
		- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
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(319) 351-8282
www.mmsconsultants.net

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

LANDSCAPE PLAN

HERITAGE HILL,
LOT 1
WEST BRANCH, CEDAR COUNTY,
IOWA

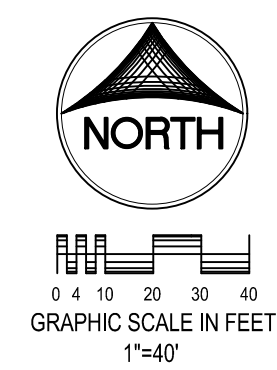
MMS CONSULTANTS, INC.
Date: 08-04-22
Designed by: KLC Field Book No: 1343, PG 39
Drawn by: TAV Scale: 1"=40'
Checked by: KJB Sheet No:
Project No: L100
11186-002 of:

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

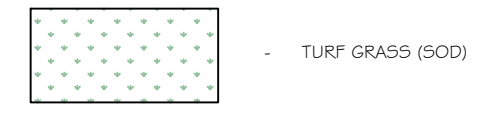
PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
BBO LLC
PO BOX 277
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:
JAMES D. HOUGHTON
216 STEVENS DRIVE
IOWA CITY, IA 52240



LANDSCAPE LEGEND



LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED:
25% OF TOTAL LOT AREA SHALL BE OPEN SPACE
25% / 62.5' x 0.25" = 64,546 SF REQUIRED
(101,659 SF PROVIDED)

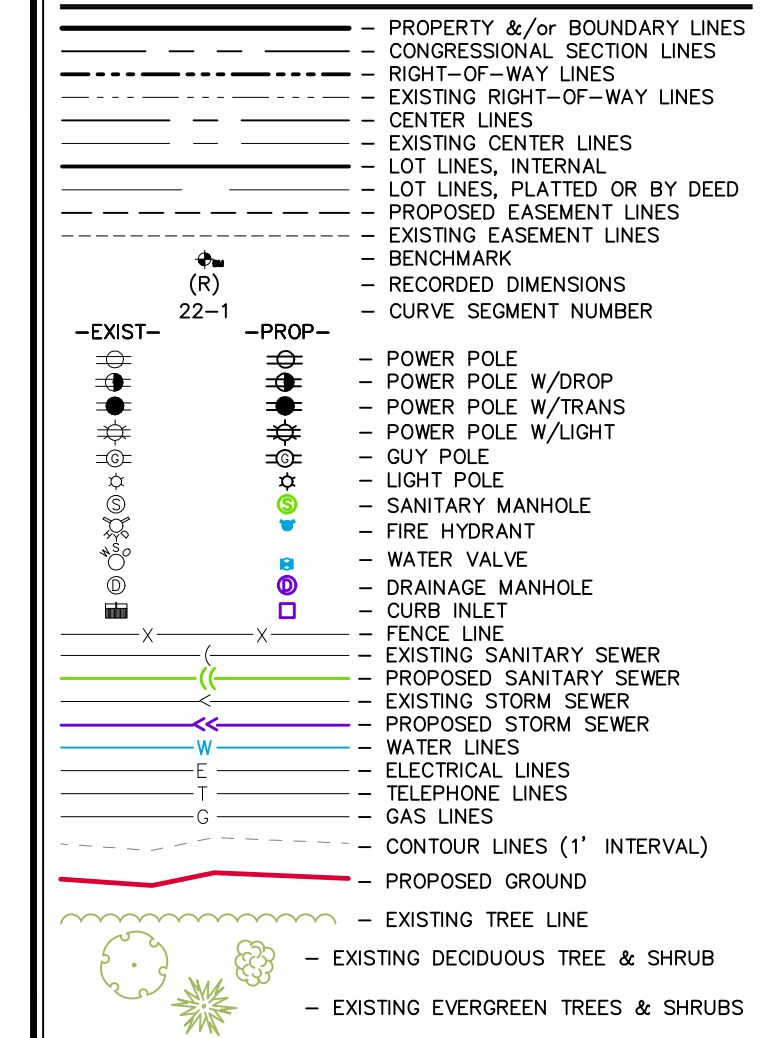
LANDSCAPING REQUIRED:
1 TREE PER 1,500 SF OF REQUIRED OPEN SPACE
64,546 / 1,500 = 43 TREES

1 SHRUB PER 1,000 SF OF REQUIRED OPEN SPACE
64,546 / 1,000 = 64 SHRUBS

PLANT SCHEDULE

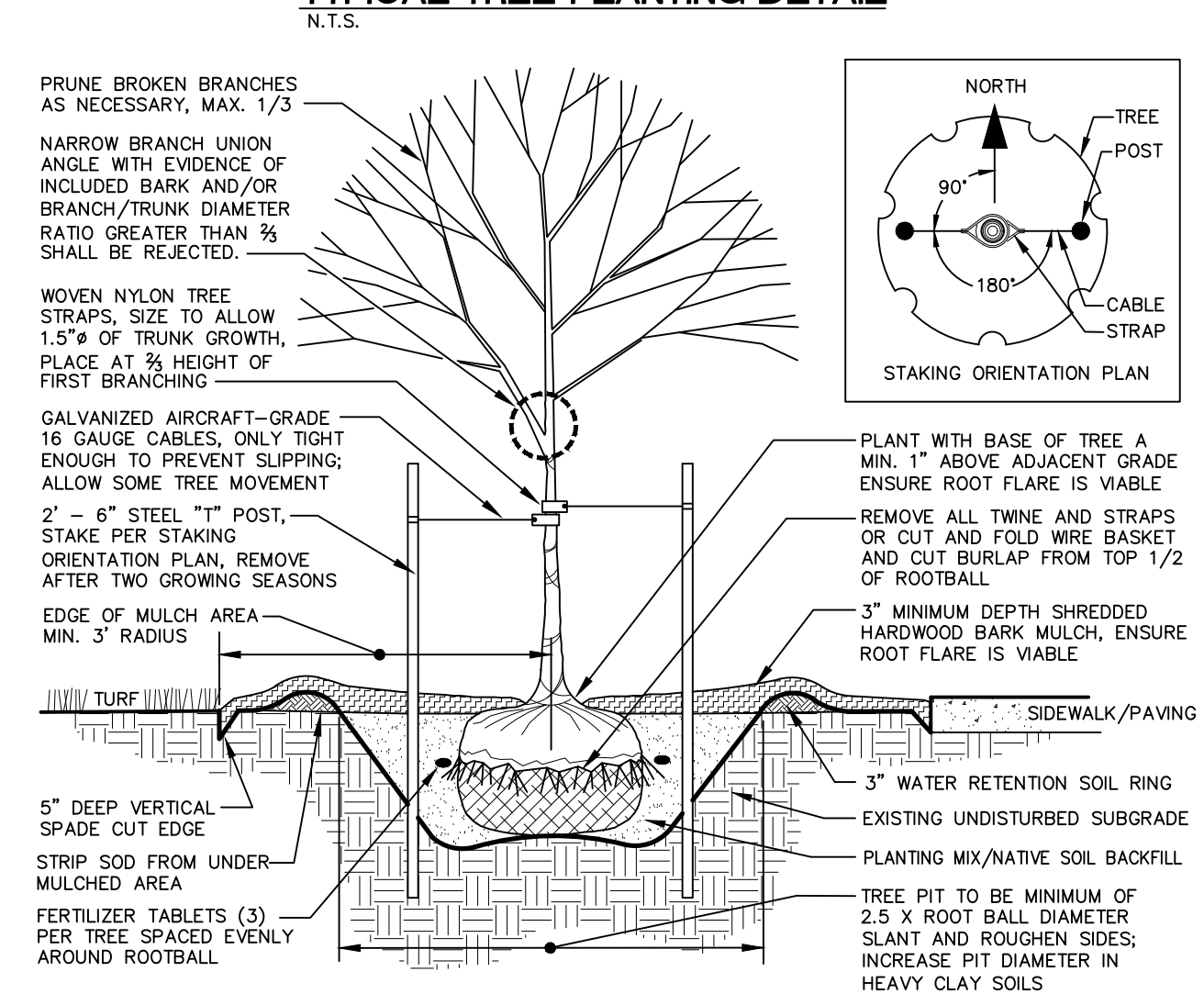
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
	AR	6	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	2" Cal.	B4B	50' x 40'
	BN	4	Betula nigra	River Birch	2" Cal.	B4B	40' x 40'
	CC	5	Cercis canadensis	Eastern Redbud	1.5" Cal.	B4B	20' x 25'
	GT	4	Gleditsia inaequalis 'Skyline' TM	Skyline Thornless Honey Locust	2" Cal.	B4B	35' x 25'
	LT	4	Linodendron tulipifera	Tulip Poplar	2" Cal.	B4B	60' x 30'
	MP	2	Malus x "Pranfire"	Pranfire Crabapple	1.5" Cal.	B4B	15' x 15'
	QB	3	Quercus bicolor	Swamp White Oak	2" Cal.	B4B	50' x 50'
	QR	4	Quercus rubra	Red Oak	2" Cal.	B4B	50' x 50'
	SR	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B4B	20' x 15'
FUTURE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
	MP2	5	Malus x "Pranfire"	Pranfire Crabapple	1.5" Cal.	B4B	15' x 15'
	SR2	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B4B	20' x 15'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
	CA	21	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	24" Ht.	Container	4' x 2.5'
	MS	19	Miscanthus sinensis 'Gracilima'	Eulalia Grass	15" Ht.	Container	4' x 4'
	PV	72	Panicum virgatum 'Pride Fire'	Pride Fire Switch Grass	24" Ht.	Container	4' x 3'
	TM	6	Taxus x media 'Densiformis'	Dense Yew	24" Ht.	Container	3' x 5'
	TO	33	Thuja occidentalis 'Ballolite' TM	Techno Arborvitae	30" Ht.	Container	6' x 2.5'

STANDARD LEGEND AND NOTES

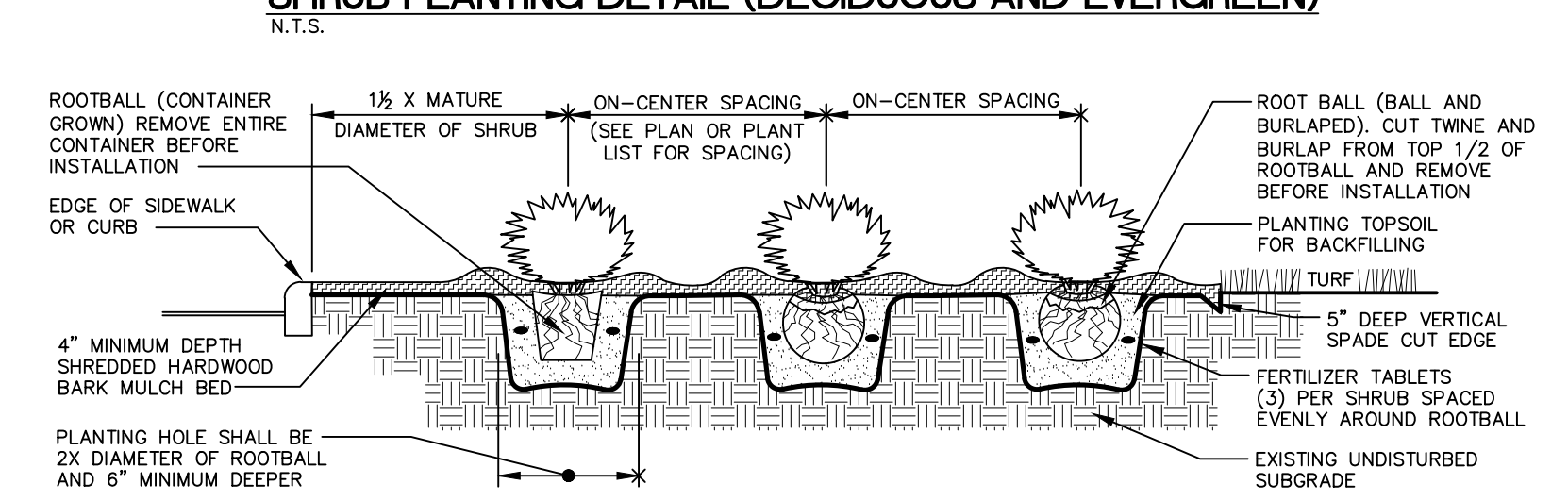


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TYPICAL TREE PLANTING DETAIL



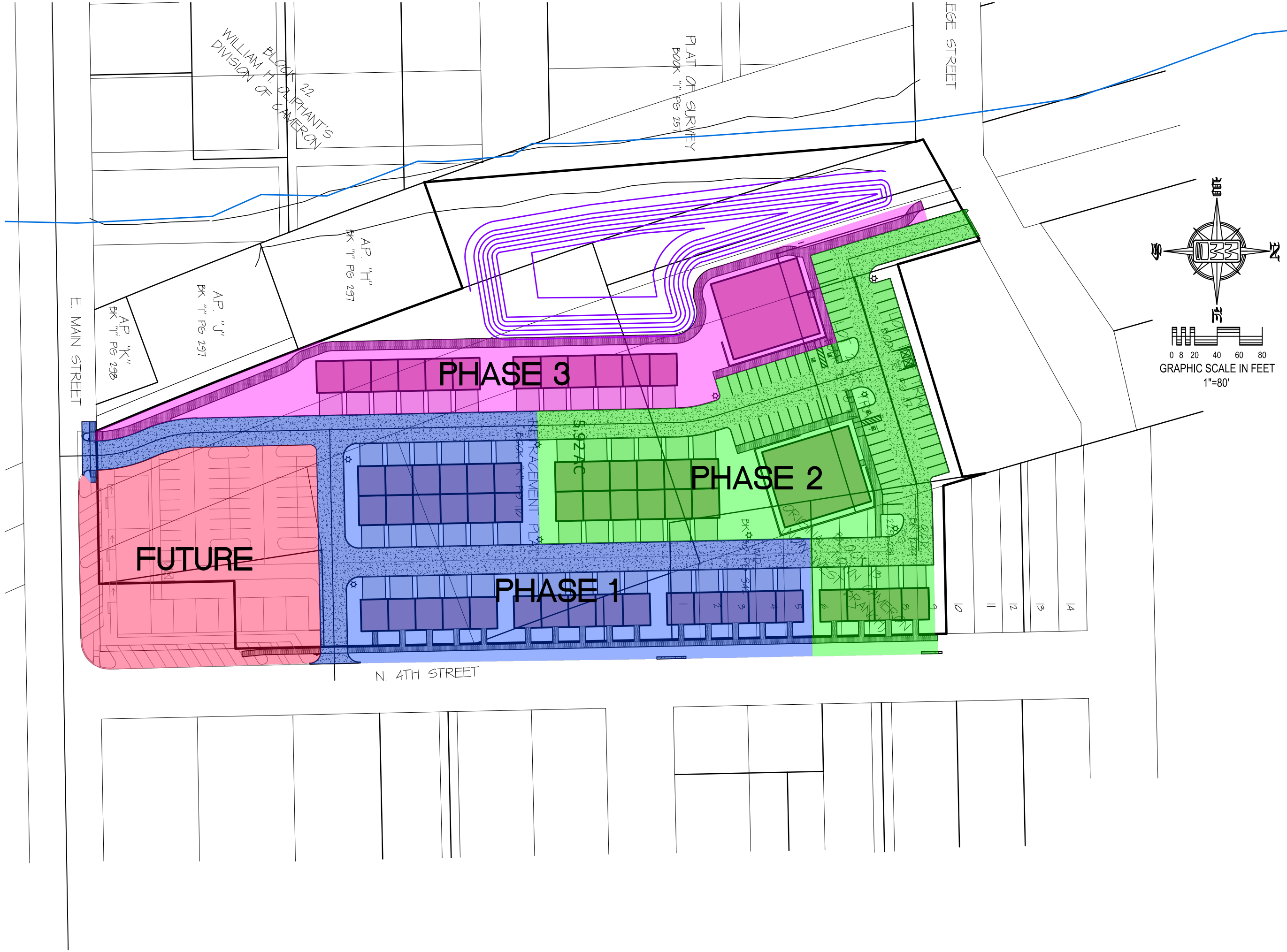
SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)



IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8899 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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CIVIL ENGINEERS
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LAND SURVEYORS
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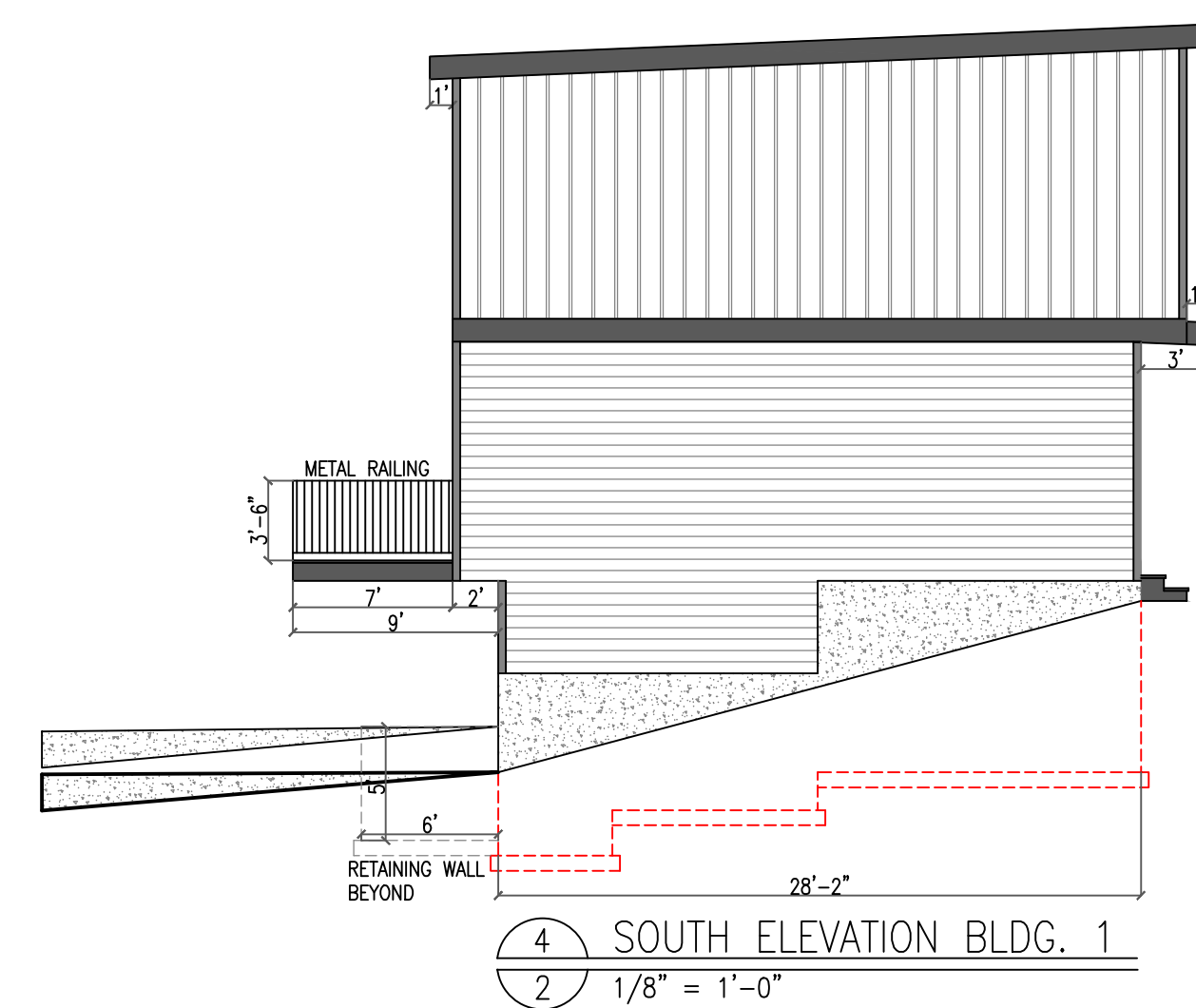
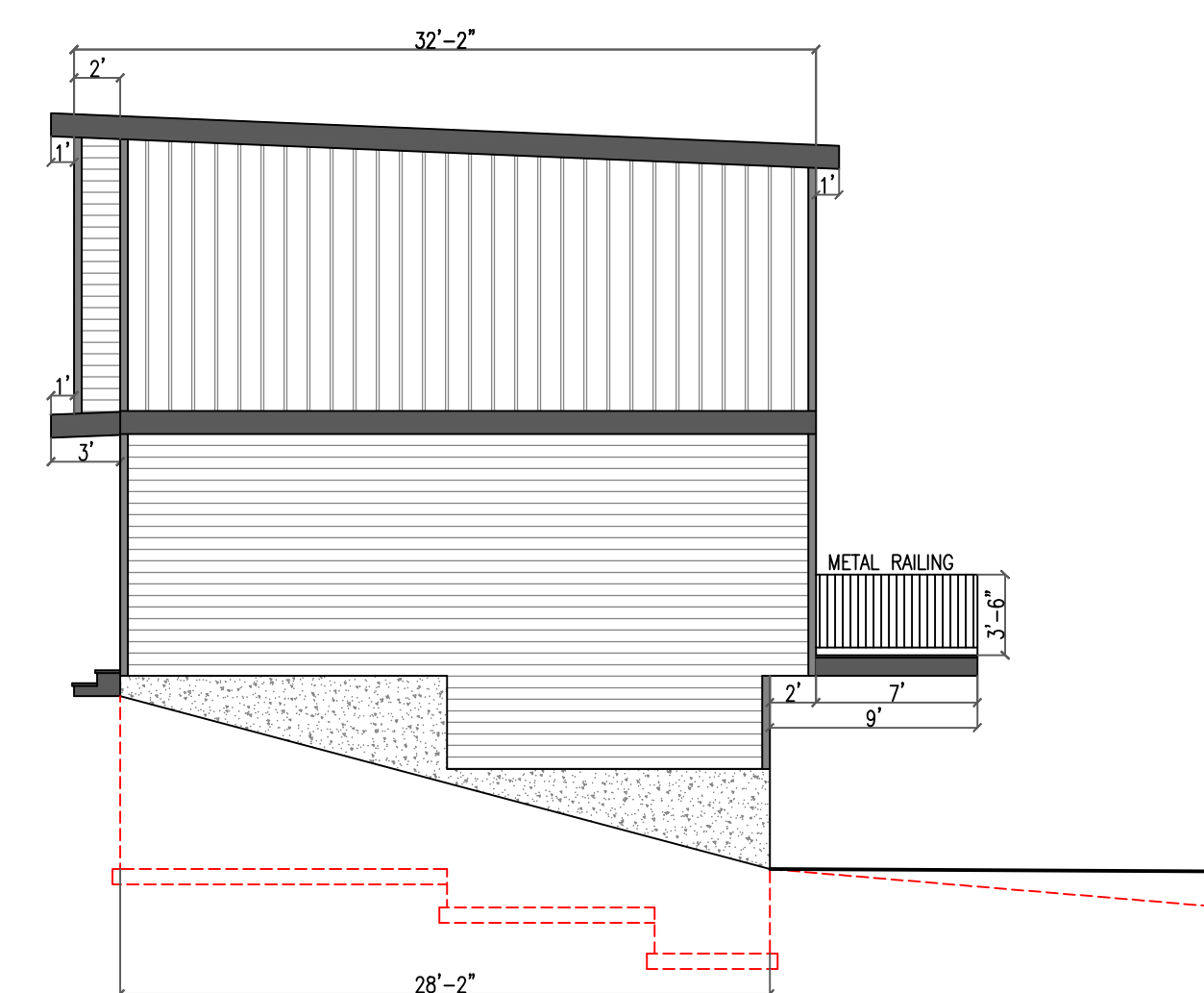
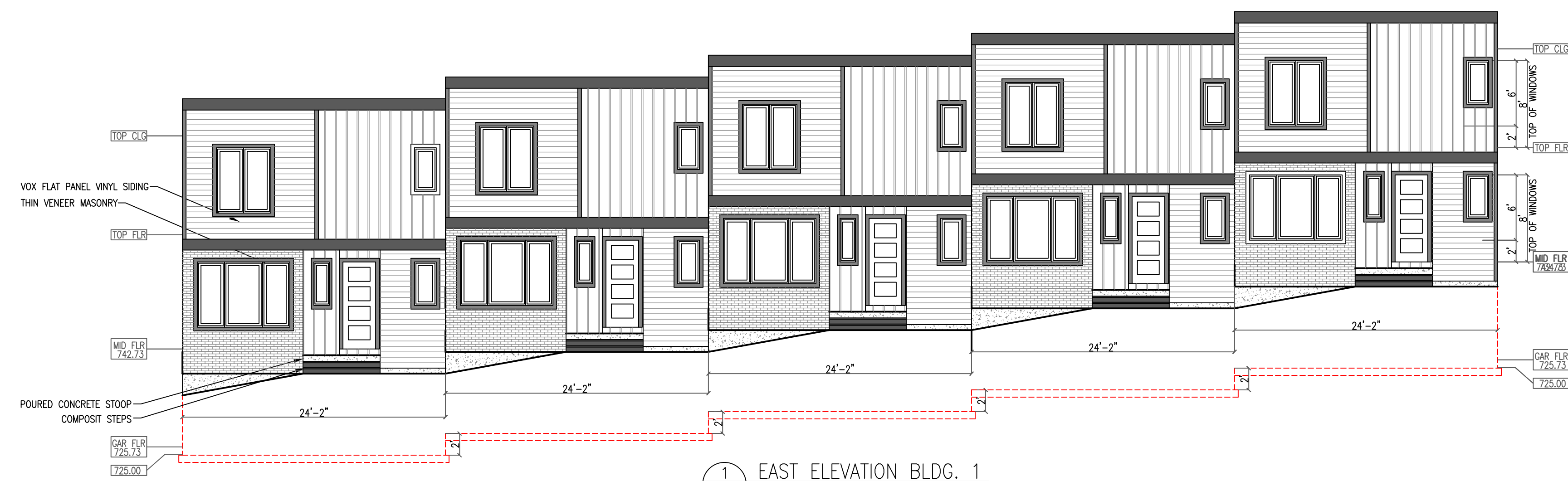
Date	Revision

PHASING PLAN

HERITAGE HILL,
LOT 1
WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	8/31/22
Designed by:	KJC
Field Book No:	1343
Drawn by:	KJC
Scale:	1"=80'
Checked by:	KJB
Sheet No:	1
Project No:	11186-002
of:	1



THESE PLANS OR DRAWINGS HAVE BEEN PREPARED UNDER AN EXCEPTION TO THE REQUIREMENT FOR PROFESSIONAL ARCHITECTURAL SERVICES SET FORTH IN SECTION 544A.19, CODE OF IOWA. THESE PLANS OR DRAWINGS HAVE NOT BEEN PREPARED BY A PROFESSIONAL ENGINEER OR ARCHITECT. CONSTRUCTION FROM THESE PLANS OR DRAWINGS SHOULD NOT BE UNDERTAKEN WITHOUT A CONSTRUCTION PROFESSIONAL. THE PURCHASER OR BUILDER OF THESE DRAWINGS MUST CAREFULLY INSPECT AND CONFIRM ALL DIMENSIONS AND DETAILS.

Untrauer's Drafting Service IN PREPARATION OF THESE PLANS OR DRAWINGS: 1. ASSUMES NO RESPONSIBILITY FOR ANY INNACCURACIES WHICH MAY BE CONTAINED IN THE DRAWINGS OR PLANS; AND 2. ASSUMES NO RESPONSIBLTY WHATSOEVER RELATING TO THE CONSTRUCTION OF THE BUILDING SHOWN ON THE PLANS OR DRAWINGS.

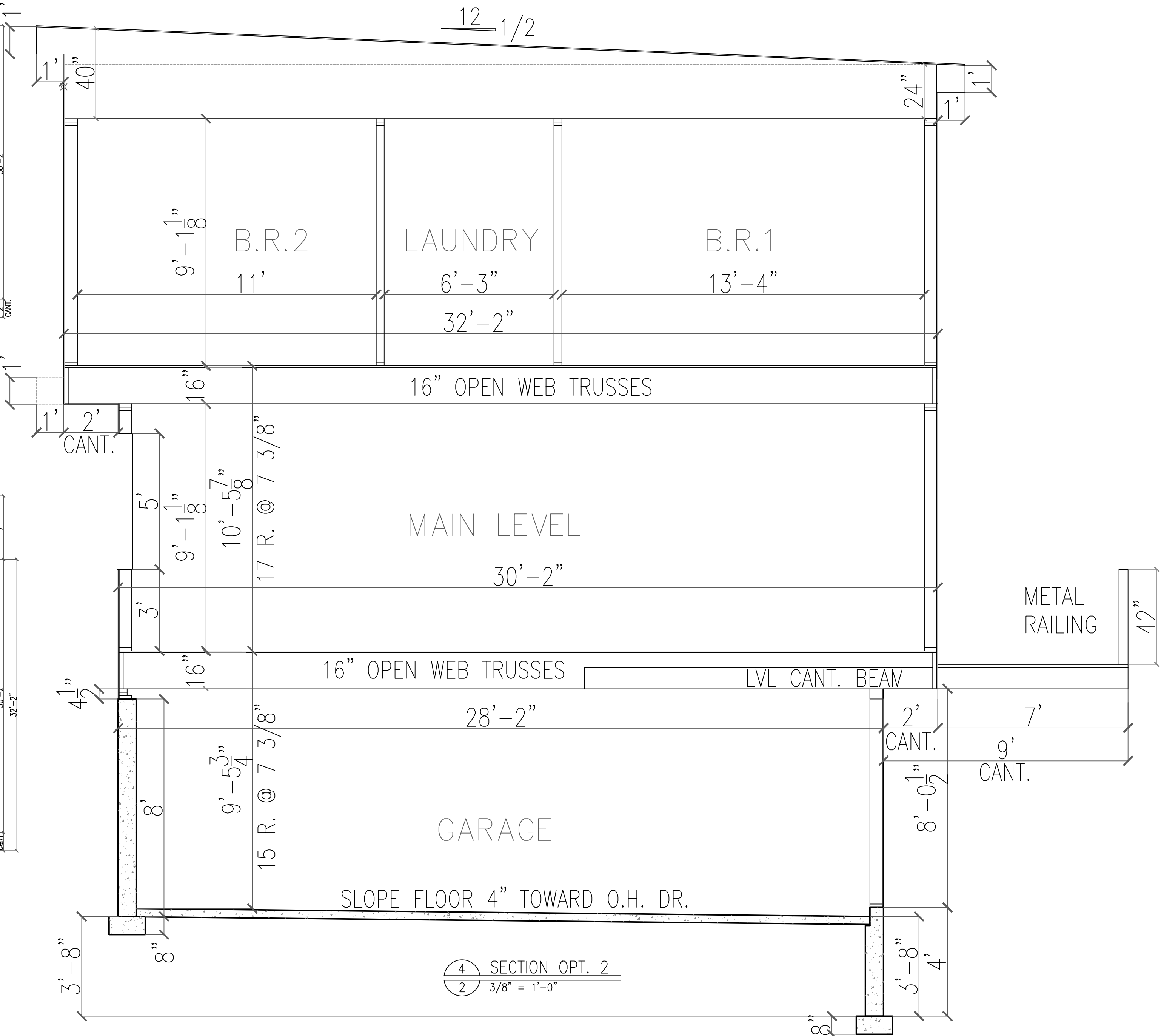
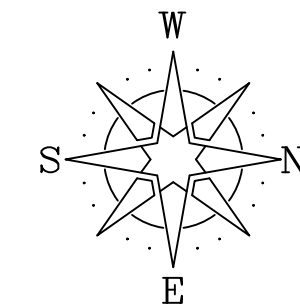
Revised 8.10.2022

5 PLEX on N 4th St.
 BUILDING #1

Untrauer Drafting Service, Inc.
2260 SHROPSHIRE CIRCLE, CORALVILLE, IOWA 52241 (319) 430-0760

APSD	DATE	MIKE	BROWN
APSD	JOB #	SCALE	
		$1/8" = 1'$	
TITLE			
EXTERIOR ELEVATIONS			

HEET 1 OF

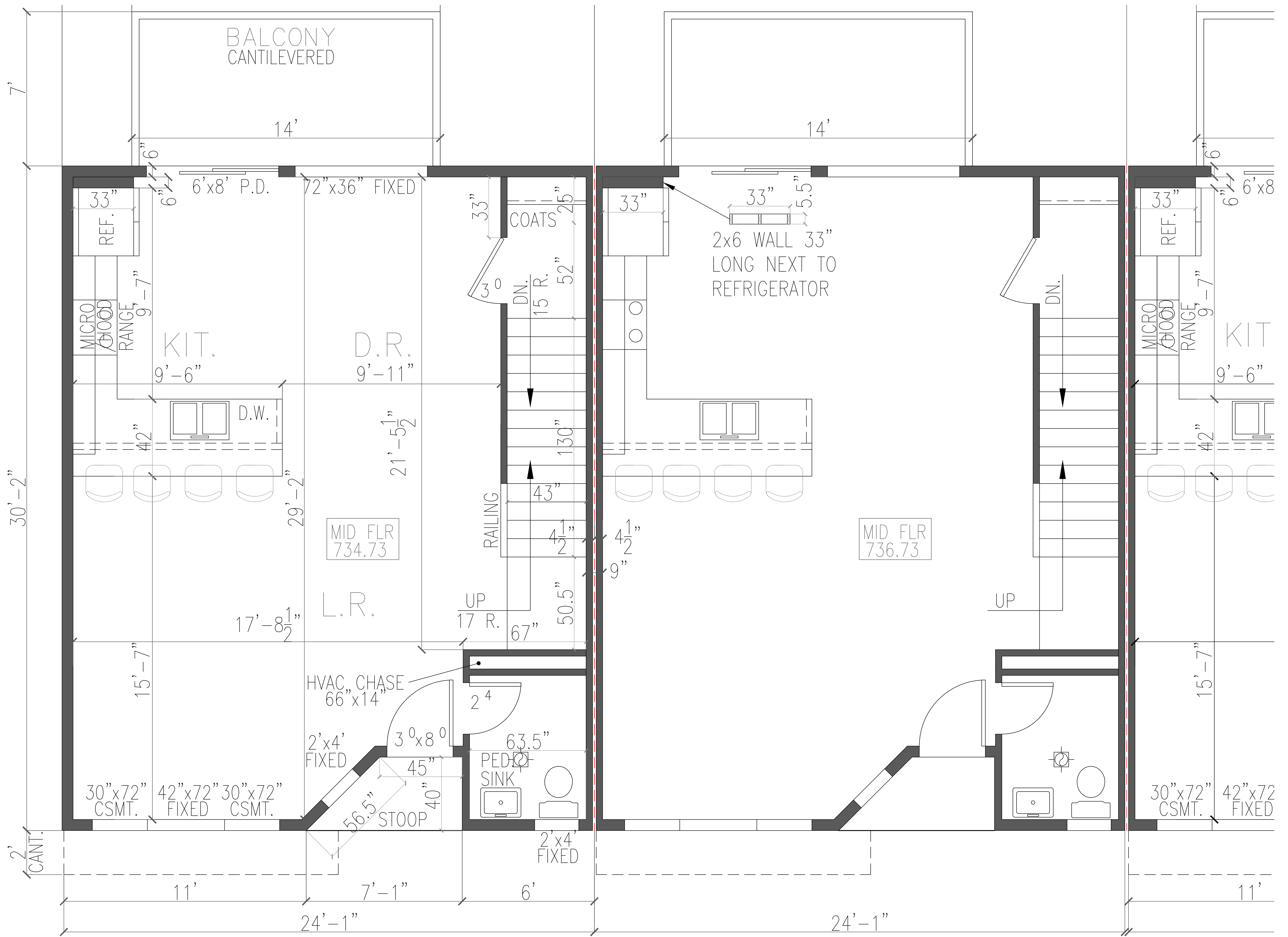


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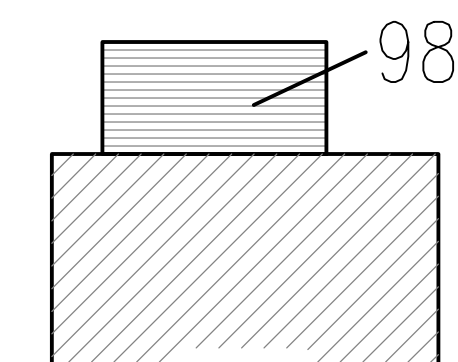
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Revised 8.10.2022

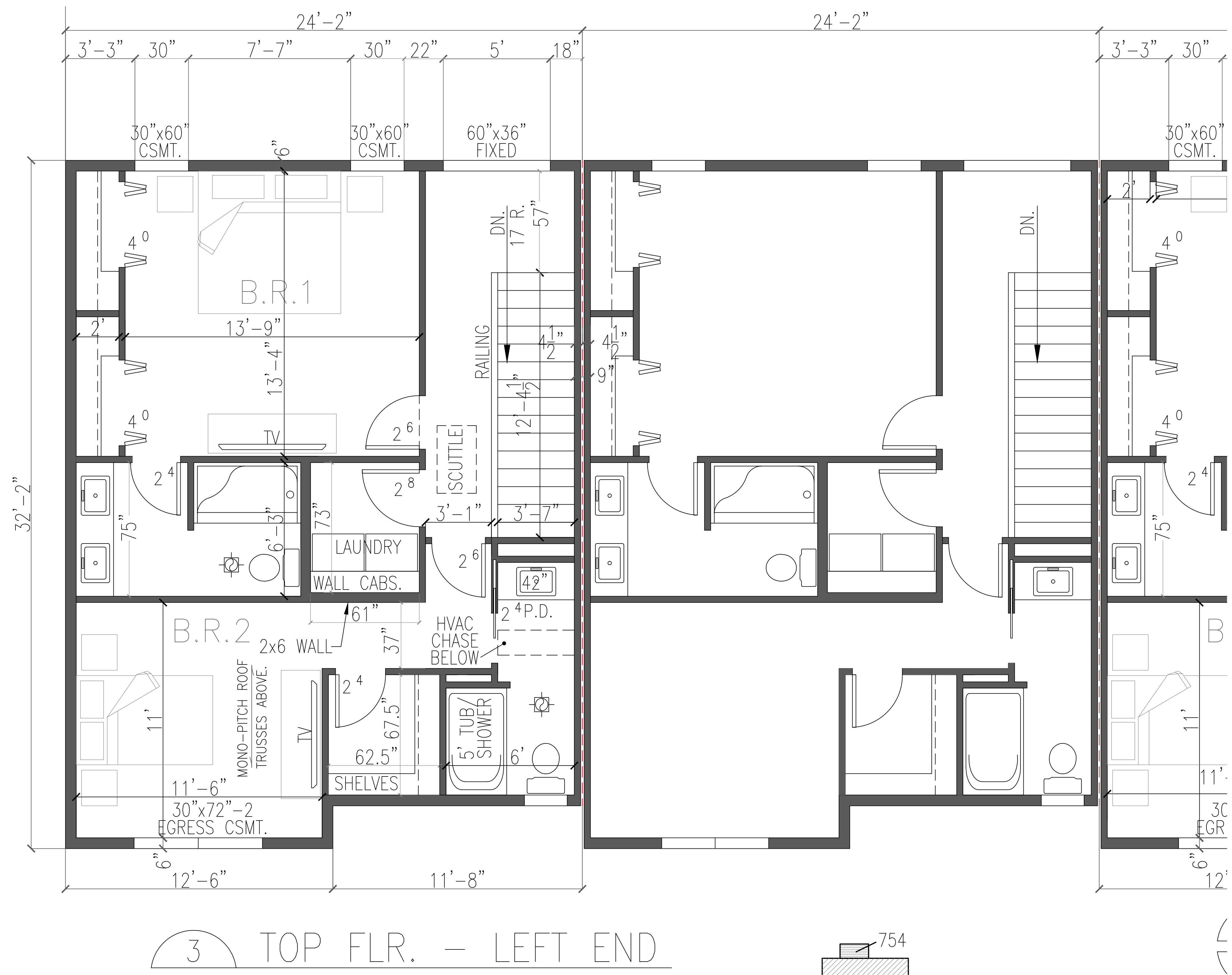
SHEET 2	OF	FLOOR PLANS & SECTION				5 PLEX on N 4th St. BUILDING #1	Untrauer Drafting Service, Inc. 2260 SHROPSHIRE CIRCLE, CORALVILLE, IOWA 52241 (319) 430-0760
		DATE	APPD	DATE	SCALE		

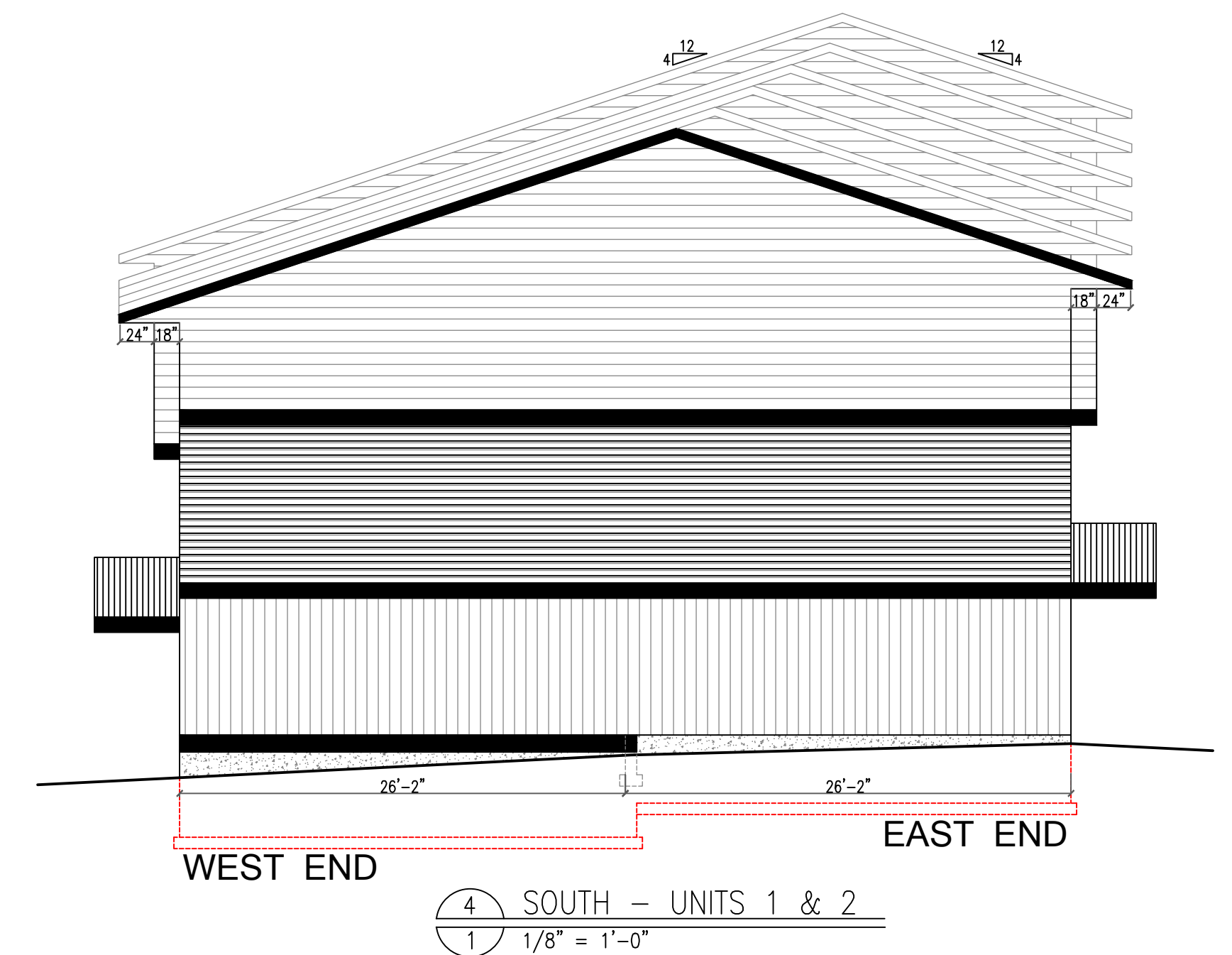
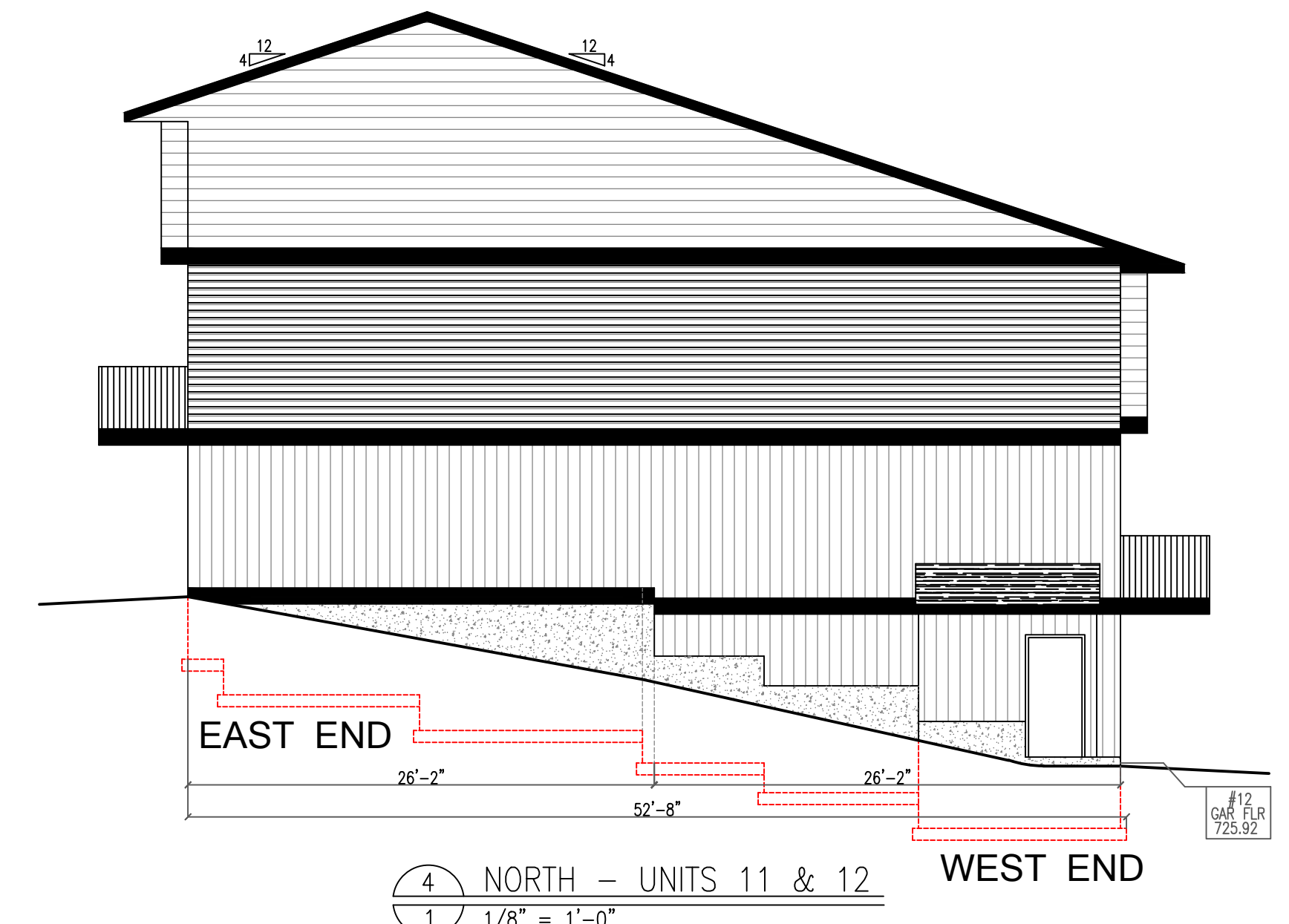


2 MID FLR. - LEFT END



2 M





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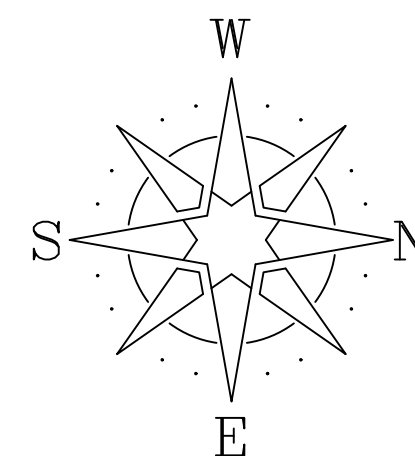
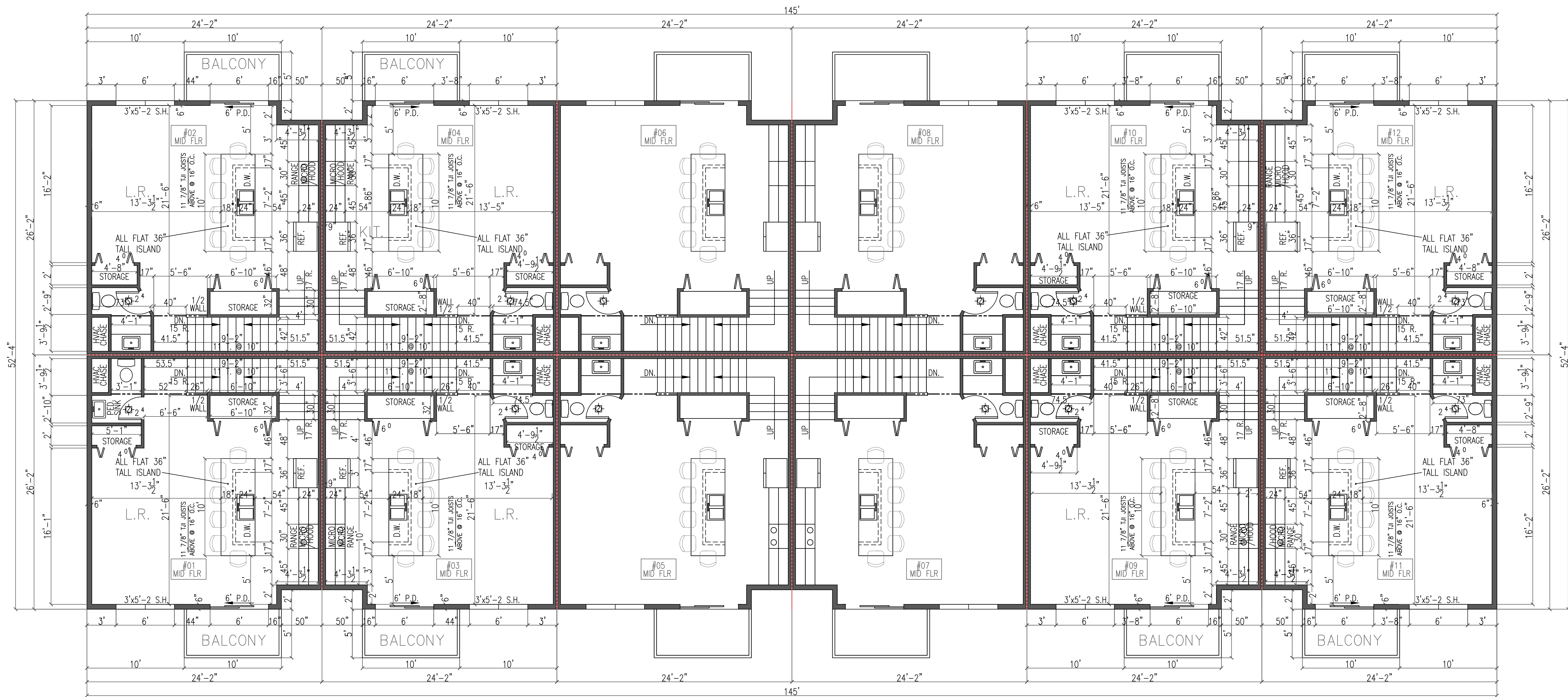
Revised 9.19.2022

Untrauer Drafting Service, Inc.
2260 SHROPSHIRE CIRCLE, CORALVILLE, IOWA 52241 (319) 430-0760

12 PLEX on N 4th St.
BUILDING #5

EXTERIOR ELEVATIONS

1 OF 1
SHEET



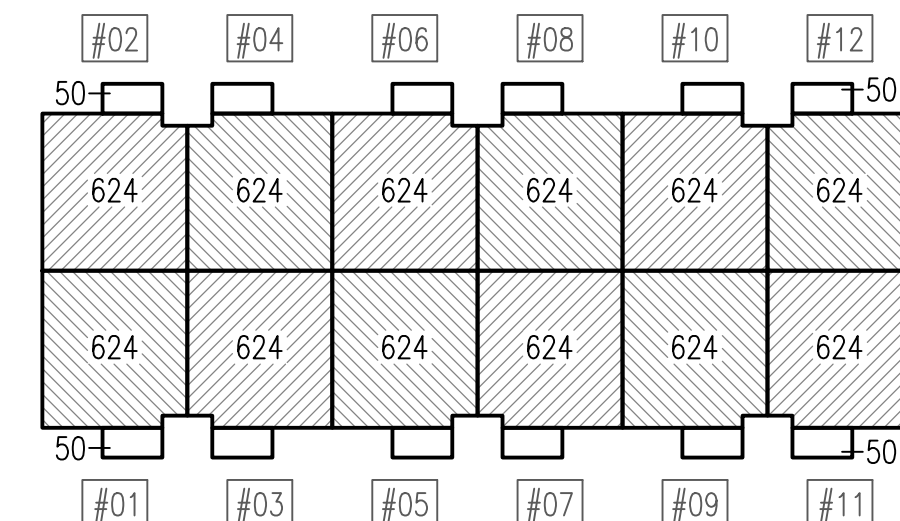
1 MID FLOOR

4 3/16" = 1'-0"

9'-1 1/8" FRAMED WALLS

6'-8" STD. DOOR HGTS.

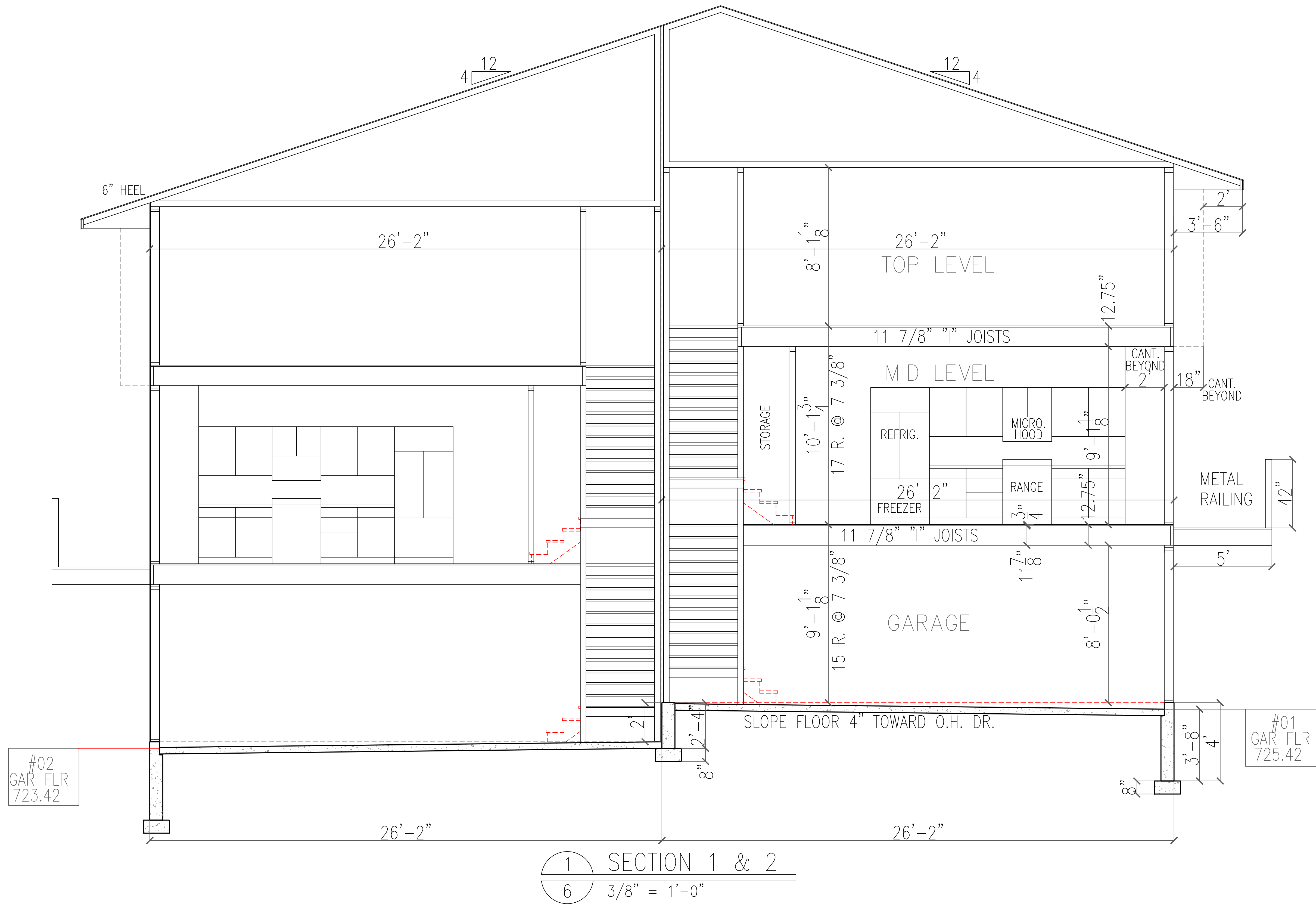
WINDOW HEADERS AT SAME HEIGHT AS DOORS



MID LEVEL
AREA DATA

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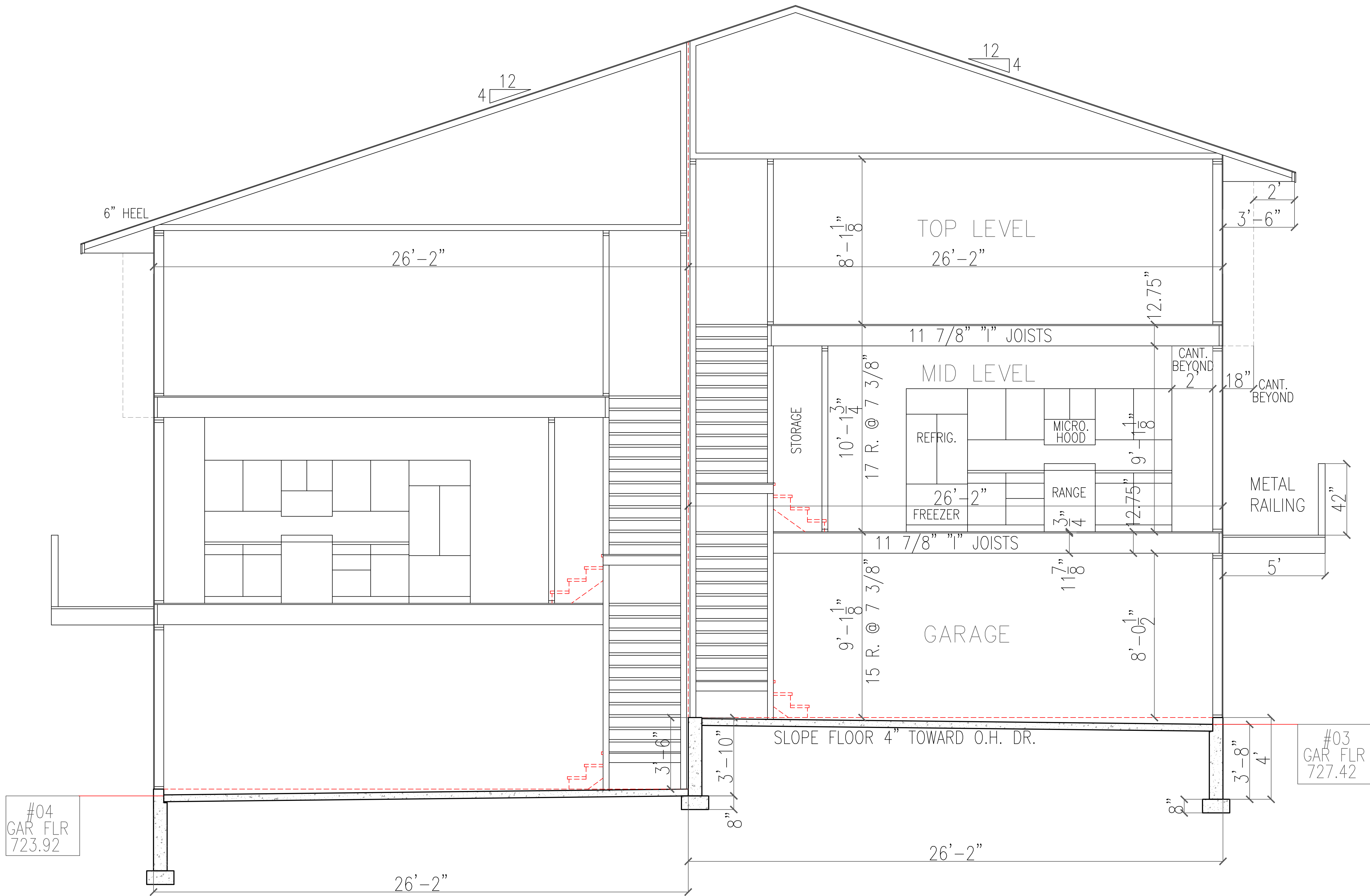
Revised 9.19.2022



MIN. STAIR WIDTH: 36"
HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF STAIRWAY & THE MINIMUM WIDTH AT & BELOW HANDRAIL HEIGHT, INCLUDING TREADS & LANDINGS, SHALL NOT BE LESS THAN 31.5" WITH 1 HANDRAIL & 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

STAIRS WITH MORE THAN 30" RISE NEED SOLID RISERS OR OPENINGS SUCH THAT A FOUR INCH (4") SPHERE WILL NOT PASS THROUGH.

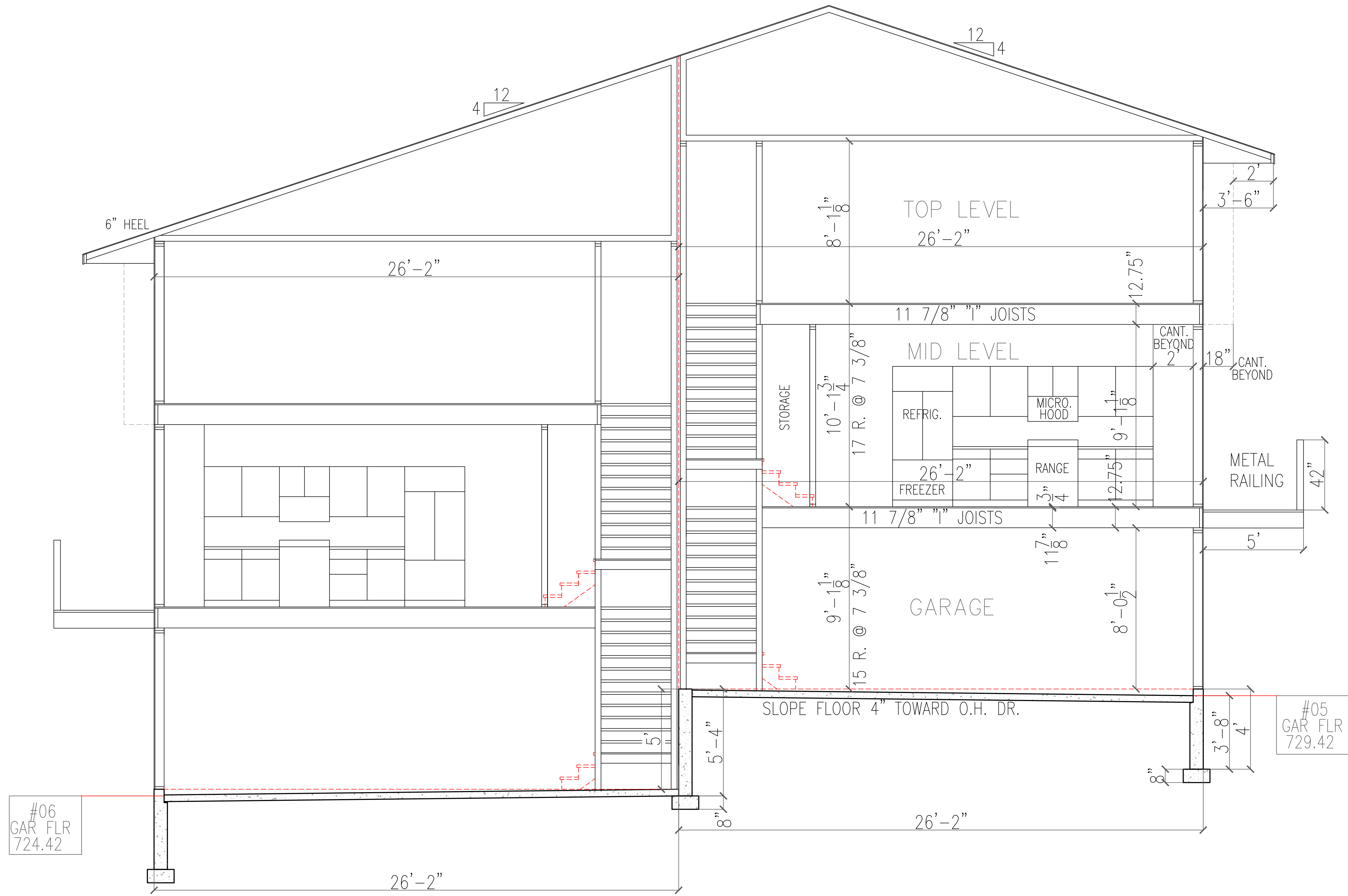
6'-8" MINIMUM HEADROOM.
CLOSED RISERS.
36" MINIMUM LANDINGS.
7 3/4" MAX. RISE.
10" MIN. RUN.



1 SECTION 3 & 4
7 3/8" = 1'-0"

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Revised 9.19.2022



1 SECTION 5 & 6
8 3/8" = 1'-0"

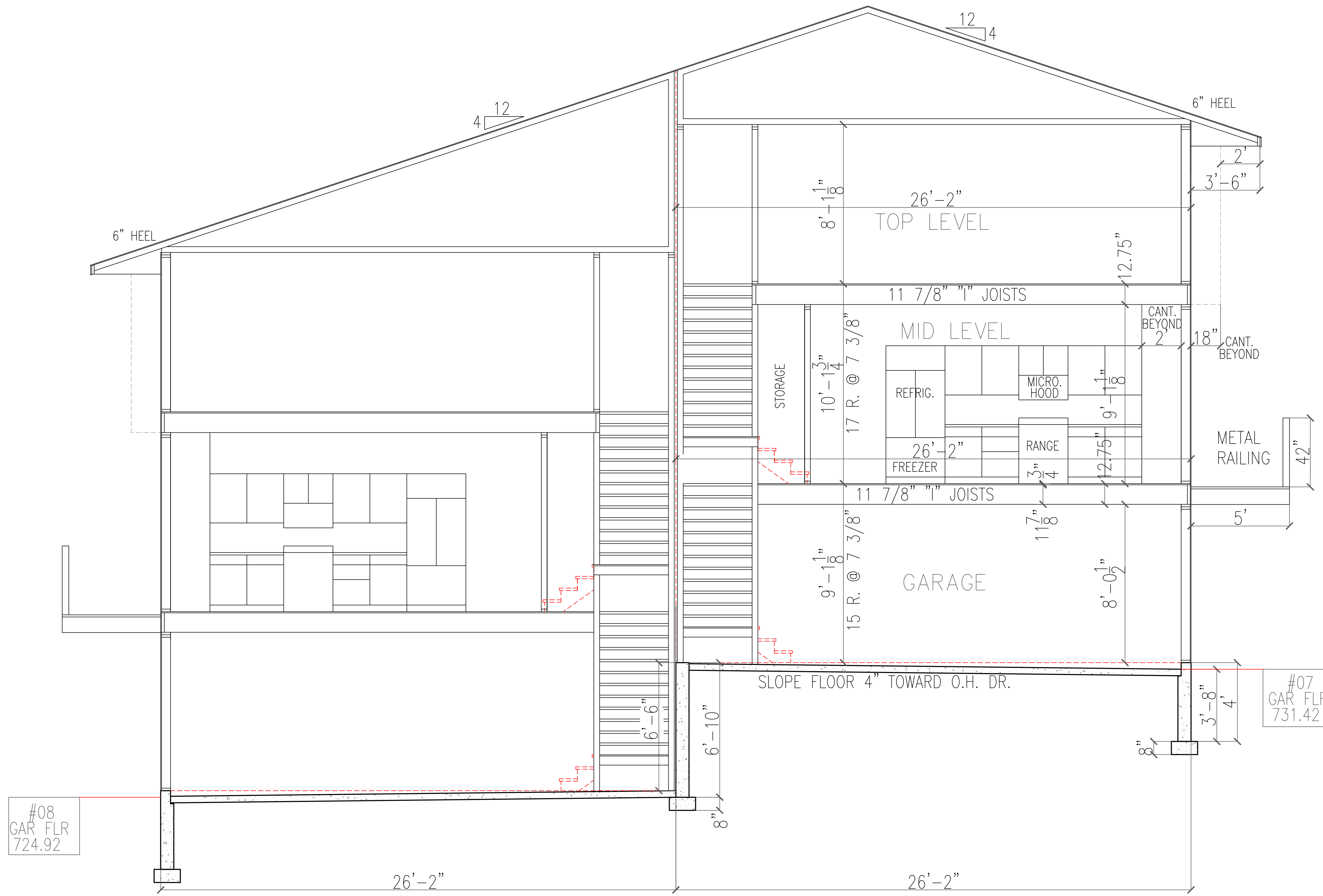
THESE PLANS OR DRAWINGS HAVE BEEN PREPARED UNDER AN EXCEPTION TO THE REQUIREMENT FOR PROFESSIONAL ARCHITECTURAL SERVICES SET FORTH IN SECTION 544A.19, CODE OF IOWA. THESE PLANS OR DRAWINGS HAVE NOT BEEN PREPARED BY A PROFESSIONAL ENGINEER OR ARCHITECT. CONSTRUCTION FROM THESE PLANS OR DRAWINGS SHOULD NOT BE UNDERTAKEN WITHOUT A CONSTRUCTION PROFESSIONAL. THE PURCHASER OR BUILDER OF THESE DRAWINGS MUST CAREFULLY INSPECT AND CONFIRM ALL DIMENSIONS AND DETAILS. **Untrauer's Drafting Service** IN PREPARATION OF THESE PLANS OR DRAWINGS: 1. ASSUMES NO RESPONSIBILITY FOR ANY INNACCURACIES WHICH MAY BE CONTAINED IN THE DRAWINGS OR PLANS; AND 2. ASSUMES NO RESPONSIBLTY WHATSOEVER RELATING TO THE CONSTRUCTION OF THE BUILDING SHOWN ON THE PLANS OR DRAWINGS.

Revised 9.19.2022

0 Untrauer Drafting Service, Inc. 0
2260 SHROPSHIRE CIRCLE, CORALVILLE, IOWA 52241 (319) 430-0760

12 PLEX on N 4th St.
BUILDING #5

SECTION 5 & 6
SHEET 8 OF 8

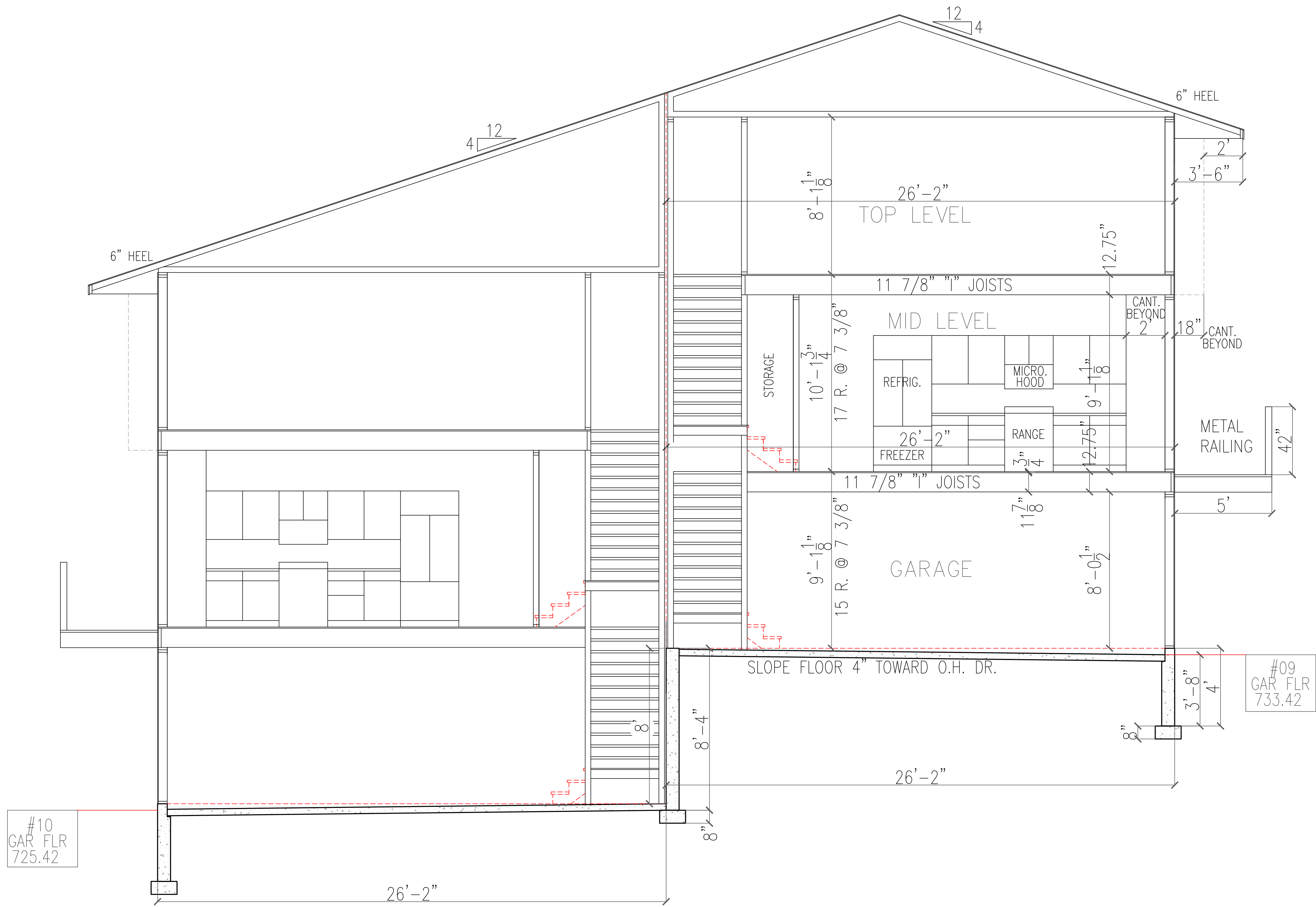


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12 PLEX on N 4th St.
BUILDING #5

Untrauer Drafting Service, Inc.
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#10
GAR FLR
725.42

#09
GAR FLR
733.42

1 SECTION 9 & 10
10 3/8" = 1'-0"

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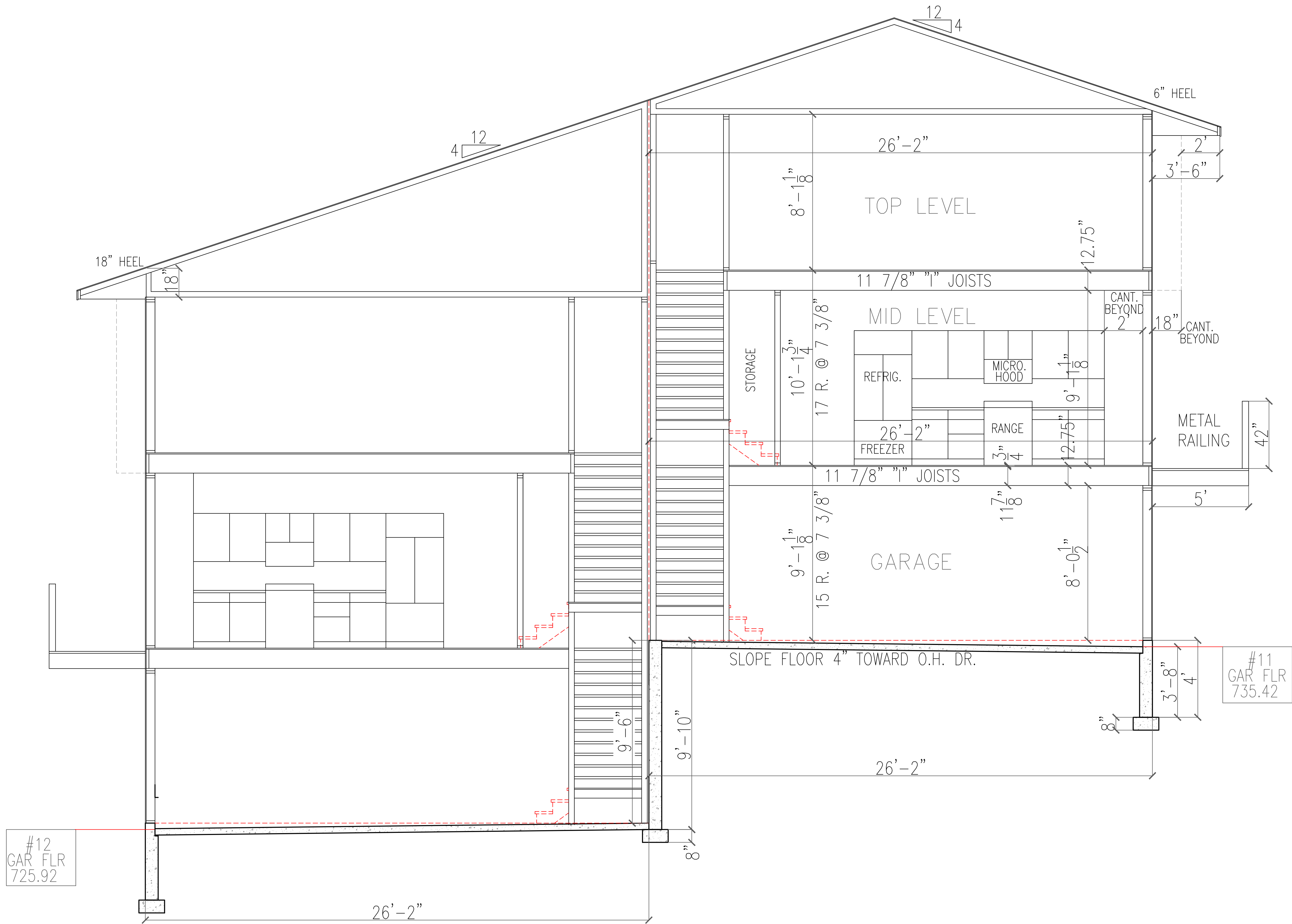
Revised 9.19.2022

Untrauer Drafting Service, Inc.
2260 SHROPSHIRE CIRCLE, CORALVILLE, IOWA 52241 (319) 430-0760

12 PLEX on N 4th St.
BUILDING #5

SECTION 11 & 12

10 DF



1 SECTION 11 & 12
11 3/8" = 1'-0"

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Revised 9.19.2022

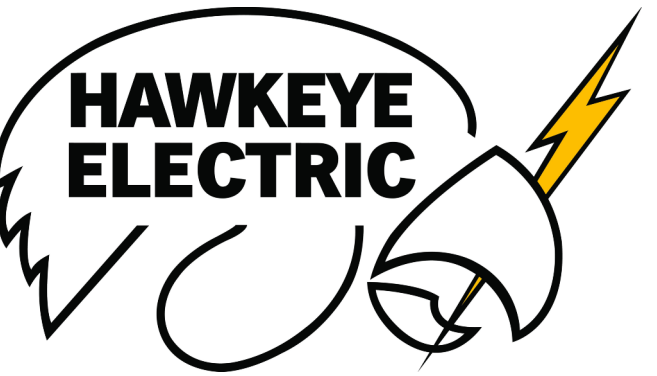
LIGHTING FIXTURE SCHEDULE							
TYPE	CONSTRUCTION		LIGHT SOURCE		PRODUCT		NOTE
	DESCRIPTION	MOUNTING	LAMP	LUMENS DOWN	MFR	Model	
A1	3-LIGHT STREET LANTERN	96" POLE	STANDARD BULB	2400 lm	LAMPS PLUS	BELLAGIO 96" HIGH BRONZE OUTDOOR 3-LIGHT STREET LIGHT	



HAWKEYE ELECTRIC
 1710 HAWKEYE DRIVE HIAWATHA , IA 52233

TEL 319.743.9891

<http://www.hawkeye-electric.com>



CLIENT:
 Owner

Address Line 1
 Address Line 2

THIS SQUARE APPEARS 1/2"X1/2"
 ON FULL SIZE SHEETS

NO	DATE	REVISION

PROJECT NAME:
 HERITAGE HILL, LOT 1

WEST BRANCH, CEDAR COUNTY,
 IOWA

DRAWING TITLE:
 PHOTOMETRIC PLAN

ISSUED FOR: REVIEW
 ISSUED DATE: 08/19/22
 DRAWN BY: JBM
 CHECKED BY: JBM

E101

LAMPS PLUS[®] PROS

Product Specification Sheet

Job Name: Hawkeye Electric

Job Type:

Comments: Lead time – 5-7 business days

Quantity:

Bellagio 96" High Bronze Outdoor 3-Light Street Lantern Style # 90537



Dimensions:

- 96" high. Each lantern head is 21" high x 10" wide. Base is 10" wide. From center to the far edge of one light is 15". Weighs 22 lbs. Extends 8 3/4" from the wall



Description

- Outdoor post light, pole, and adapter base. A traditional post light design from the the Bellagio collection by the John Timberland brand.
- Three lantern style lights with champagne hammered glass panels. Veranda bronze finish. Metal construction.
- Wet location outdoor rated for areas that get full exposure to rain and weather. Installation to concrete slab only.
- UL Listed

Lamping Information

- Uses three maximum 60 watt standard-medium base bulbs (bulbs not included).
- Recommended bulb: 60W Equivalent Clear 7W

Parts:

- #74740 3 EA FINIAL FE LP102 (TOP)SKU 40386
- #81912 3 EA HAMMERED GLASS FOR LP101 (SKU 40276)
- #74738 1 EA HARDWARE KIT FOR BLLAGIO LP101,102,103
- #21749 1 EA 1 5/8" FULLY TREADED SCREW W/NO CAP
- #21752 1 EA 1 1/4" FULLY TREADED SCREW W/NO CAP
- #2M371 6 EA COPPER BOLT CAP FOR SG101-3 (SKU 90537)



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM:	Resolution 2022-90 – Authorizing the City Administrator to formally request a deed from Johnson County for a portion of Cedar-Johnson Road. / Move to action.
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PREPARED BY:	Adam Kofoed, City Administrator
---------------------	---------------------------------

DATE:	September 26, 2022
--------------	--------------------

BACKGROUND:

Johnson County would like a Council letter of support to deed over a portion of Cedar-Johnson Road so that West Branch may TIF to fund the roundabout. Resolution is a letter in support.

RECOMMENDATION

Approve

RESOLUTION 2022-90

**A RESOLUTION AUTHORIZING THE CITY ADMINISTRATOR TO FORMALLY
REQUEST A DEED FROM JOHNSON COUNTY FOR A PORTION OF
CEDAR-JOHNSON ROAD**

WHEREAS, the City of West Branch previously entered into a 28E Agreement with Johnson County to fund a portion of the Herbert Hoover Highway and Cedar-Johnson roundabout project administered by Johnson County; and

WHEREAS, the City Council wishes to use new growth tax incremental financing (TIF) to assist with financing the project; and

WHEREAS, in order for the City Council to use TIF, the City of West Branch needs full ownership of Cedar-Johnson Road. An agreement signed by the Council in the 1970's, it was established the City would maintain Cedar-Johnson Road between Herbert Hoover Highway and where Golfview Heights and Greenview subdivision intersect; and

WHEREAS, the City Council authorizes the City Administrator to act on the Council's behalf and request a deed for Cedar-Johnson Road from Johnson County, Iowa.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Iowa approves the authorization for the City Administrator to formally request and accept a deed from Johnson County for Cedar-Johnson Road from Herbert Hoover Highway, north to Golfview Heights and Greenview Subdivisions.

* * * * *

Passed and approved this 3rd day of October, 2022.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM:	Resolution 2022-91 - Authorizing an Emergency Responder Advocacy Committee to speak on behalf of the City Council. / Move to action
---------------------	---

PREPARED BY:	Adam Kofoed, City Administrator
---------------------	---------------------------------

DATE:	September 26, 2022
--------------	--------------------

BACKGROUND:

As the Iowa City, Cedar Rapids, and Quad Cities corridor grows, traffic on I-80 and West Branch's population are increasing. At the same time our number of emergency response volunteers are decreasing. WBFD is now at the point where some 911 calls are being turned down due to limited volunteers in the area. When that occurs, it goes to a neighboring emergency response team which can accept or deny. It also adds time to emergency response times indicating an increased risk someone's life won't be saved due to greater response times.

City Administrator and some members of WBFD have been in contact with Cedar and Johnson County and we do not foresee an essential service referendum being placed on the ballot in time to address our financial shortfalls.

THE FINANCIAL IMPACT

By the end of next fiscal year, June 30, 2024, we will run out of our internally set aside COVID relief money we have been using to pay for on call first responders. We budgeted \$33,000 for on call pay. As a reminder of last year, our general fund budget only increased by \$18,000.

Staff is hoping new growth will hit tax roles but a 4% increase in general fund revenue only equals \$50,000 subtract \$33,000 from that and city is left with \$17,000 additional dollars to work with.

The fiscal impacts of not receiving assistance from the federal, state, and county government could force the city's hand in making actual project, employment, and/or equipment cuts.

THE GOAL

To either receive financial assistance, or at least get the state legislature to allow cities to levy for EMS as an essential service.

Assuming there are 1,000 houses and buildings in West Branch it would cost a building owner \$33 a year or \$2.75 per month to ensure we have someone on call. It would be nice to know where the public stands on that cost for EMS services.

RECOMMENDATION

Approve

RESOLUTION 2022-91

**A RESOLUTION AUTHORIZING AN EMERGENCY RESPONDER ADVOCACY
COMMITTEE TO SPEAK ON BEHALF OF THE CITY COUNCIL**

WHEREAS, the City Council of West Branch receives reports that emergency response calls are increasing while volunteerism is decreasing; and

WHEREAS, the City Council recognizes public safety as its number one priority, including emergency responders; and

WHEREAS, the City Council must limit its formal messaging outside of posted public meetings; and

WHEREAS, the City Administrator is recommending an advocacy committee be formed as it will take persistent pressure on local, state, and federal entities for change to occur; and

WHEREAS, the City Council agrees the advocacy burden should not be on one person's shoulder; and

WHEREAS, the committee should consist of the Fire Chief, two (2) emergency responders from WBFD, the mayor, one (1) council member, and city administrator; and

WHEREAS, the committee should follow the below rules:

1. No endorsements, fundraising, or donations to any candidate or political party.
2. No personal attacks, name calling, or other foul language.
3. Stick only to emergency response/public safety issues as the full city council may disagree on other priorities.
4. Must work together on messaging for consistency, teamwork, and professionalism.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Iowa approves a formal emergency responder advocacy committee to speak on behalf of the City Council.

* * * * *

Passed and approved this 3rd day of October, 2022.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, City Clerk



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE: October 3, 2022

AGENDA ITEM: Greenview connection driveway access
--

PREPARED BY: Adam Kofoed, City Administrator

DATE: September 26, 2022

BACKGROUND:

Council needs to provide direction on finalizing the Greenview project.

1st attachment: aerial view of city right of way

In 2020, two options were provided to City Council by the City Engineer for consideration. (see next two attachments).

The Council chose to make the connection to the south end of the circle and retain 'Greenview Circle'.

After the connection was made, the City received complaints that the traffic pattern was 'confusing' when driving south to Greenview Drive. Council directed staff to continue with straightening the connection in early 2022. Now that the connection has been straightened, the subject of driveways on the west side (the former west side of Greenview Circle) has come to light. At the September 19th City Council meeting, there were discussions on whether the city should 'abandon' that portion of the former 'circle' and no longer maintain it.

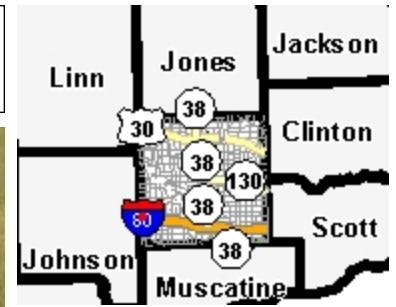
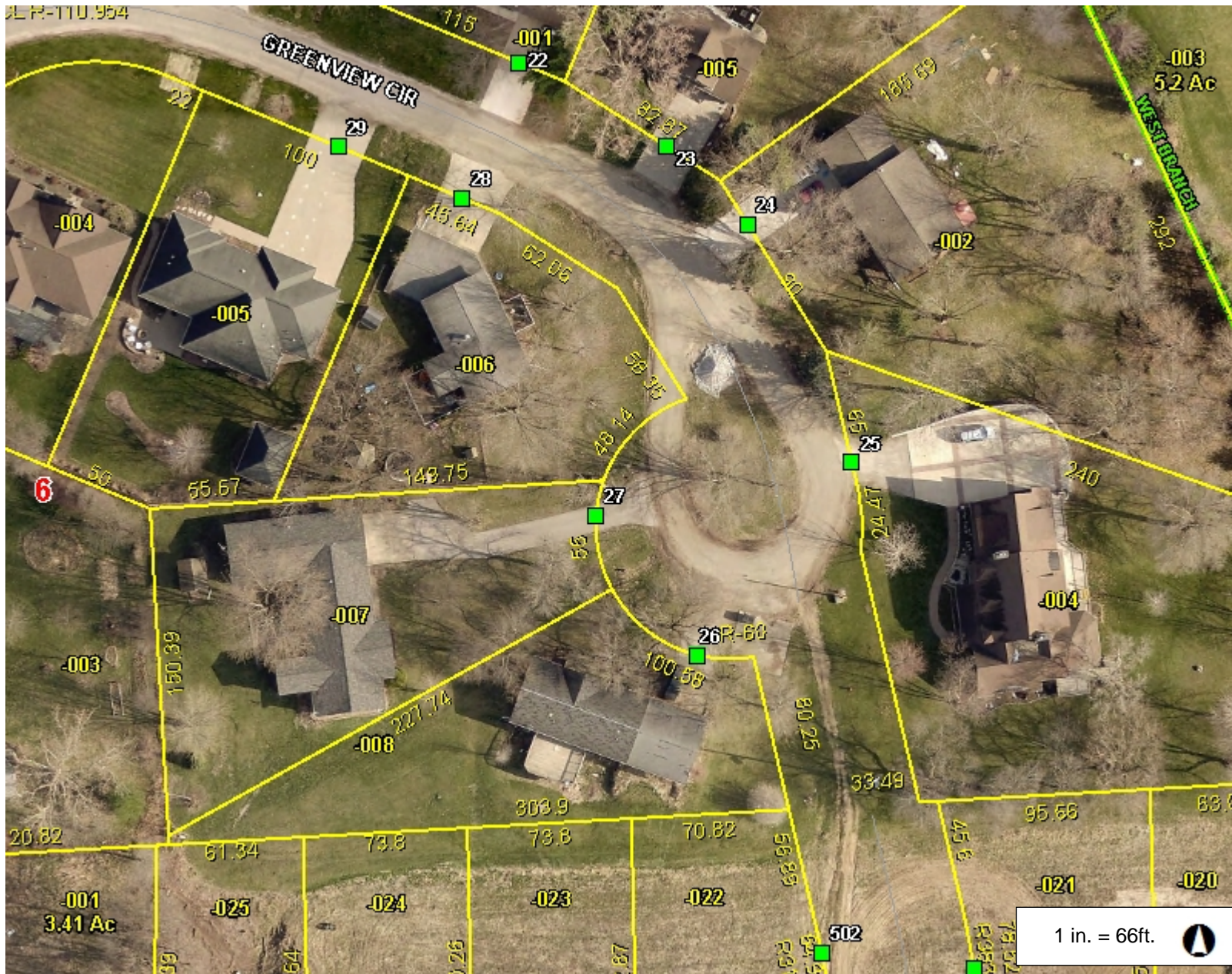
Based on the original two options provided by the City Engineer, the more appropriate option would be to construct driveways with the same material each homeowner has for a driveway to the new street. After driveway access is settled, the Greenview Circle in the right of way should be disposed of and cleaned up.

There is roughly \$13,000 left in the street's capital improvement budget line item. Staff is not convinced they can fund the work and finish patches on Oliphant Street. There are several residents waiting for improvements on Oliphant St.

RECOMMENDATION

Staff needs direction on what to fund and what to cut. In addition, if a project goes over the budget line item staff will need to cut from next year's expenses to build reserve requirements.

Cedar County, IA



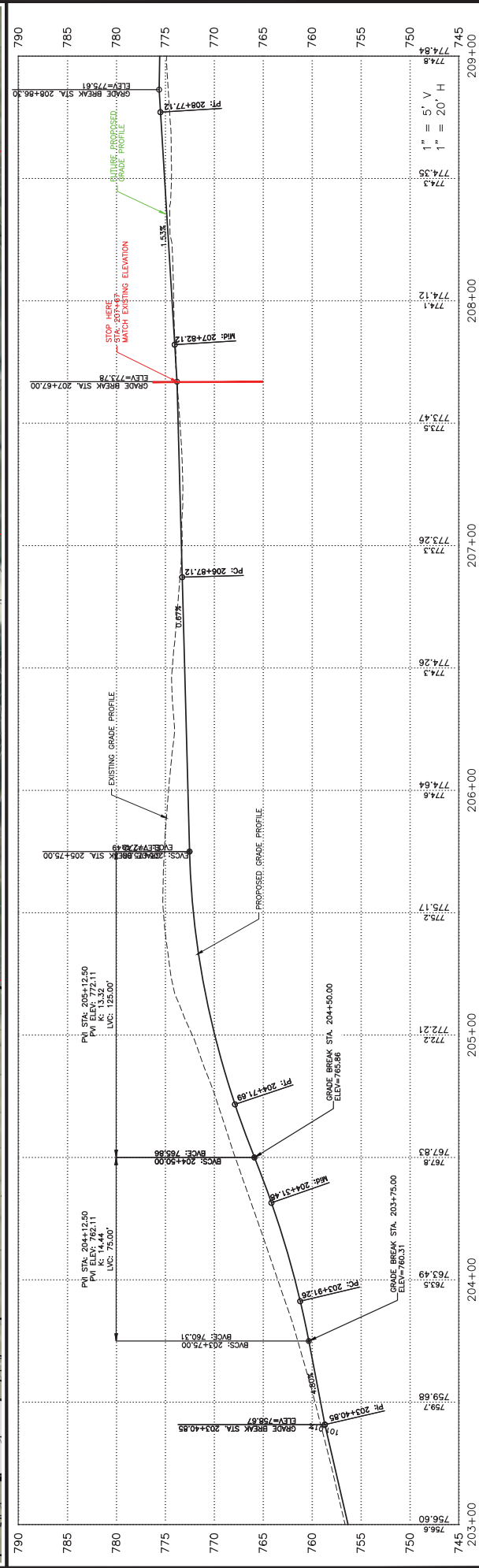
Legend

- Road
 - Interstate
 - US Highway
 - State Numbered Highway
 - <all other values>
- + Railroad
- Address Point
- Parcel
- Parcel Number/Acres
- Leased Land
- Land Hook
- Corporate Limit Line
- Park
- Section
- County Boundary

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



DATE		REVISIONS		SCALE		AS NOTED		 VEENSTRA & EDMA, INC. 6800 23rd Avenue, Suite 2 • Chanhassen, Iowa 52004-1505 319-465-2000 • 319-465-2000/FAX • 800-342-0001/US/CA/INTL	GREENVIEW EXTENSION CITY OF WEST BRANCH	PLAN & PROFILE - TEE INTERSECTION	DWG. NO.	
				DRAWN		LIE					E.01	
				CHECKED		LIE						
				APPROVED		DES						
				DATE	06-11-2020	REVIEW						
				ISSUED FOR		REVIEW					PROJECT	388278