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110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358  
(319) 643-5888 • Fax (319) 643-2305 • [www.westbranchiowa.org](http://www.westbranchiowa.org) • [city@westbranchiowa.org](mailto:city@westbranchiowa.org)

**PLANNING AND ZONING COMMISSION MEETING**

**Tuesday, September 27, 2022 • 7:00 p.m.**

**West Branch City Council Chambers, 110 N. Poplar St.**

*Council Quorum May Be Present*

**<https://zoom.us/j/829677991> or**  
***dial in phone number 1-312-626-6799 with Meeting ID 829 677 991***

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
4. Public Hearing/Non-Consent Agenda. /Move to action.
  - a. Approve minutes from the Aug. 23, 2022 Planning & Zoning Commission meeting. / Move to action.
  - b. Public Hearing: a request to rezone 154 Ohrt Street from R-1 to R-2. / Move to action.
  - c. Public Hearing: Amending the Historic Preservation Ordinance (Chapter 25). / Move to action.
  - d. Request to approve signage for Subway at Parkside Hills BP./ Move to action.
  - e. Public Hearing: a request for rezoning 224 N. 4<sup>th</sup> Street from R-3 to PUD **AND** a parcel along the east side of Wapsi Creek owned by the City of West Branch from P-1 to PUD. / Move to action.
  - f. Review and approval of Heritage Hill Preliminary Plat. / Move to action.
  - g. Review and consider approval of Heritage Hill Final Plat with following conditions. / Move to action.
    - i. Advisory review committee of one planning and zoning member, mayor, engineer, building inspector, city attorney, and city administrator to advocate on behalf of planning and zoning commission and city council.
    - ii. Developer is responsible for costs and resubmittal of a final plat in the event an error occurs after final plat has been recorded.
  - h. Review and consider approval of Heritage Hill Site Plan Buildings 1-4. / Move to action.
  - i. Draft Review of Heritage Hill 12-plex.
5. Old Business
  - a. Design standard discussion
    - i. Review with consideration of approval for accessory rental unit ordinance
    - ii. Comments on parking minimum requirement flexibility.

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**Planning & Zoning Commission Members:** Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Emilie Walsh, Brad Bower, Matt Van Scoyoc, Jim Hoffman • **Zoning Administrator:** Terry Goerd

**Mayor:** Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Jerry Sexton, Tom Dean

**City Administrator:** Adam Kofoed **City Clerk:** Leslie Brick • **Fire Chief:** Kevin Stoolman • **Police Chief:** John Hanna

• **Public Works Director:** Matt Goodale



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6. City Staff Reports
7. Comments from Chair and Commission Members.
8. Next regular Planning & Zoning Commission meeting Tuesday, October 25, 2022.
9. Adjourn

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**Planning & Zoning Commission Members:** Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Emilie Walsh,  
Brad Bower, Matt Van Scoyoc, Jim Hoffman • **Zoning Administrator:** Terry Goerd  
**Mayor:** Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Jerry Sexton, Tom Dean  
**City Administrator:** Adam Kofoed **City Clerk:** Leslie Brick • **Fire Chief:** Kevin Stoolman • **Police Chief:** John Hanna  
• **Public Works Director:** Matt Goodale

## WEST BRANCH P&amp;Z MEETING

Date: August 23, 2022 Time: 7:00 P.M.

**Roll Call:**

Name	Present	Name	Present	Name	Present	Name	Present
John Fuller	✓	Brad Bower	✓	Mayor Laughlin	✓	Matt Goodale	
Ryan Bowers	✓	Jim Hoffman	✓			Dave Schechinger	
Matt Van Scoyoc	✓	Adam Kofoed	✓			Kevin Olson	
Emilie Walsh	✓	Terry Goerdt	✓			John Hanna	
Sally Peck		Leslie Brick				Kevin Stoolman	

Motion to approve by: <i>Brad</i>	Approve Agenda	
Second: <i>Matt</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

Motion to approve by: <i>Ryan</i>	Approve the minutes from the May 24, 2022 meeting	
Second: <i>Jim Hoffman</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

**Public Hearing / Non-Consent Agenda:**

Motion to approve by: <i>Ryan</i>	Setting a Public Hearing date for September 27, 2022 to consider a request for rezoning 154 Ohrt Street from R-1 to R-2. / Move to action.	
Second: <i>Matt</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower <i>Abstain</i>		
Hoffman		

Motion to approve by: <i>Emily</i>	Setting a Public Hearing date for September 27, 2022 to consider a request for rezoning 224 N. 4th Street from R-3 to PUD AND a parcel along the east side of Wapsi Creek owned by the City of West Branch from P-1 to PUD. / Move to action.	
Second: <i>Brad Bower</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

Motion to approve by: <i>Ryan</i>	Setting a date for Public Hearing for September 27, 2022 for an amendment to the Historic Preservation Ordinance (Chapter 25). / Move to action.	
Second: <i>Jim Hoffman</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

Motion to approve by: <i>John</i>	Review and consider approval of Heritage Hill Preliminary Plat (with conditions). Move to action.	<ul style="list-style-type: none"> <li>• <i>Kevin Spelman</i></li> <li>• <i>approval part</i></li> <li>• <i>review of lighting</i></li> <li>• <i>check landscaping</i></li> </ul>
Second: <i>Ryan</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

Motion to approve by: <i>John</i>	Review and consider approval of Heritage Hill Site Plan Buildings 1-4 (with conditions). / Move to action.	
Second: <i>Ryan</i>		
Roll call: <i>AYES</i> <i>NAYS</i>		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

*o wet basin considered*  
*Kevin Spelman*  
*approval part*  
*review of lighting*  
*check landscaping*  
*approved*  
*minus commercial*  
*development area of*  
*the corner of 4th main*  
*(not considering that)*

*with above*  
*Conditions*



Motion to approve by:		
Second:		
Roll call: AYES NAYS		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

**Old Business:**

**a. Design standard discussion**

- matches rava city standards
- try to produce a potential ordinance

**i. Topics being considered**

- future covenants in developments
- not over legislating

**ii. Approval of Visit Ability Standards**

tabled until next meeting - Terry to provide

**iii. Comments on Accessory Dwelling Unit Model Ordinance**

Table

Motion to approve by:		
Second:		
Roll call:            AYES            NAYS		
Fuller		
R Bowers		
Van Scoyoc		
Peck		
Walsh		
B Bower		
Hoffman		

**Old Business:**

**a. Design standard discussion**

- matches rava city standards
- try to produce a potential ordinance

**i. Topics being considered**

- future covenants in developments
- not over legislating

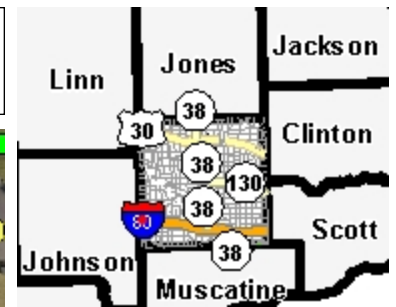
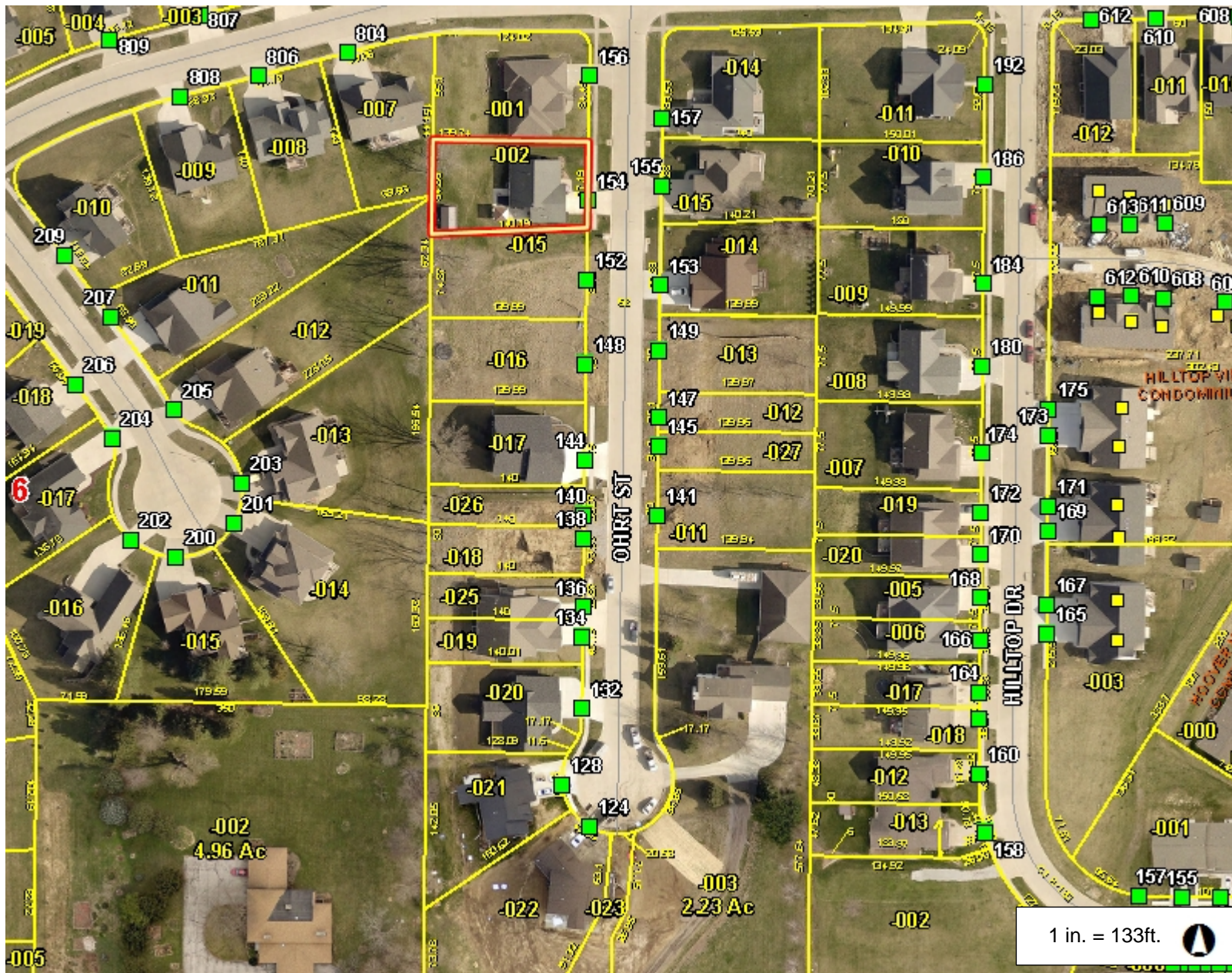
**ii. Approval of Visit Ability Standards**

tabled until next meeting - Terry to provide

**iii. Comments on Accessory Dwelling Unit Model Ordinance**

Table

# Cedar County, IA



## Legend

- Road
  - Interstate
  - US Highway
  - State Numbered Highway
  - <all other values>
- + Railroad
- Address Point
- Parcel
- Parcel Number/Acres
- Leased Land
- Land Hook
- Corporate Limit Line
- Park
- Section
- County Boundary

## Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



## **NOTICE OF PUBLIC HEARING**

### **NOTICE OF PUBLIC HEARING ON PROPOSAL TO REZONE ONE LOT LOCATED ON OHRT STREET FROM R-1 TO R-2 RESIDENTIAL DISTRICT.**

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the Planning and Zoning Commission of the City of West Branch in the Council Chambers at 110 N. Poplar Street, at 7:00 o'clock P.M., on **Tuesday, September 27, 2022.**

Said public hearing shall be to consider the proposal of rezoning of the following parcel: Lot 54, Pedersen Valley, Part Four, West Branch, Iowa, more commonly known as 154 Ohrt Street. Rezoning parcel #0500-13-06-386-002-0 from R-1 to R-2 District.

YOU ARE FURTHER NOTIFIED that a public hearing will be held by the City Council of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Monday, October 3, 2022.**

The public hearing will discuss the proposed rezoning of the following described parcel: Lot 54, Pedersen Valley, Part Four, West Branch, Iowa, more commonly known as 154 Ohrt Street. Rezoning parcel #0500-13-06-386-002-0 from R-1 to R-2 District.

All interested persons are invited to attend these meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch City Clerk.

ORDINANCE AN ORDINANCE ESTABLISHING A HISTORIC PRESERVATION COMMISSION FOR THE CITY OF \_\_\_\_\_, IOWA; PROVIDING FOR THE RECOGNITION AND PROMOTION OF HISTORIC SITES AND DEFINING POWERS AND DUTIES OF THE COMMISSION.

BE IT ORDAINED BY THE CITY COUNCIL  
OF \_\_\_\_\_:

**26.01: Purpose and Intent**

The purpose of this ordinance is to:

- a. Promote the educational, cultural, economic and general welfare of the public through the recognition, enhancement, and perpetuation of sites and districts of historical and cultural significance;
- b. Safeguard the City's historic, aesthetic, and cultural heritage by preserving sites and districts of historic and cultural significance;
- c. Stabilize and improve property values;
- d. Foster pride in the legacy of beauty and achievements of the past;
- e. Protect and enhance the City's attractions to tourists and visitors and the support and stimulus to business thereby provided;
- f. Strengthen the economy of the City;
- g. Promote the use of sites and districts of historic and cultural significance as places for the education, pleasure, and welfare of the people of the City.

**26.02: Definitions**

- a. Commission. The City of West Branch Historic Preservation Commission, as established by this ordinance.
- b. Historic District. An area which contains a significant portion of sites including archaeological sites, buildings, structures, objects and/or other improvements which, considered as a whole, possesses integrity of location, design, setting, materials, workmanship, feeling, and association, and
  1. embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or
  2. that represents a significant and distinguishable entity whose components may lack individual distinction; or
  3. is associated with events that have made significant contributions to the broad patterns of our local, state or national history; or
  4. possesses a coherent and distinctive visual character or integrity based upon similarity of scale, design, color, setting, workmanship, materials,

or combinations thereof, which is deemed to add significantly to the value and attractiveness of properties within such area.

5. is associated with the lives of persons significant in our past; or
6. has yielded, or may be likely to yield, information important in prehistory or history.

c. Historic Landmark. A site including archaeological sites, object, structure or building which,

1. is associated with events that have made a significant contribution to the broad patterns of our history; or
2. is associated with the lives of persons significant in our past; or
3. embodies the distinctive characteristics of a type, period, or method of construction, or that represents a work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
4. has yielded, or may be likely to yield, information important in prehistory or history.

d. Districts

1. “West Branch Historic District” consists of any building in West Branch that is listed on the National Register of Historic Places. All of the terms of this chapter apply to property located within the West Branch Historic District. (See Map included in the Appendix to this Code of Ordinances.)

2. “West Branch Preservation District” consists of all of those properties located within the West Branch Historic District, together with all of those properties in the West Branch Preservation District, as shown on the map included in the Appendix to this Code of Ordinances. The provisions of this chapter relating to signs apply to property located within the West Branch Preservation District. Any properties adjacent to a district, may be included in the West Branch Preservation District upon application of the property owner to the City Office. (See form of application in the Appendix to this Code of Ordinances.)

3. “West Branch Underground Railroad Preservation District” consist of any building or site in West Branch known to be affiliated with the underground railroad; or is a nearby property or site affiliated with the West Branch Underground Railroad. (See Map included in the Appendix to this Code of Ordinances.)

### **26.03: West Branch Historic Preservation Commission**

- a. The Commission shall initially consist of (not less than three, 3) members who shall be residents of the City.



- b. Members of the Commission shall be appointed by the Mayor with the advice and consent of the City Council. Members shall demonstrate a positive interest in historic preservation, possessing interest or expertise in architecture, architectural history, historic preservation, city planning, building rehabilitation, conservation in general or real estate.
- c. The original appointment of the members of the Commission shall be, three for two years, and two for three years, from January 1 following the year of such appointment or until their successor is appointed to serve for a term of three years.
- d. Vacancies occurring in the Commission, other than expiration of term of office, shall be only for the unexpired portion of the term of the member replaced.
- e. Members may serve for more than one term and each member shall serve until the appointment of a successor.
- f. Vacancies shall be filled by the City according to the original selection as aforesaid.
- g. Members shall serve without compensation.
- h. A simple majority of the commission shall constitute a quorum for the transaction of business.
- i. The Commission shall elect a Chairman who shall preside over all Commission meetings and elect a Secretary who shall be responsible for maintaining written records of the commission's proceedings.
- j. The Commission shall meet at least three (3) times a year.

Because the West Branch Historic Preservation Commission has a strong interest in liaison with organizations that have a special affinity with local history, the Commission may recommend to the Mayor and Council that up to three Ex. Officio (non-voting) honorary members be appointed to the Commission by the Mayor with the advice and consent of the City Council. These Ex. Officio (non-voting) honorary members may be representatives of the Herbert Hoover National Historic Site, the Herbert Hoover Presidential Library-Museum and the Hoover Presidential Foundation.

#### 26.04: Powers of the Commission

- a. The Commission may conduct studies for the identification and designation of historic districts and landmarks meeting the definitions established by this ordinance. The commission may proceed at its own initiative or upon a petition from any person, group, or association. The Commission shall maintain records of all studies and inventories for public use.

- b. The Commission may make a recommendation to the State Historic Preservation Office for the listing of a historic district or landmark in the National Register of Historic Places and may conduct a public hearing thereon.
- c. The Commission may investigate and recommend to the City Council the adoption of ordinances designating historic landmarks and historic districts if they qualify as defined herein; and
- d. Provide information for the purpose of historic preservation to the governing body. Promote and conduct an educational and interpretive program on historic properties within its jurisdiction.
- e. Promote and conduct an educational and interpretive program on historic properties within its jurisdiction.
- f. Other Powers. In addition to those duties and powers specified above, the Commission may, with City Council approval:
  - i. Accept unconditional gifts and donations of real and personal property, including money, for the purpose of historic preservation.
  - ii. Acquire by purchase, bequest, or donation, fee and lesser interests in historic properties, including properties adjacent to or associated with historic properties.
  - iii. Preserve, restore, maintain and operate historic properties, under the ownership or control of the Commission.
  - iv. Lease, sell, and otherwise transfer or dispose of historic properties subject to rights of public access and other covenants and in a manner that will preserve the property.
  - v. Contract, with the approval of the governing body, with the state or the federal government or other organizations. Cooperate with the federal, state and local governments in the pursuance of the objectives of historic preservation.

**26.05: PERMIT REQUIRED.** It is unlawful for any person to begin new construction or to make any external alteration or repairs, including signs, in any manner whatsoever to any building within the confines of the Historic District, or to install or change a sign within the Preservation District, without first obtaining a permit as provided herein. Permits may be found and turned in at the City Office.

**26.06: APPLICATION.** Applicants for permit under this chapter must file with the Mayor an application in writing on a form furnished for such purpose, which shall give the following information:

1. Name of applicant and property owner.
2. Permanent address of applicant and full address of property owner.

3. A detailed description of the nature of the proposed construction, external alteration and/or repair to the building.
4. A drawing or sketch of proposed construction or external alteration.
5. The intended start and finish dates for alteration and/or repair.

*(See the Appendix to this Code of Ordinances for Permit Application Form.)*

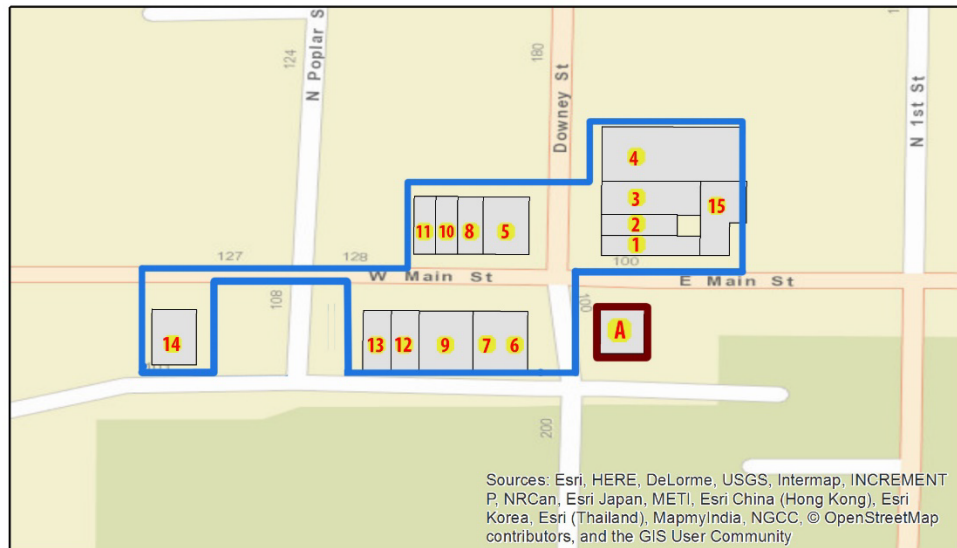
**26.07: ADMINISTRATIVE REVIEW AUTHORITY.** The City Administrator or designee and the Historic Preservation Commission Chair, will have authoritative review rights on window decals that meet design standards. The Historic Preservation Commission will be the appeal board on window decal administrative review.

**26.08: INVESTIGATION AND ISSUANCE.**

1. Upon receipt of application for permit under this chapter by the Mayor or designated alternate, the application shall be checked for compliance with the City of West Branch Building Codes within five (5) days. It shall also be referred upon receipt to the Chairperson of the West Branch Preservation Commission.
2. Applications for construction, alterations and/or repairs not in compliance with City of West Branch Building Codes will be returned to the applicant with a complete explanation of changes necessary for compliance.
3. Upon receipt of application, the Chairperson of the West Branch Preservation Commission shall call a meeting of said Commission. The Commission shall approve or disapprove the application by majority vote based on the *Basic Standards for the Restoration and Rehabilitation of Historic Structures, Standards for Signage Design and Display, Checklist and Example of Prohibited Signs*. (See *Appendix to this Code of Ordinances*.) The application and a report of Commission action shall be returned to the Mayor within ten (10) calendar days from date of receipt.
4. Upon receipt of the application and report from the West Branch Preservation Commission, the Mayor or designated agent will issue a permit to authorize construction, alterations and repairs receiving approval of the Commission. The permit shall be issued within twelve (12) calendar days from the date of the application. The permit fee shall be \$10.00.
5. Upon receipt of an unfavorable report from the West Branch Preservation Commission, the Mayor or his or her assigned agent will notify applicant of the rejection and the reason therefor. The applicant will also be informed in the same notification that the rejection can be appealed through the Council at the following regular meeting, or that a revised application may be submitted to the Commission for review.



# West Branch Preserved Historic Buildings



## Legend

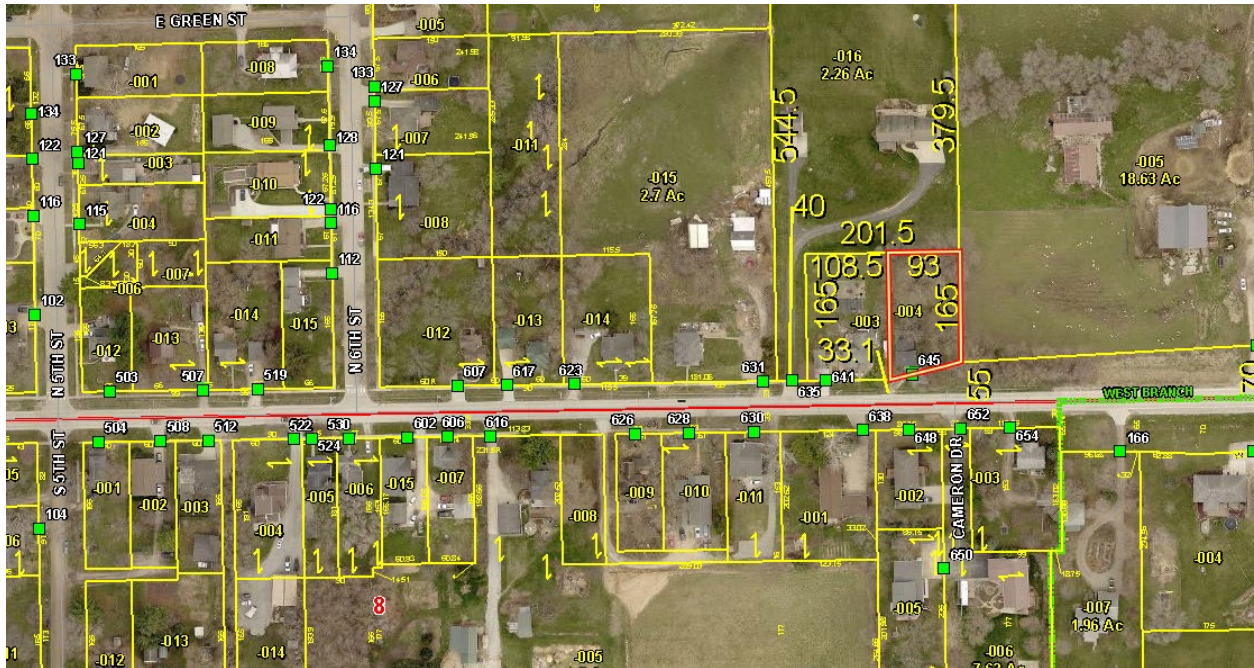
- Preserved Buildings
- Historic District
- Preservation District

## Building Legend

1. Citizen's Savings Bank (1908)
2. Leech Building (1912)
3. Leech-Gruwell Garage (1911)
4. Opera Block (1895)

5. Old West Branch State Bank (1916)
6. Crook's Hotel/Hoover House (1870)
7. West Branch Bank (1875)
8. Veterans Memorial Building (1947)
9. Union Block (1895)
10. Patterson-Leech Building (1890)

11. Gruwell-Crew Building (1894)
12. Earliest Citizen's Savings Bank (1898)
13. Grinnell Building (1869)
14. Enlow Building (1904)
15. Rich and Bailey Block (1895)
- A- Albin-Douglass Building



**Red:** West Branch Underground Railroad Preservation District, selected property is known as Townsend's Traveler's Rest.



## NOTICE OF PUBLIC HEARING

### NOTICE OF PUBLIC HEARING ON AMENDING THE HISTORIC PRESERVATION COMMISSION ORDINANCE – CHAPTER 25 OF THE WEST BRANCH CODE OF ORDINANCES.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the **Historic Preservation Commission** of the City of West Branch in the Council Chambers at 110 N. Poplar Street, at 6:30 o'clock P.M., on **Wednesday, September 14, 2022**.

Said public hearing shall be to consider the proposal of re-instating the Historic Districts of West Branch, Iowa and establishing a new district for the Townsends Traveler's Rest.

YOU ARE FURTHER NOTIFIED that a public hearing will be held by **the Planning & Zoning Commission** of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Tuesday, September 27, 2022**.

Said public hearing shall be to consider the proposal of re-instating the Historic Districts of West Branch, Iowa and establishing a new district for the Townsends Traveler's Rest.

YOU ARE FURTHER NOTIFIED that a public hearing will be held by the **City Council** of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Monday, October 3, 2022**.

Said public hearing shall be to consider the proposal of re-instating the Historic Districts of West Branch, Iowa and establishing a new district for the Townsends Traveler's Rest.

All interested persons are invited to attend these meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch City Clerk.



## NOTICE OF PUBLIC HEARING

### NOTICE OF PUBLIC HEARING ON PROPOSAL TO REZONE VARIOUS PARCELS IN THE AREA BOUNDED BY N. 2<sup>ND</sup> STREET; E. COLLEGE STREET; E. MAIN STREET AND N. 4<sup>TH</sup> STREET.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the Planning and Zoning Commission of the City of West Branch in the Council Chambers at 110 N. Poplar Street, at 7:00 o'clock P.M., on **Tuesday, September 27, 2022**. Said public hearing shall be to consider the proposal of rezoning of the following parcels:

All that portion of former Depot Street as shown in the 1901 Replat of West Branch, Iowa, as shown in Book S, pages 351-353, Recorder's Office, Cedar County, Iowa, and more particularly described as follows: Beginning at the NW corner of Lot Five (5), Block Thirteen (13) in the Town of West Branch, Cedar County, Iowa; thence westerly 20.48 feet along the northerly line of said Lot Five (5) produced westerly to a point; thence northerly along a straight line to the NW corner of Lot Ten (1), said Block Thirteen (13), thence southeasterly along the westerly line of said Block Thirteen (13) to a point of beginning; and also

Lots Six (6), Seven (7) and Eight (8) in Block Thirteen (13) in the Original Town of Cameron, now West Branch, Cedar County, Iowa; also beginning at the NE corner of Lot Seven (7) of Block Thirteen (13) of the plat of the Original Town of Cameron as recorded in Book E at pages 436-438 of the Town Lot Deed Records of Cedar County, Iowa; thence north to the SE corner of Lot Eight (8) in said Block Thirteen (13); thence west along the south line of said Lot Eight (8) to the SW corner of Lot Eight (8); thence south to the NW corner of Lot Seven (7) of said Block Thirteen (13); thence east along the north line of Lot Seven (7) to the place of beginning; and also

Beginning at the NW corner of Lot 5 in Block 13, 1901 Replat of West Branch, Cedar County, Iowa, as shown in Book S, pages 351-353, Recorder's Office of Cedar County, Iowa; thence northerly to the SW corner of Lot 6 in Block 13; thence westerly along the southerly border of said Lot 6 to the SW corner thereof; thence southeasterly along the northern lot line of said Lot 5 to the point of beginning; and also

Lot 9, Block 13 in the Original Town of Cameron, now West Branch, Cedar County, Iowa; and also

That portion of Wapsi Creek Park shown on that certain preliminary plat of Heritage Hill Subdivision, West Branch, Iowa.

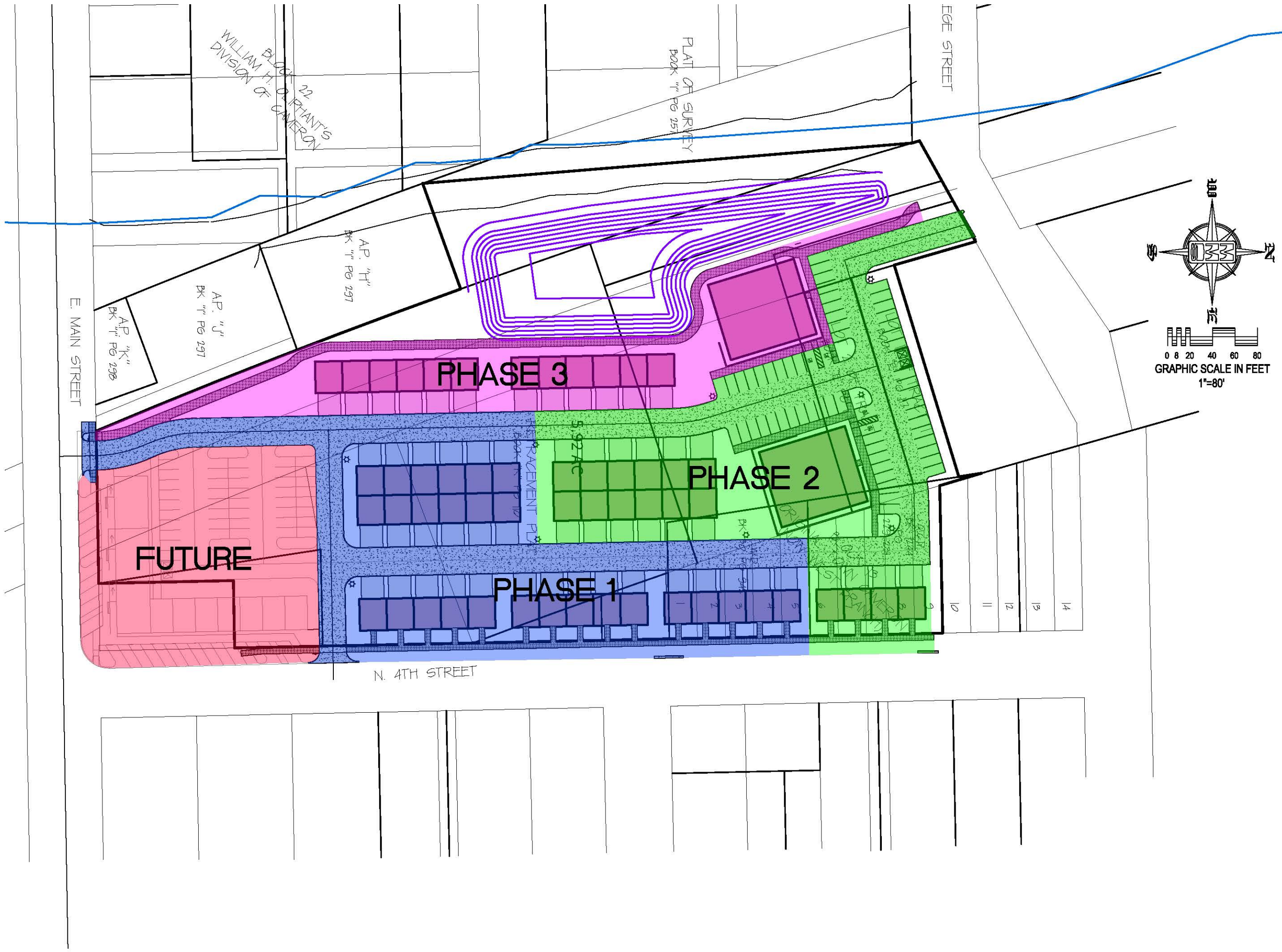
From R-3 and P-1 to Planned Unit Development District.

YOU ARE FURTHER NOTIFIED that a public hearing on the same subject will be held by the City Council of the City of West Branch, Cedar County, in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on **Monday, October 3, 2022**.

All interested persons make appear at this meeting to make comment on the proposed rezoning application in the City of West Branch, Iowa.

Leslie Brick, City Clerk,  
by Direction of the Planning and Zoning Commission





CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date	Revision

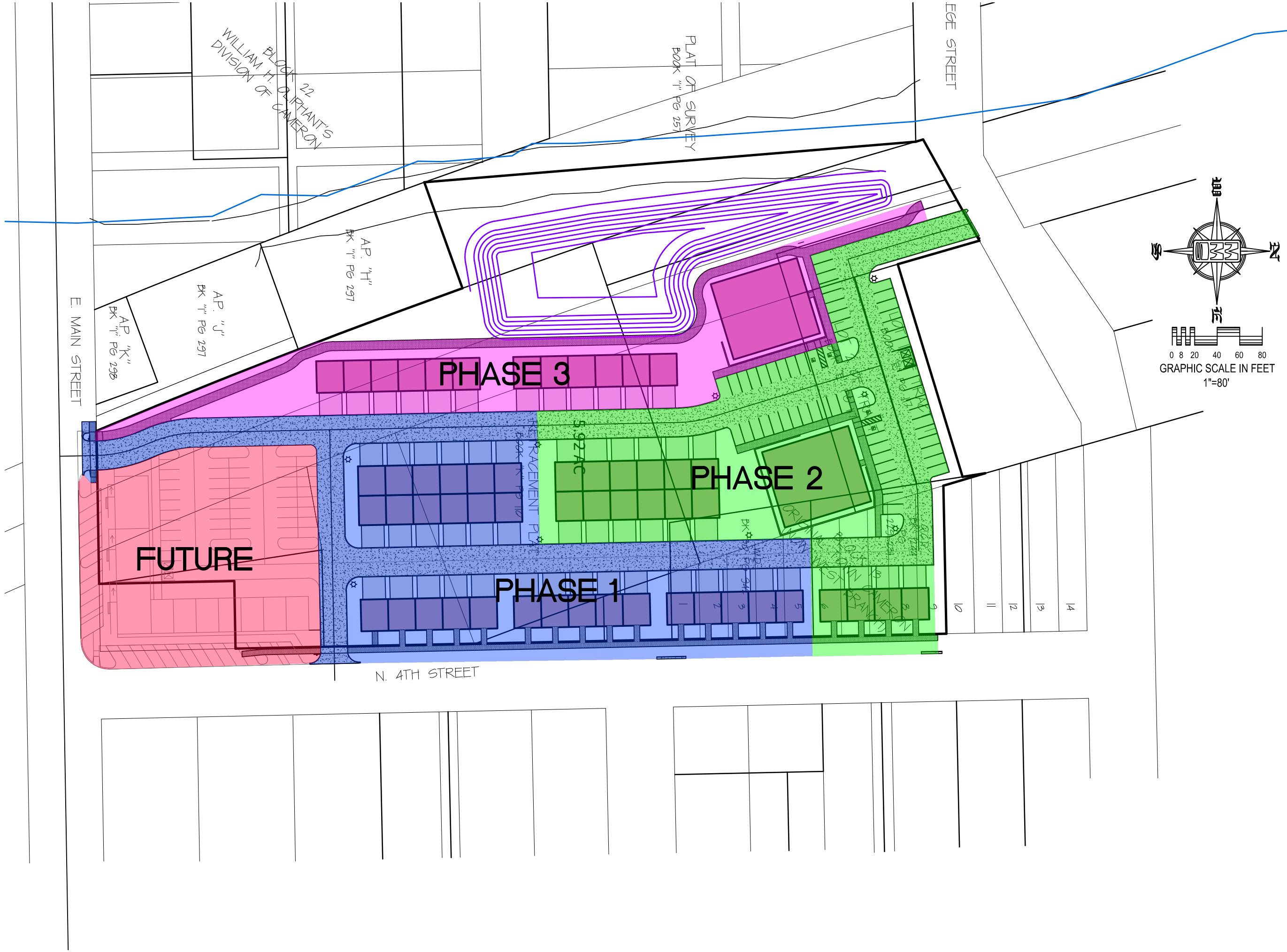
## PHASING PLAN

HERITAGE HILL,  
LOT 1  
WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date:	8/31/22
Designed by:	KJC
Field Book No:	1343
Drawn by:	KJC
Scale:	1"=80'
Checked by:	KJB
Sheet No:	1
Project No:	11186-002
of:	1





CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282

[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date	Revision

## PHASING PLAN

HERITAGE HILL,  
LOT 1  
WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date:	8/31/22
Designed by:	KJC
Field Book No:	1343
Drawn by:	KJC
Scale:	1"=80'
Checked by:	KJB
Sheet No:	1
Project No:	11186-002
of:	1





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LAND PLANNERS  
LAND SURVEYORS  
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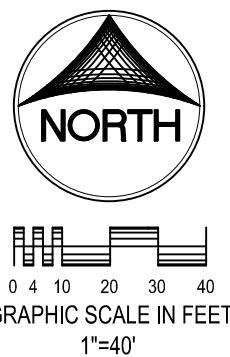
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

## OVERALL SITE LAYOUT AND DIMENSION PLAN

HERITAGE HILL,  
LOT 1  
WEST BRANCH, CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.  
Date: 08-04-22  
Designed by: KLC Field Book No: 1343, PG 39  
Drawn by: TAV Scale: 1"=40'  
Checked by: KJB Sheet No:  
Project No:  
11186-002 of:

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BRCC LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

**IOWA ONE CALL**

**STANDARD LEGEND AND NOTES**

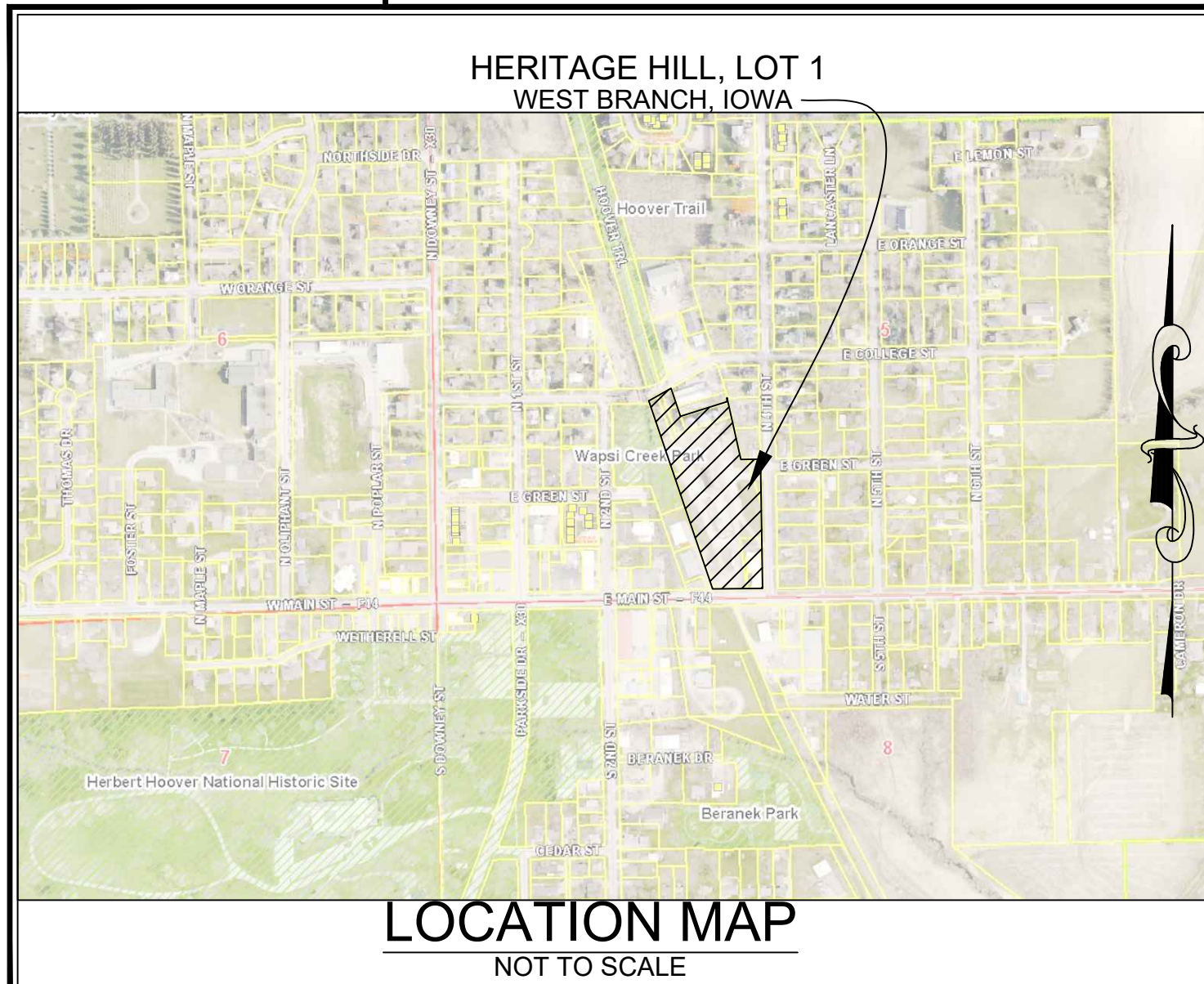
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- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

**FEMA NOTE:**

1. A PORTION OF THIS SITE RESIDES WITHIN THE FEMA FLOODWAY AREA IN ZONE AE, THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE), AND THE ZONE X (0.2% CHANCE) AS NOTED IN FEMA PANEL NUMBER 19031C0212C, EFFECTIVE DATE: 08/19/2013. SEE LEGEND BELOW.

- FLOODWAY AREA IN ZONE AE
- THE ZONE AE 100-YEAR FLOOD ZONE (1.0% CHANCE)
- THE ZONE X (0.2% CHANCE)



PAVING CONSTRUCTION NOTES	PAVEMENT LEGEND	MATERIAL	TOTAL*
1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.		7" PCC	5,176 SY
2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.		6" PCC	3,618 SY
3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.		4" PCC	1,573 SY
4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.			
5. ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.			
*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE			

LEGAL:  
HERITAGE HILL - LOT 1 IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 5.93 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

100 YEAR FLOOD ELEVATION = 713.20

**SITE DEVELOPMENT SUMMARY:**

ZONING: PUD  
SQUARE FOOTAGE: 258,182 SF  
PROPOSED USE: RESIDENTIAL

**DEVELOPMENT CHARACTERISTICS:**

HERITAGE HILL - LOT 1 ON GREEN STREET IS TO BE A 5.93 ACRE. THE PLAN WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-PLEX BUILDINGS, AND FIFTY FIVE (55) PROPOSED RESIDENTIAL 2 (TWO) BEDROOM UNITS.

**DEVELOPMENT SCHEDULE:**

APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2022, WITH AN ESTIMATED COMPLETION DATE IN FALL 2023.

**SITE COVERAGES:**

TOTAL LOT AREA	258,182 S.F. (100%)
PROPOSED BUILDING AREA	46,117 S.F. (17.9%)
PROPOSED PAVING AREA	86,800 S.F. (33.6%)
TOTAL IMPERVIOUS AREA	132,917 S.F. (51.5%)
TOTAL OPEN AREA	125,265 S.F. (48.5%)

**LOT REQUIREMENTS:**

FRONT YARD SETBACK	(N. 4TH ST) 13 FEET (E. MAIN ST) 15 FEET (E. COLLEGE ST) 15 FEET 15 FEET
SIDE YARD SETBACK	15 FEET
REAR YARD SETBACK	15 FEET

**PARKING REQUIREMENTS:**

2 SPACES PER UNIT/ 12 UNITS (TWO BEDROOM EACH) PER BUILDING/ 2 BUILDINGS  
2\*(12+12) = 48 SPACES  
TOTAL PARKING PROVIDED = 60 SPACES

2 SPACES PER UNIT/ (TWO BEDROOM EACH) PER BUILDING/ 55 BUILDINGS  
2\*(55) = 110 SPACES  
TOTAL PARKING PROVIDED = 220 SPACES (110 GARAGE SPACES AND 110 DRIVE SPACES)

SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.

SHEET INDEX	EXISTING FEATURES AND DEMOLITION
CD100	PLAN
C120	OVERALL SITE LAYOUT AND DIMENSION
C121	DETAILED SITE LAYOUT AND DIMENSION
C121	PLAN - NORTH HALF
C121	DETAILED SITE LAYOUT AND DIMENSION
C121	PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

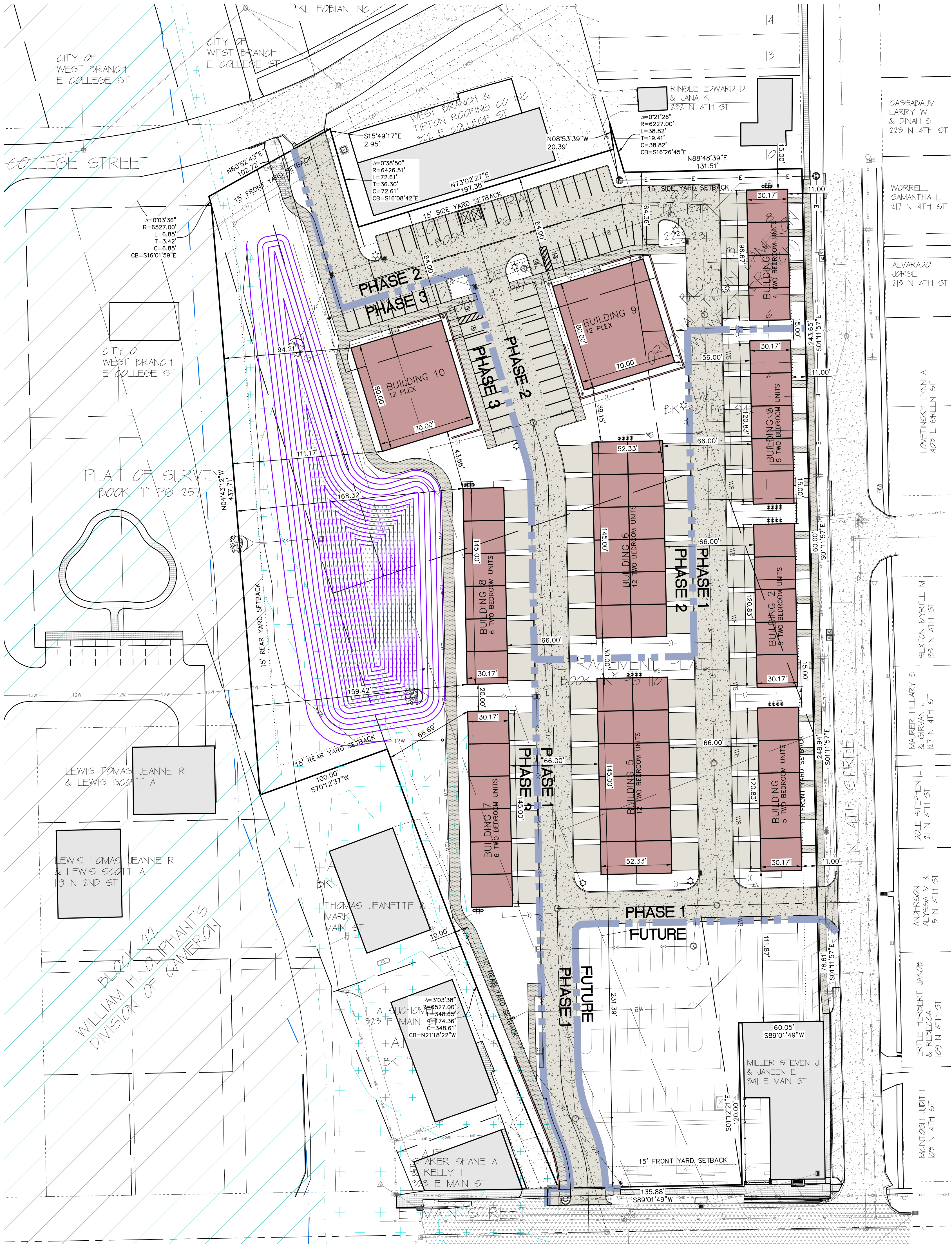
I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

KELLY J. BECKLER  
14624  
P.E. Iowa Lic. No. 14624

October 31, 2022

Pages covered by this seal:

SEAL







CIVIL ENGINEERS  
LAND PLANNERS  
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LANDSCAPE ARCHITECTS  
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Date	Revision
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DETAILED SITE LAYOUT  
AND DIMENSION PLAN  
- NORTH HALF

HERITAGE HILL,  
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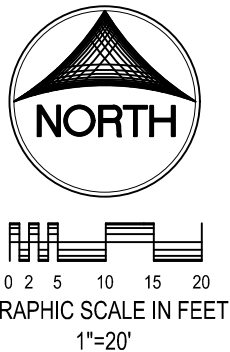
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Checked by:	KJB
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of:	

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

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## PAVEMENT LEGEND MATERIAL TOTAL\*

	7" PCC	5,176 SY
	6" PCC	3,618 SY
	4" PCC	1,329 SY

\*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

## STANDARD LEGEND AND NOTES

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KEYNOTES	NUMBER	KEYNOTE	DETAIL
	1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
	2	INSTALL STANDARD 6" CURB AND GUTTER	
	3	INSTALL THICKENED EDGE SIDEWALK	
	4	INSTALL 4" PCC SIDEWALK	
	5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT'-5' JOINT	
	6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
	7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET C1500	
	8	INSTALL ADA RAMP	
	9	INSTALL 3" ROLL CURB AND GUTTER	
	10	TRANSITION TO 6" CURB	
	11	TRANSITION CURB TO ZERO	
	12	MATCH EXISTING CURB AND GUTTER	
	13	INSTALL DUMPSTER ENCLOSURE	
	14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
	15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
	16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
	17	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	
	18	INSTALL ADA COMPLIANT SAFETY RAIL	





CIVIL ENGINEERS  
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Date	Revision
8/24/22	INTERNAL REVIEW - KJC
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DETAILED SITE LAYOUT  
AND DIMENSION PLAN  
- SOUTH HALF

HERITAGE HILL,  
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Date:	08-04-22
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# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

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MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
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0 2 5 10 15 20  
GRAPHIC SCALE IN FEET  
1"=20'

## PAVEMENT LEGEND MATERIAL TOTAL\*

	7" PCC	
	6" PCC	
	4" PCC	

\*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

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	6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
	7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
	8	INSTALL ADA RAMP	
	9	INSTALL 3" ROLL CURB AND GUTTER	
	10	TRANSITION TO 6" CURB	
	11	TRANSITION CURB TO ZERO	
	12	MATCH EXISTING CURB AND GUTTER	
	13	INSTALL DUMPSTER ENCLOSURE	
	14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
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	16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
	17	EDGE OF PAVEMENT, NO CURB	
	18	INSTALL LANDSCAPE BLOCK RETAINING WALL (DESIGNED BY OTHERS)	





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SITE GRADING AND  
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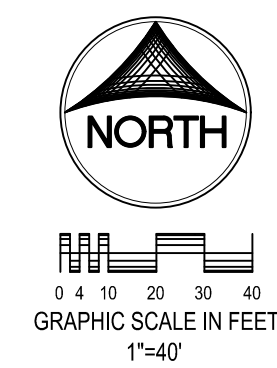
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- CURVE SEGMENT NUMBER

**EXIST- PROP-**

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

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**SILT FENCE DETAIL**

N.T.S.

**INSTALLATION**

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

**MAINTENANCE**

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**GRADING AND EROSION CONTROL NOTES**

TOTAL SITE AREA: 5.93 ACRES  
TOTAL AREA TO BE DISTURBED: 5.93 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

**GRADING NOTES**

- 1.) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
- 2.) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- 3.) WHERE HEIGHT OF FILL IS GREATER THAN 30" AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- 4.) COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- 5.) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- 6.) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- 7.) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- 8.) SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- 9.) ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH SUDAS DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

**EROSION CONTROL LEGEND**

- FINAL FILTER SOCK
- SILT FENCE
- PERIMETER SILT FENCE
- EROSION CONTROL MATTING
- TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
- TEMPORARY PARKING AND STORAGE
- CONCRETE TRUCK/EQUIPMENT WASHOUT
- PORTABLE RESTROOM
- DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- TEMPORARY SOIL STOCKPILE AREA
- DIRECTION OF OVERLAND FLOW
- DUMPSTER FOR CONSTRUCTION WASTE
- RIP RAP OUTLET PROTECTION
- OTHER MEASURE: \_\_\_\_\_
- OTHER MEASURE: \_\_\_\_\_
- OTHER MEASURE: \_\_\_\_\_

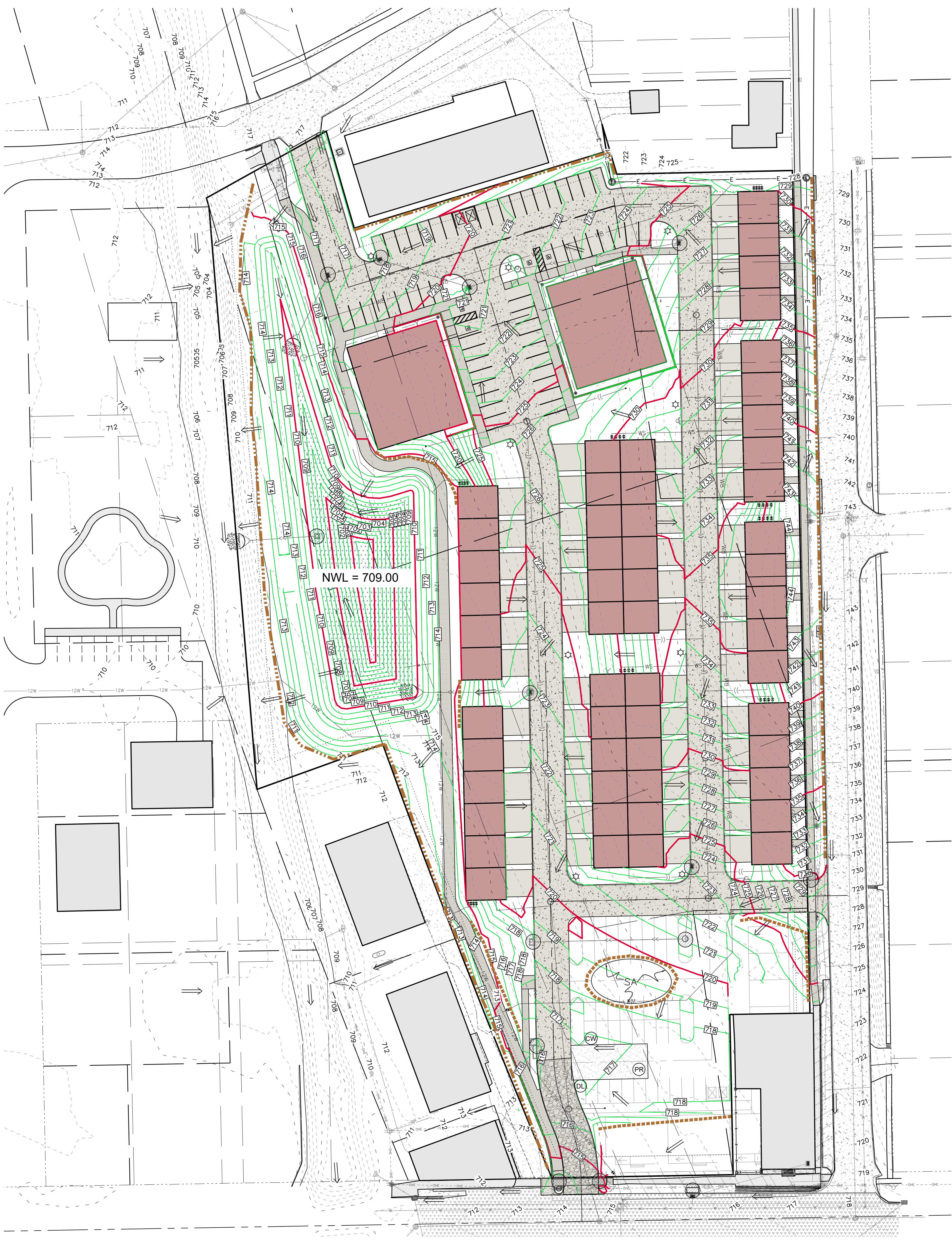
THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

**NOTES:**

1. TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
2. FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.







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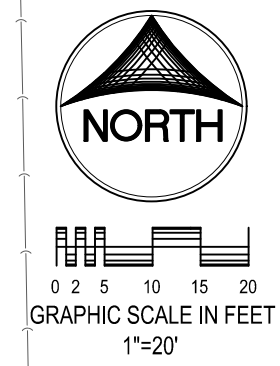
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
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DETAILED GRADING PLAN  
- NORTH HALF

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG. 39
Drawn by:	TAV
Scale:	1"=20'
Checked by:	KJB
Sheet No:	C141
Project No:	11186-002
of:	

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BBO LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240

**UTILITIES**

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**IOWA ONE CALL**

**STANDARD LEGEND AND NOTES**

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

**EXIST- 22-1**

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
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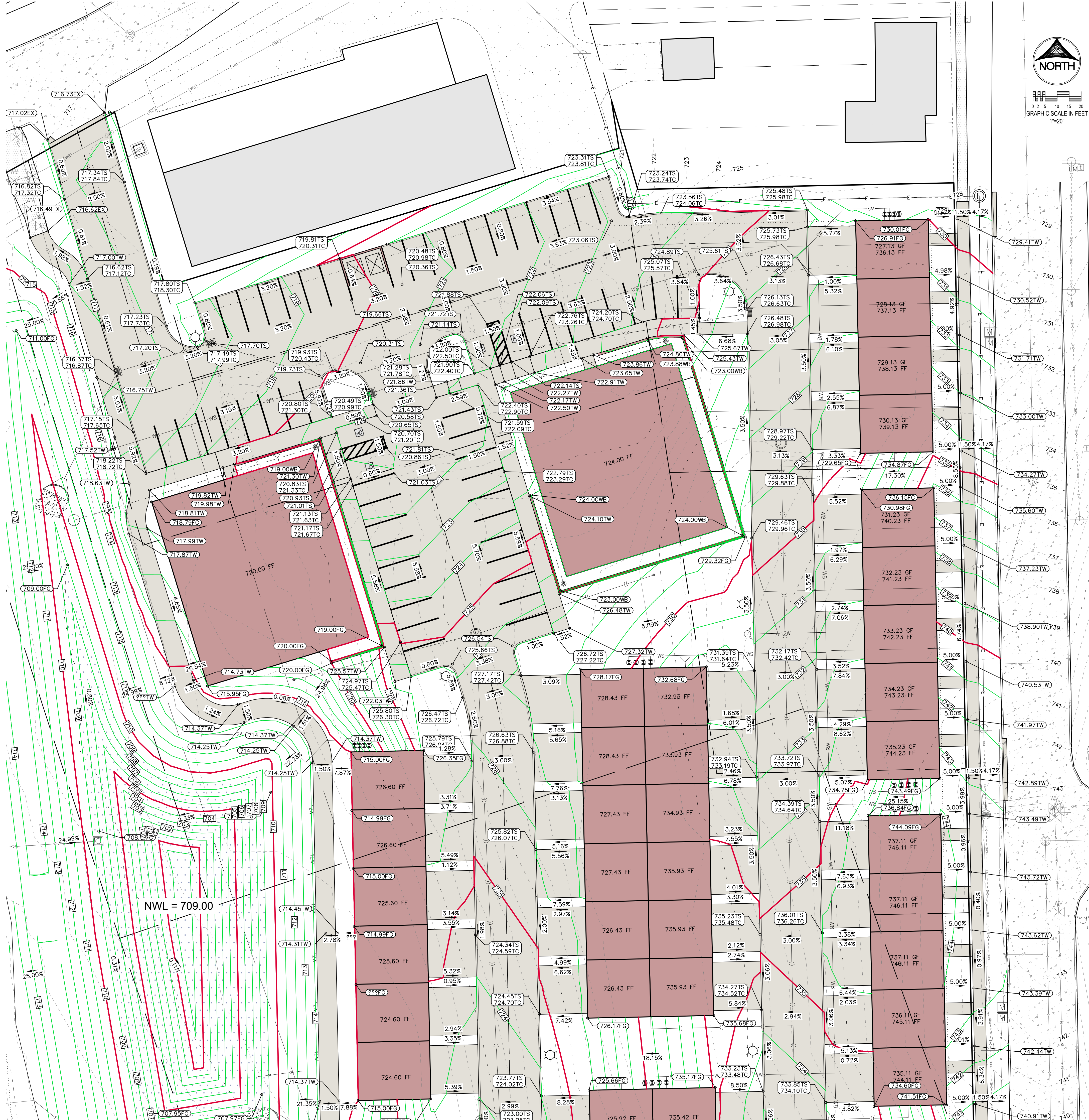
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- L100 LANDSCAPE PLAN

**GRADING LEGEND**

- 0000.00EG - EXISTING GRADE
- 0000.00FG - FINISHED GRADE
- 0000.00TC - TOP CURB
- 0000.00TS - TOP SLAB
- 0000.00TW - TOP WALK
- 0000.00TR - TOP RIM
- 0000.00WB - BOTTOM WALL\*
- 0000.00WT - TOP WALL\*

\*REPRESENT GROUND ELEVATION AT WALL







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DETAILED GRADING PLAN  
- SOUTH HALF

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG 39
Drawn by:	TAV
Scale:	1"=20'
Checked by:	KJB
Sheet No:	C142
Project No:	11186-002
of:	

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
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APPLICANT:  
BBOC LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
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216 STEVENS DRIVE  
IOWA CITY, IA 52240



GRAPHIC SCALE IN FEET  
1"=20'

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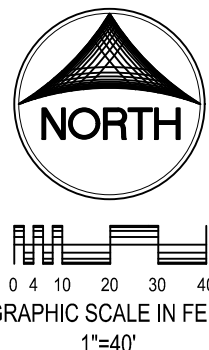
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UTILITY PLAN:  
SEWER AND WATER

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.	
Date:	08-04-22
Designed by:	KLC
Drawn by:	TAV
Checked by:	KJB
Project No:	11186-002
Field Book No:	1343, PG 39
Scale:	1"=40'
Sheet No:	C160

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA



PLAT PREPARED BY:  
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UTILITY PLAN:  
STORM AND ELETRIC

HERITAGE HILL,  
LOT 1  
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L100	LANDSCAPE PLAN

## UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/232-8899 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

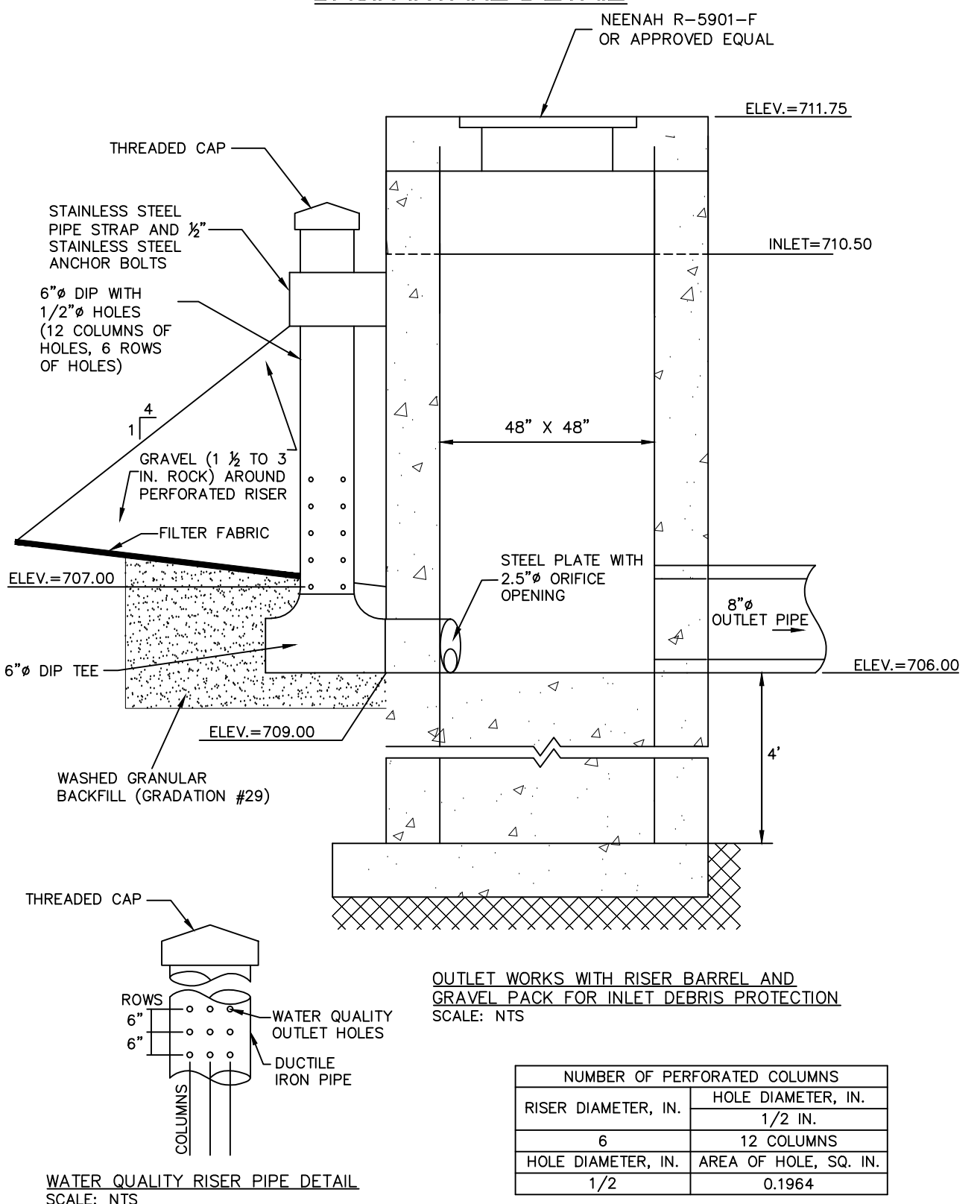


## STANDARD LEGEND AND NOTES

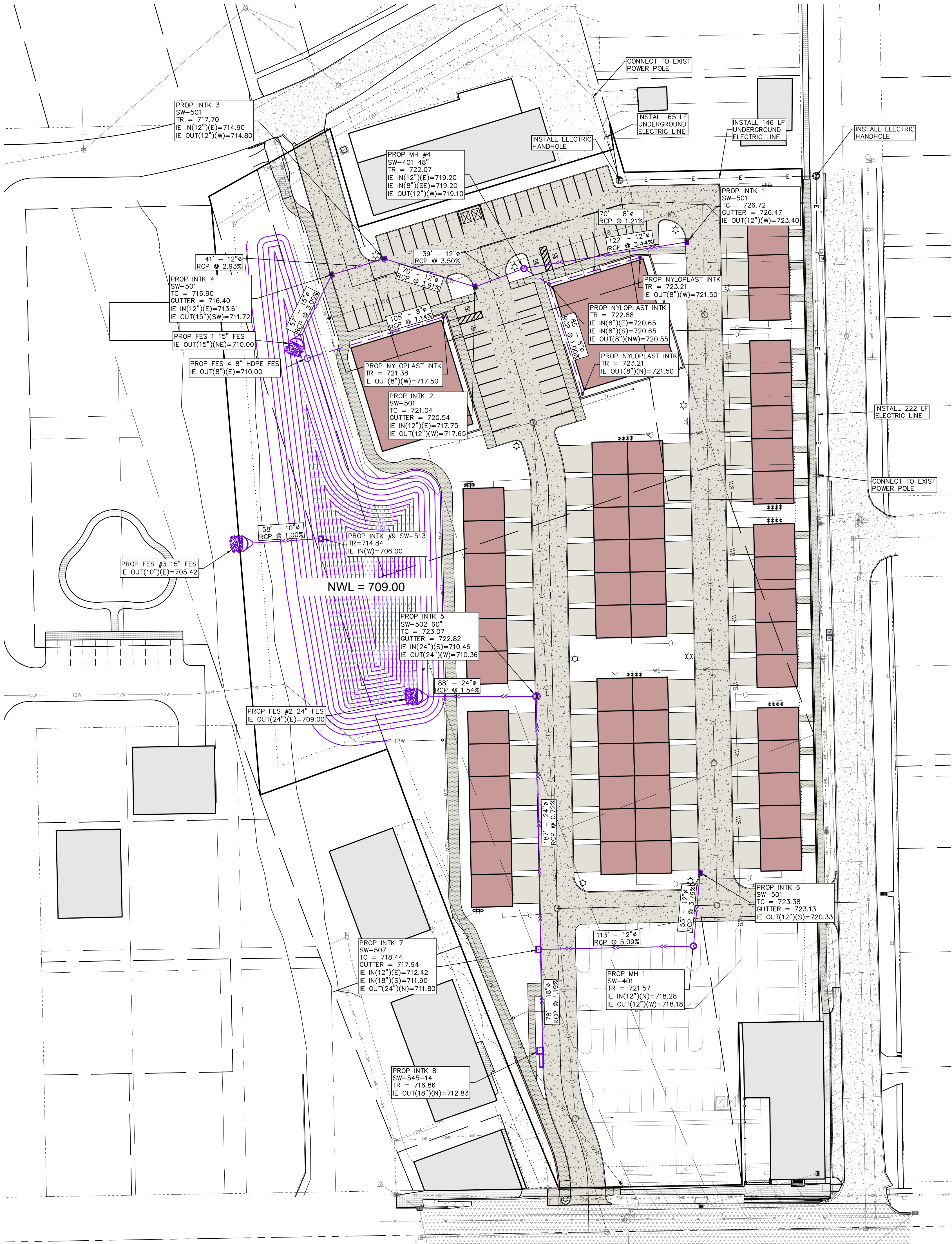
PROPERTY &/or BOUNDARY LINES	CONGRESSIONAL SECTION LINES
RIGHT-OF-WAY LINES	EXISTING RIGHT-OF-WAY LINES
EXISTING CENTER LINES	LOT LINES, INTERNAL
LOT LINES, PLATTED OR BY DEED	PROPOSED EASEMENT LINES
EXISTING EASEMENT LINES	BENCHMARK
RECORDED DIMENSIONS	CURVE SEGMENT NUMBER
EXIST- 22-1 (R)	PROPOSED 22-1 (R)
POWER POLE	POWER POLE W/DROP
POWER POLE W/TRANS	POWER POLE W/LIGHT
GUY POLE	LIGHT POLE
SANITARY MANHOLE	FIRE HYDRANT
WATER VALVE	DRAINAGE MANHOLE
CURB INLET	FENCE LINE
EXISTING SANITARY SEWER	PROPOSED SANITARY SEWER
EXISTING STORM SEWER	PROPOSED STORM SEWER
WATER LINES	ELECTRICAL LINES
TELEPHONE LINES	GAS LINES
CONTOUR LINES (1' INTERVAL)	PROPOSED GROUND
EXISTING TREE LINE	EXISTING DECIDUOUS TREE & SHRUB
EXISTING EVERGREEN TREES & SHRUBS	

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

## BASIN INTAKE DETAIL



NUMBER OF PERFORATED COLUMNS	
RISER DIAMETER, IN.	HOLE DIAMETER, IN.
6	1/2 IN.
12	1/2 IN.
12	1/2 IN.
12	1/2 IN.







CIVIL ENGINEERS  
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IOWA CITY, IOWA 52240  
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Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

## GENERAL NOTES AND DETAILS

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.

Date: 08-04-22  
Designed by: KJC Field Book No: 1343, PG 39  
Drawn by: TAV Scale: N/A  
Checked by: KJB Sheet No:  
Project No:

C500

11186-002 of

## SANITARY SEWER AND WATERMAIN NOTES

- SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2016) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.01E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- CONTRACTOR TO PROVIDE FERNOCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHOWN ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
  - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
  - WILL NOT SHOW STEPS.
  - WILL HAVE EXTERNAL CHIMNEY SEAL BY INFILSEILD UNIBAND, CRETEX, OR APPROVED EQUAL.
  - WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
  - WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, I.E. WOOD, BRICK, ROCKS, ETC.
  - WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :
  - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
  - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
- ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING.

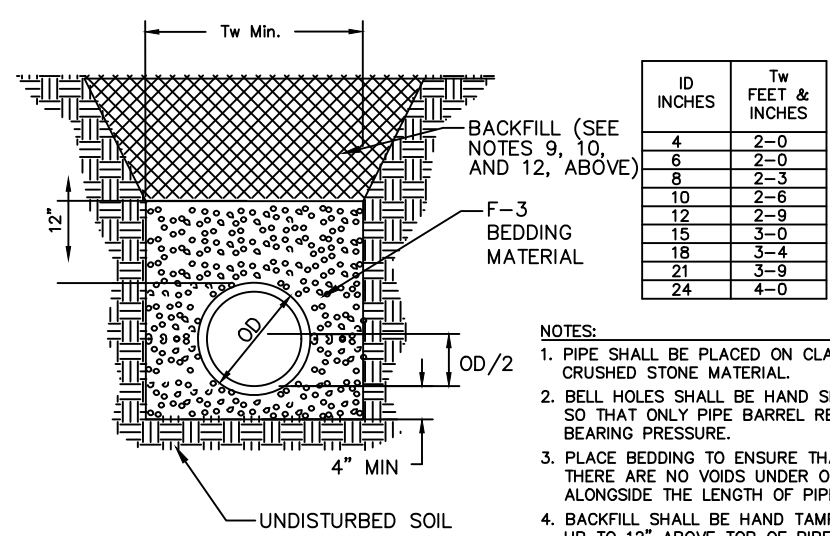
### AIR TESTING

- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
 

NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.

  - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
  - PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
  - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psi & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
  - LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
  - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
  - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:
 

PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5
  - IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.5 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.
  - LOCATE, REPAIR AND RETEST LEAKS.
    - AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
    - ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
      - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
      - DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
      - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



### THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED :

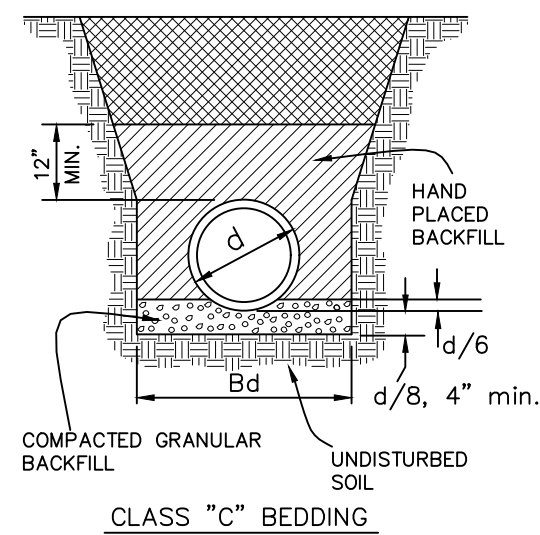
- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
- NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

## STORM SEWER NOTES

- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- STORM SEWERS SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
  - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS, STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

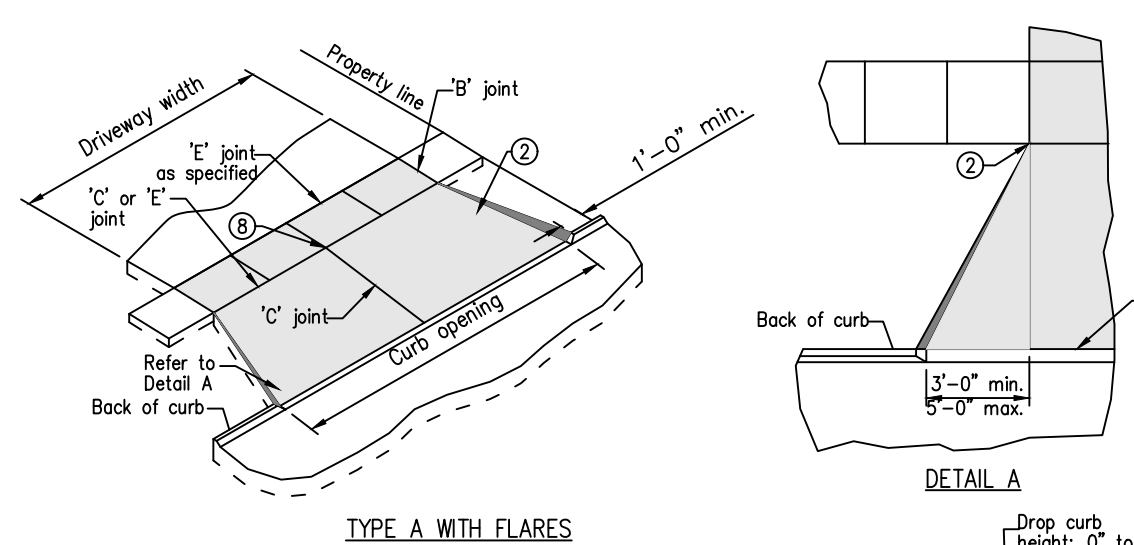
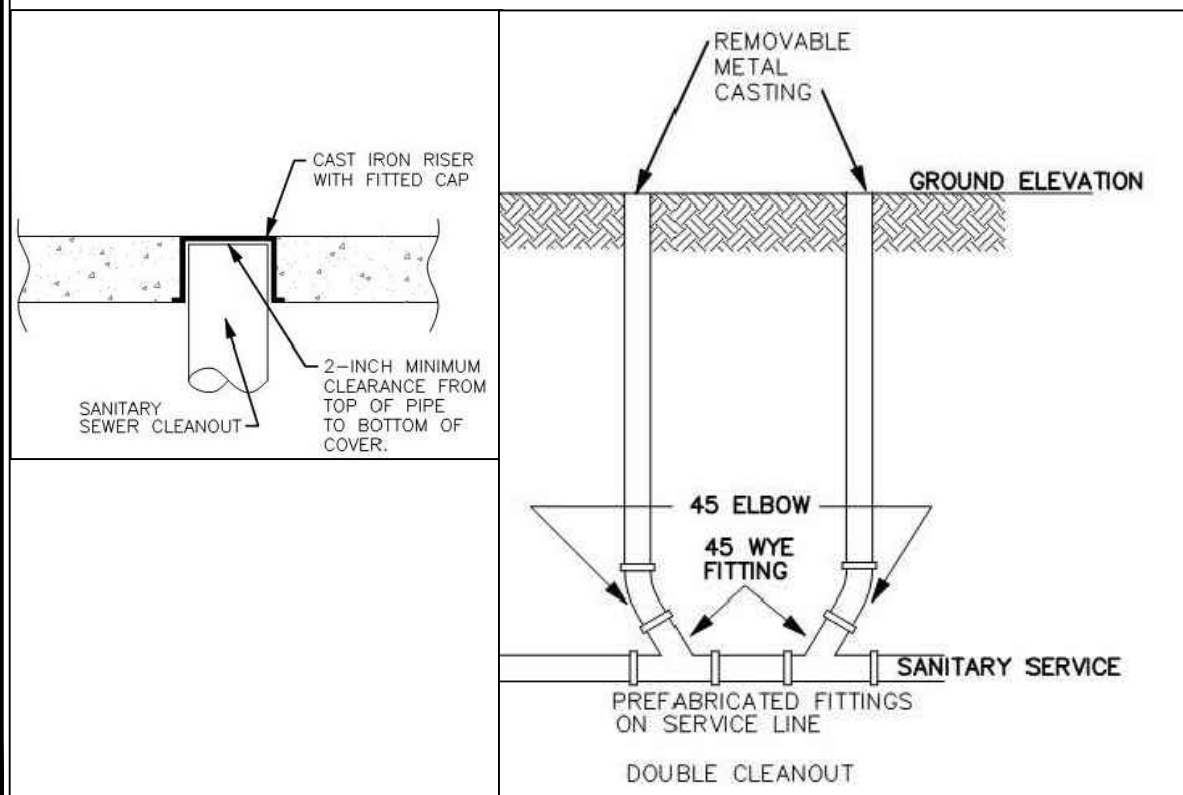


- PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
- BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
- PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
- BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
- SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bg.

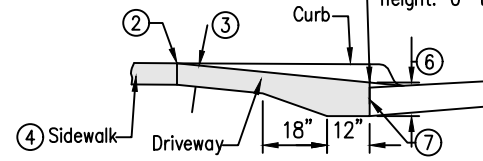
ID INCHES	Bd FEET & INCHES
12	2-3
15	2-9
18	3-0
21	3-3
24	3-6
27	4-0
30	4-3
36	4-9
42	5-6
48	6-3

## SIAMESE DETAIL

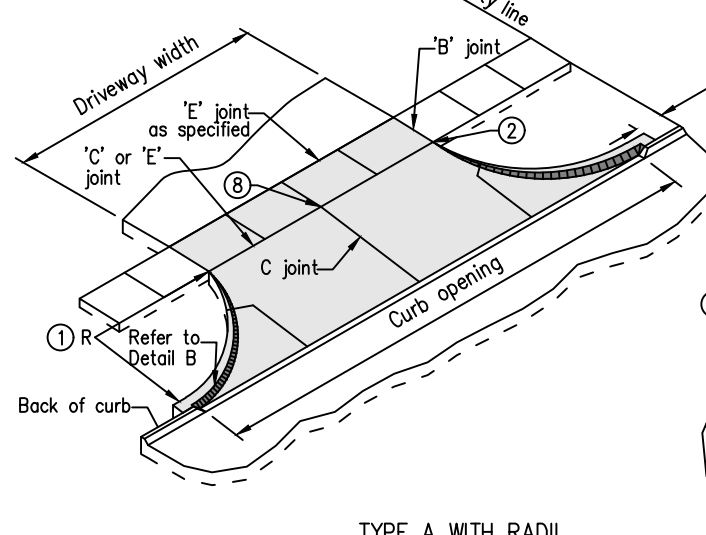
N.T.S.



TYPE A WITH FLARES



TYPICAL SECTION



TYPE A WITH RADI

DETAIL B

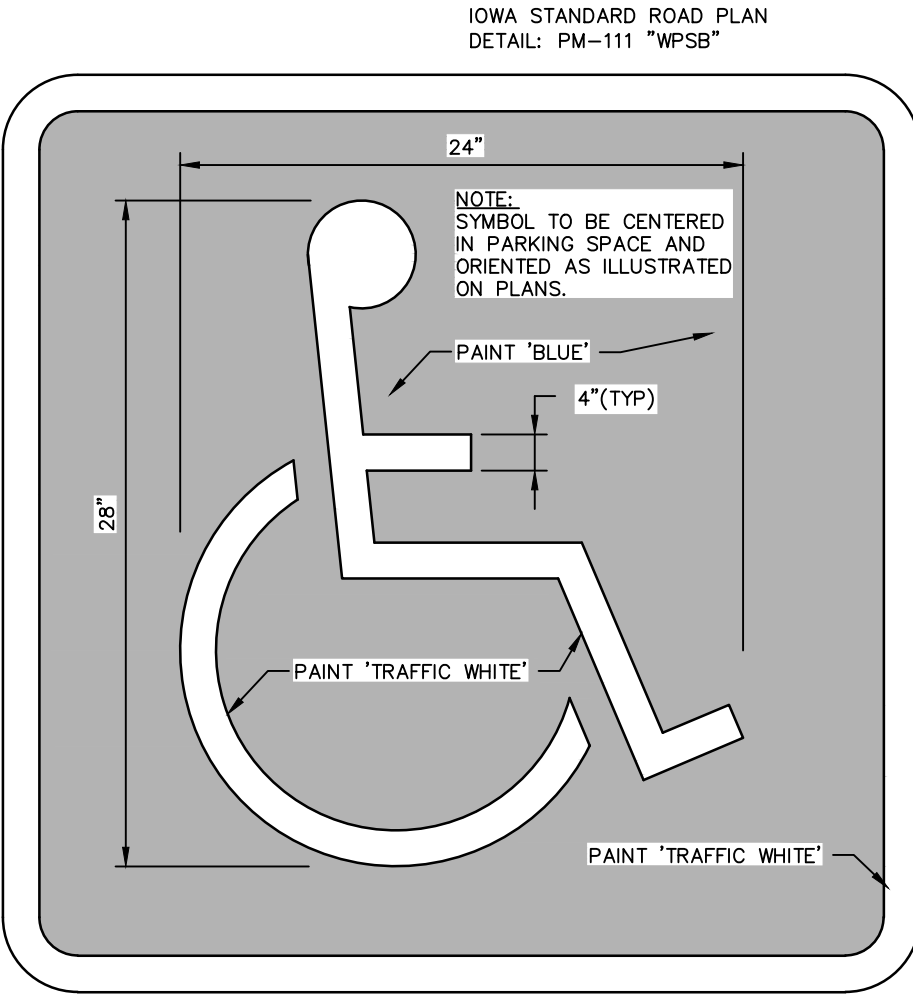
- Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb across sidewalk.
- Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- Sidewalk thickness through driveway to match thickness of driveway.
- Center reinforcing bar vertically in the pavement.
- Match thickness of adjacent roadway, 8 inches minimum.
- Provide 1" joint at back of curb unless 18" joint is specified.
- For alleys, invert the pavement crown 2% toward center of alley.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with figure 7030.205; verify need for detectable warning panel with Engineer.

REVISION
NEW
FIGURE 7030.101
SHEET 1 OF 1

CONCRETE DRIVEWAY, TYPE A

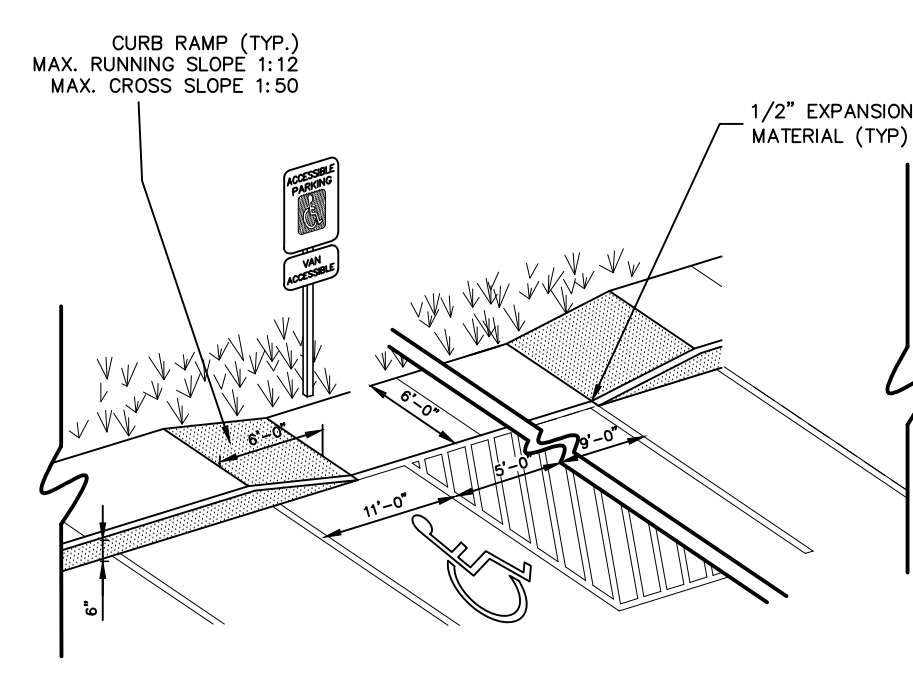
## ACCESSIBLE PARKING SYMBOL

N.T.S.



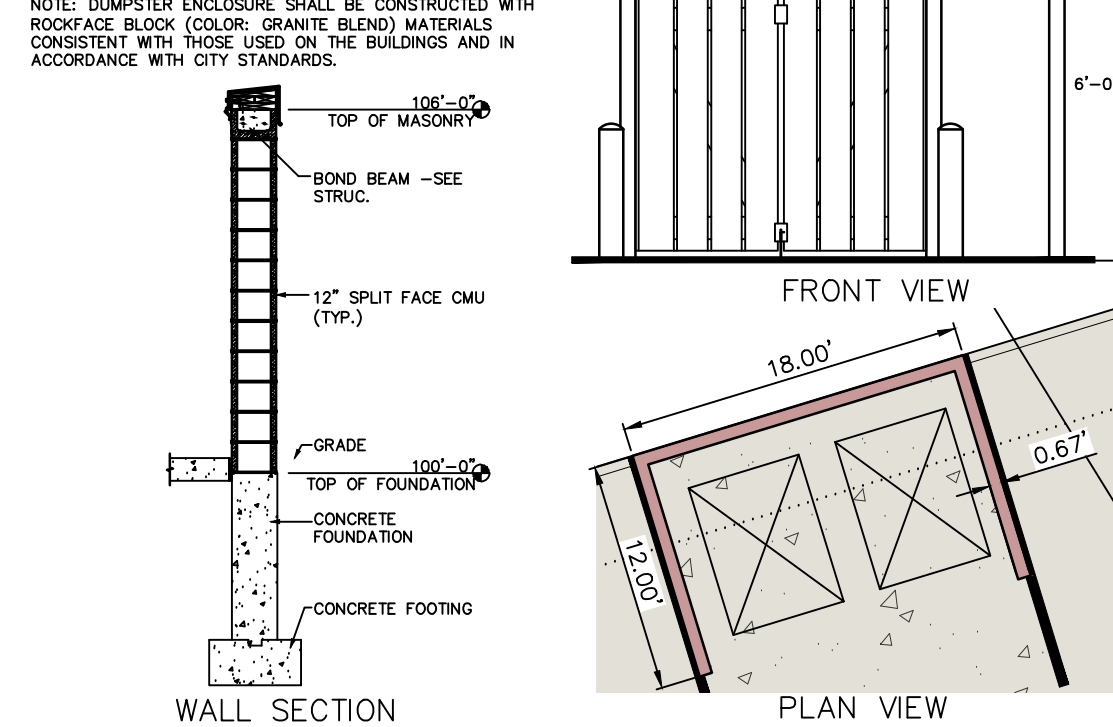
## ACCESSIBLE PARKING DETAIL

N.T.S.



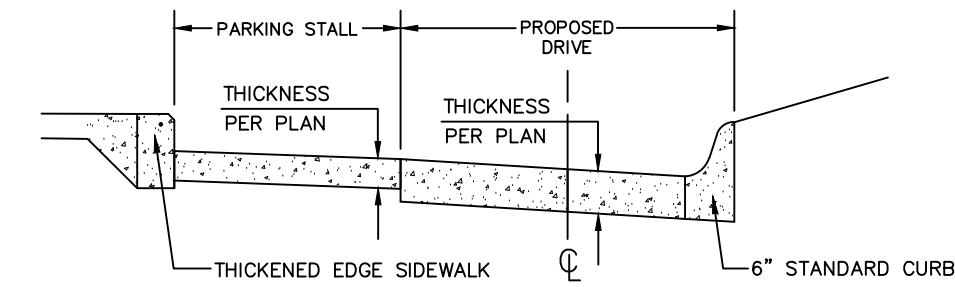
## TRASH ENCLOSURE DETAIL

N.T.S.



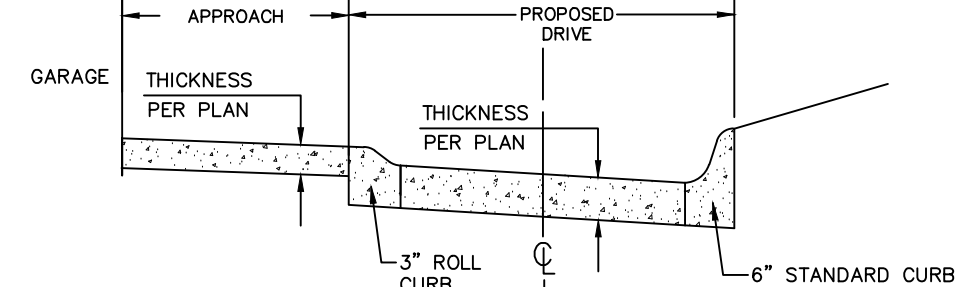
## TYPICAL DRIVE / PARKING SECTION

N.T.S.



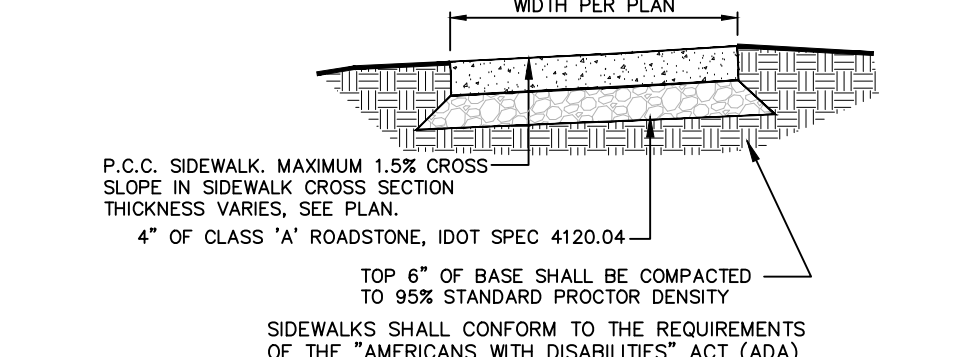
## TYPICAL DRIVE/GARAGE APPROACH SECTION

N.T.S.



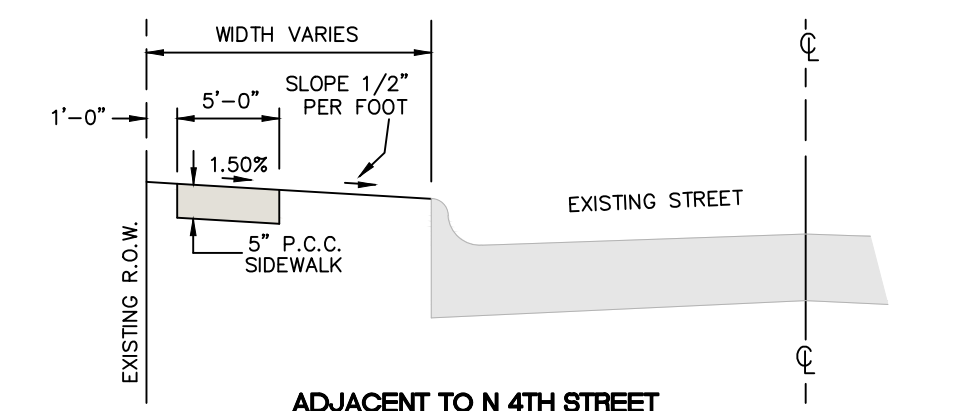
## TYPICAL SIDEWALK DETAIL

N.T.S.



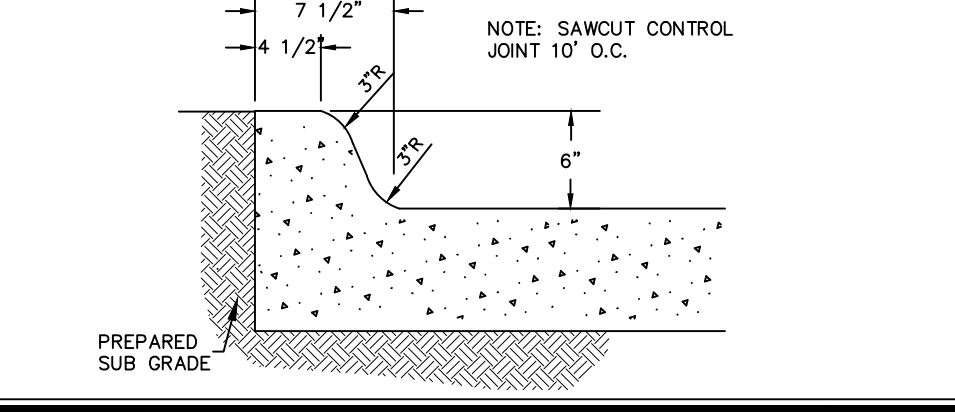
## TYPICAL SIDEWALK INSTALLATION

N.T.S.



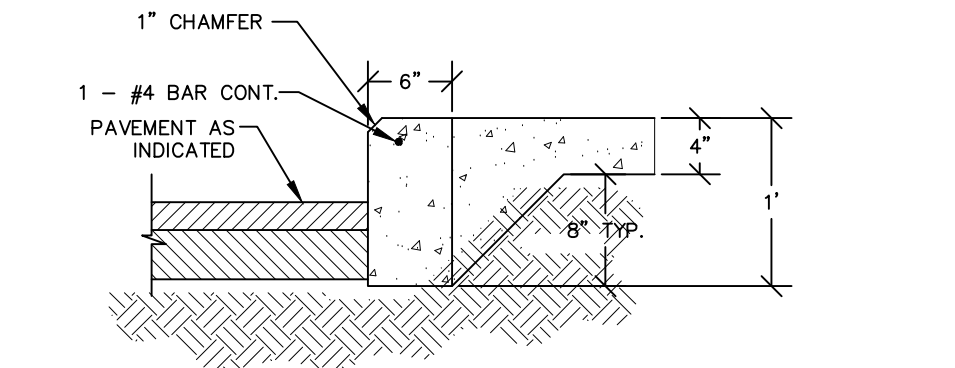
## 6" STANDARD CURB DETAIL

N.T.S.



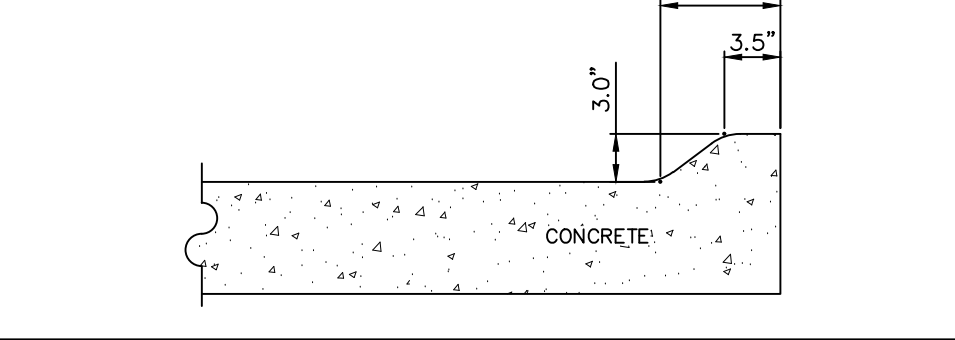
## SIDEWALK THICKENED EDGE

N.T.S.



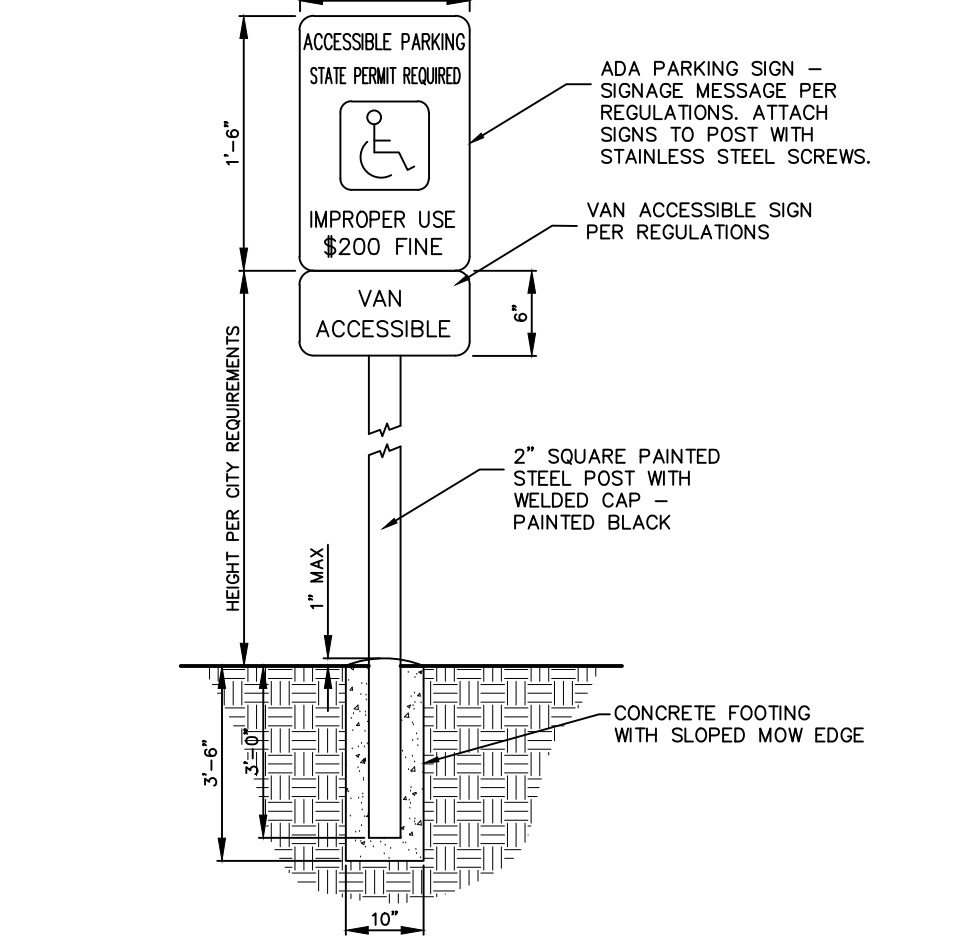
## 3" ROLL CURB DETAIL

N.T.S.



## ACCESSIBLE SIGN DETAIL

N.T.S.







CIVIL ENGINEERS  
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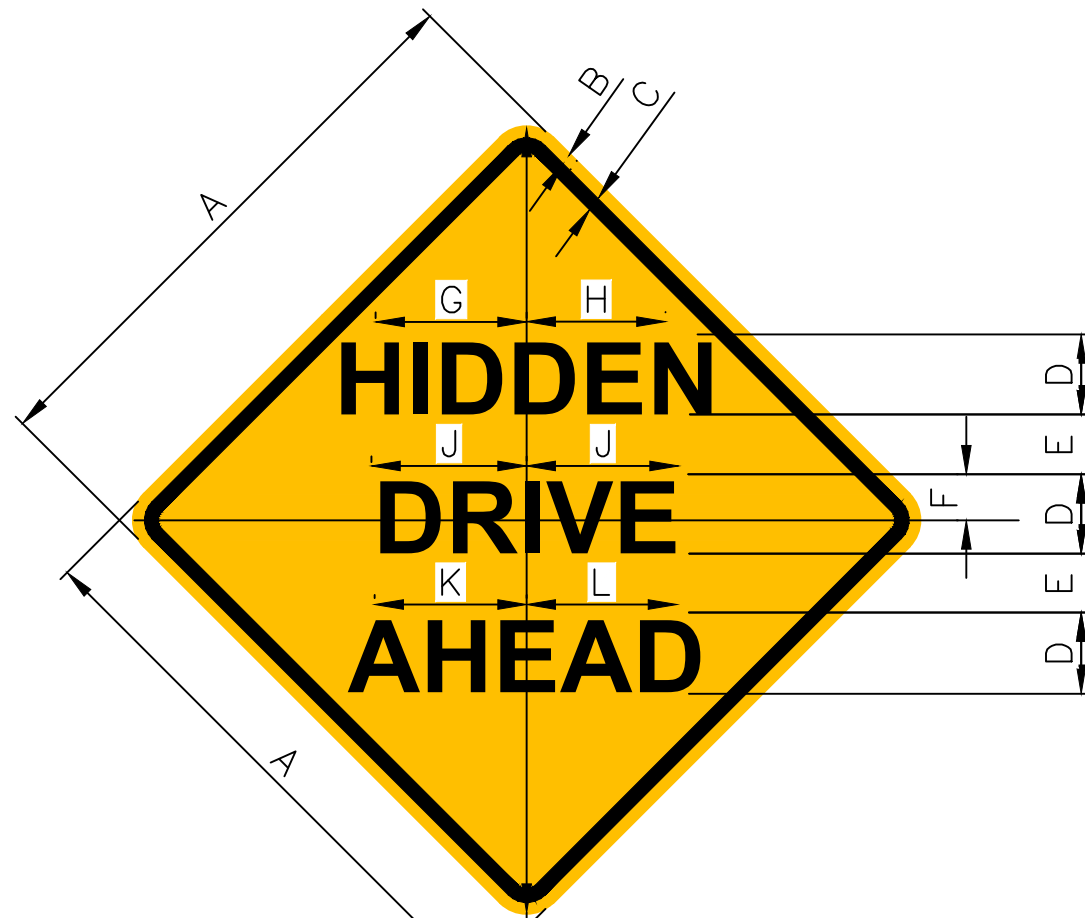
Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

GENERAL NOTES AND DETAILS

HERITAGE HILL,  
LOT 1  
WEST BRANCH,  
CEDAR COUNTY,  
IOWA

MMS CONSULTANTS, INC.

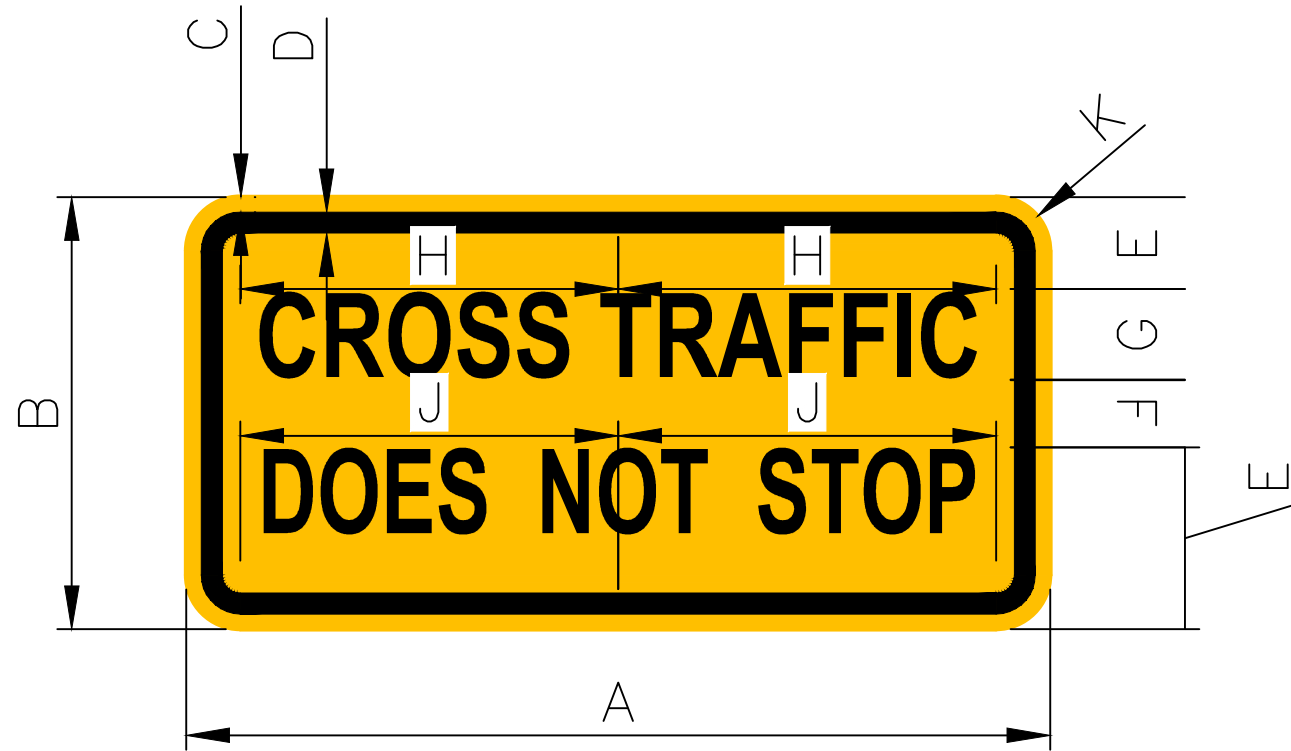
Date:	08-04-22
Designed by:	KLC
Field Book No:	1343, PG 39
Drawn by:	TAV
Scale:	N/A
Checked by:	KJB
Sheet No:	C501
Project No:	11186-002



K-6530  
36"x36"

A	B	C	D	E	F	G	H	J	K	L	M
24	.375	.625	4D	3	2	4.803	6	9.747	5.844	5.724	1.5
30	.5	.75	5D	3.802	2.601	5.764	7.765	12.189	7.285	7.165	1.875
36	.625	.875	6D	4.483	3	6.845	9.367	14.631	8.886	8.446	2.25
48	.75	1.25	7D	5.243	3.522	8.326	10.608	17.052	10.167	10.047	3

COLORS: LEGEND — BLACK  
BACKGROUND— YELLOW (RETROREFLECTIVE)



W4-4p  
36" x 18"

MUTCD W4-4B SIGN

A	B	C	D	E	F	G	H	J	K	L	M	N		
24	12	.375	.625	3	2.25	C	1.5	9.314	9.63	1.5	10.106	9.779	2.25	B
30	15	.5	.75	3.5	3	C	2	12.423	12.423	1.875	12.902	13.039	3	B
36	18	.625	.875	4	3.5	C	3	14.487	14.978	2.25	15.721	15.212	3.5	B
48	24	.75	1.25	5.5	4.5	C	4	18.628	19.259	3	20.214	19.56	4.5	B

COLORS: LEGEND — BLACK  
BACKGROUND— YELLOW (RETROREFLECTIVE)

SHEET INDEX	
CD100	EXISTING FEATURES AND DEMOLITION PLAN
C120	OVERALL SITE LAYOUT AND DIMENSION PLAN
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
C121	DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF
C140	GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	DETAILED GRADING PLAN - NORTH HALF
C142	DETAILED GRADING PLAN - SOUTH HALF
C160	UTILITY PLAN: SANITARY AND WATER
C161	UTILITY PLAN: STORM AND ELECTRIC
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN



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IOWA CITY, IOWA 52240  
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## EXISTING FEATURES AND DEMOLITION PLAN

MMS CONSULTANTS, INC.

Date:		08-04-22	
Designed by:	KLC	Field Book No:	1343, PG 35
Drawn by:	TAV	Scale:	1"=40'
Checked by:	KJB	Sheet No:	
Project No:		CD100	
11186-002		of:	

**APPLICANT'S ATTORNEY:**  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800-272-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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# STANDARD LEGEND AND NOTES

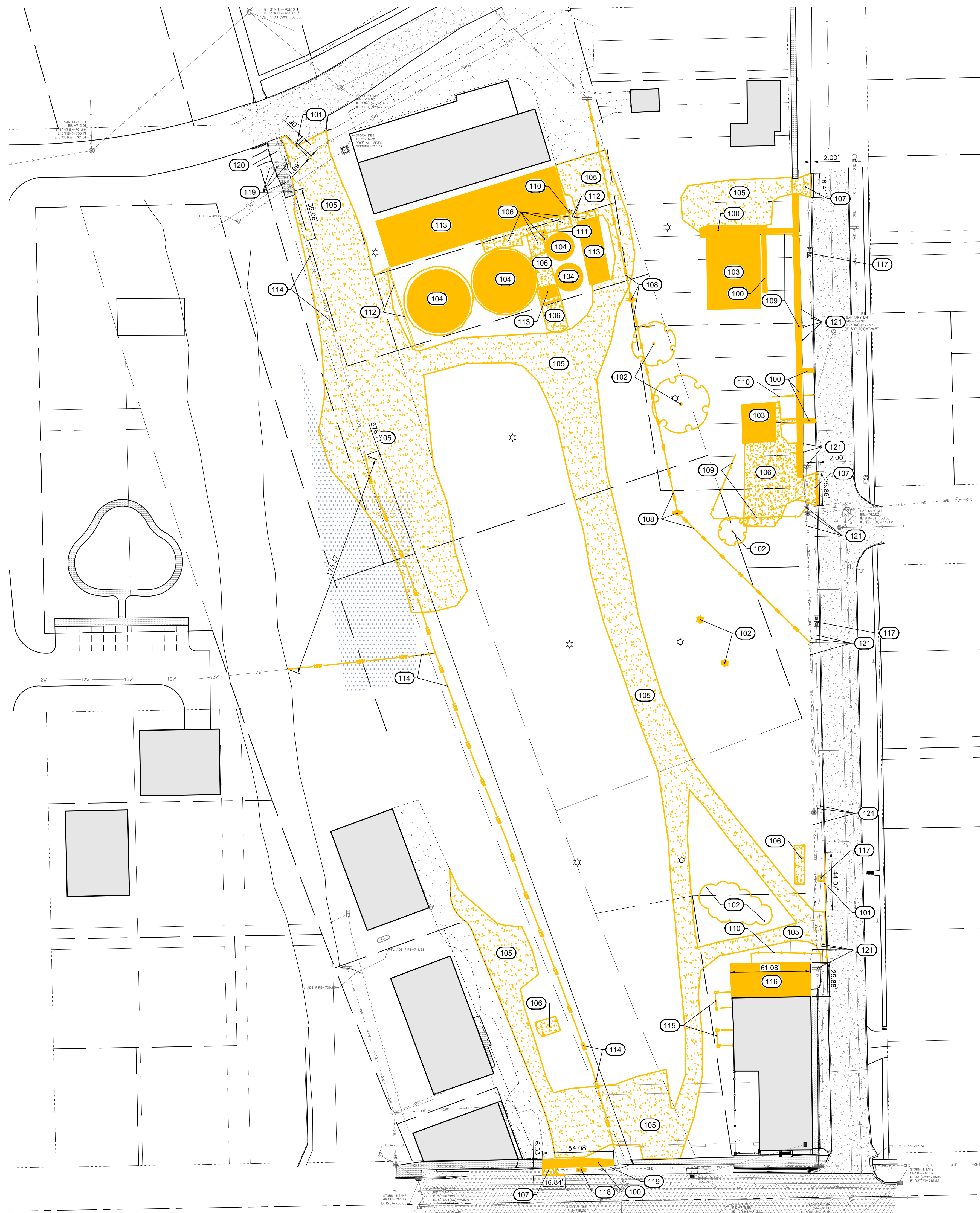
	- PROPERTY &/or boundary LINES
	- CONGRESSIONAL SECTION LINES
	- RIGHT-OF-WAY LINES
	- EXISTING RIGHT-OF-WAY LINES
	- CENTER LINES
	- EXISTING CENTER LINES
	- LOT LINES, INTERNAL
	- LOT LINES, PLANNED OR BY DEED
	- PROPOSED EASEMENT LINES
	- EXISTING EASEMENT LINES
	- BENCHMARK
(6)	- RECORDED DIMENSIONS
22-1	- CURVE SEGMENT NUMBER

<b>-EXIST-</b>	<b>-PROP-</b>	
		- POWER POLE
		- POWER POLE W/DROP
		- POWER POLE W/TRANS
		- POWER POLE W/LIGHT
		- GUY POLE
		- LIGHT POLE
		- SANITARY MANHOLE
		- FIRE HYDRANT
		- WATER VALVE
		- DRAINAGE MANHOLE
		- CURB INLET

X	X	- FENCE LINE
---	---	- EXISTING SANITARY SEWER
--X--	--X--	- PROPOSED SANITARY SEWER
---	---	- EXISTING STORM SEWER
--X--	--X--	- PROPOSED STORM SEWER
W	W	- WATER LINES
E	E	- ELECTRICAL LINES
T	T	- TELEPHONE LINES
G	G	- GAS LINES
— — —	— — —	- CONTOUR LINES (1' INTERVAL)
———	———	- PROPOSED GROUND
————	————	- EXISTING TRAIL LINE

	- EXISTING DECIDUOUS TREE & SHRUB
	- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.







CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date	Revision
8/24/22	INTERNAL REVIEW - KJC
9/01/22	INTERNAL REVIEW - KJC

LANDSCAPE PLAN

HERITAGE HILL,  
LOT 1  
WEST BRANCH, CEDAR COUNTY,  
IOWA

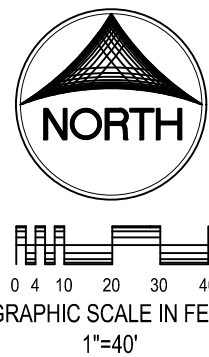
MMS CONSULTANTS, INC.  
Date: 08-04-22  
Designed by: KLC Field Book No: 1343, PG 39  
Drawn by: TAV Scale: 1"=40'  
Checked by: KJB Sheet No:  
Project No: L100  
11186-002 of:

# SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

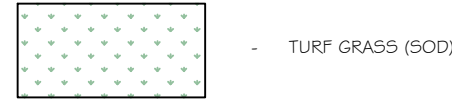
PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

APPLICANT:  
BBO LLC  
PO BOX 277  
WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:  
JAMES D. HOUGHTON  
216 STEVENS DRIVE  
IOWA CITY, IA 52240



LANDSCAPE LEGEND



LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED:  
25% OF TOTAL LOT AREA SHALL BE OPEN SPACE  
25% / 62.5' x 0.25" = 64,546 SF REQUIRED  
(101,659 SF PROVIDED)

LANDSCAPING REQUIRED:  
1 TREE PER 1,500 SF OF REQUIRED OPEN SPACE  
64,546 / 1,500 = 43 TREES

1 SHRUB PER 1,000 SF OF REQUIRED OPEN SPACE  
64,546 / 1,000 = 64 SHRUBS

PLANT SCHEDULE

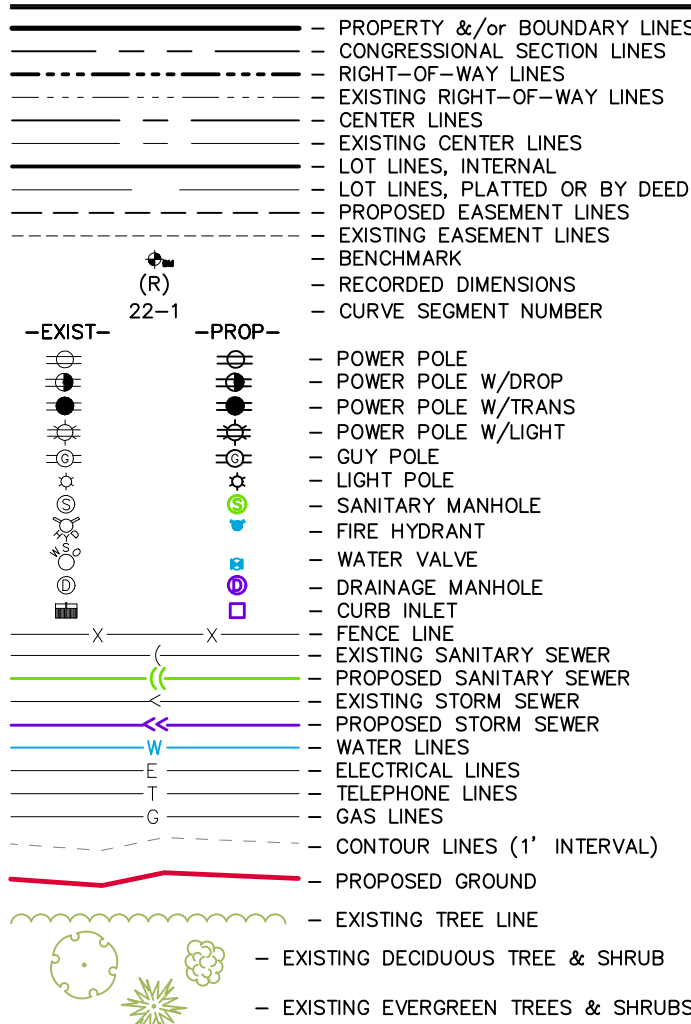
TREES

CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.	
AR	6	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	2" Cal.	B4B	50' x 40'	
BN	4	Betula nigra	River Birch	2" Cal.	B4B	40' x 40'	
CC	5	Cercis canadensis	Eastern Redbud	1.5" Cal.	B4B	20' x 25'	
GT	4	Gleditsia inaequalis 'Skycole' TM	Skyline Thornless Honey Locust	2" Cal.	B4B	35' x 25'	
LT	4	Lindodendron tulipifera	Tulip Poplar	2" Cal.	B4B	60' x 30'	
MP	2	Malus x 'Pranfire'	Pranfire Crabapple	1.5" Cal.	B4B	15' x 15'	
QB	3	Quercus bicolor	Swamp White Oak	2" Cal.	B4B	50' x 50'	
QR	4	Quercus rubra	Red Oak	2" Cal.	B4B	50' x 50'	
SR	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B4B	20' x 15'	
FUTURE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
	MP2	5	Malus x 'Pranfire'	Pranfire Crabapple	1.5" Cal.	B4B	15' x 15'
	SR2	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B4B	20' x 15'

SHRUBS

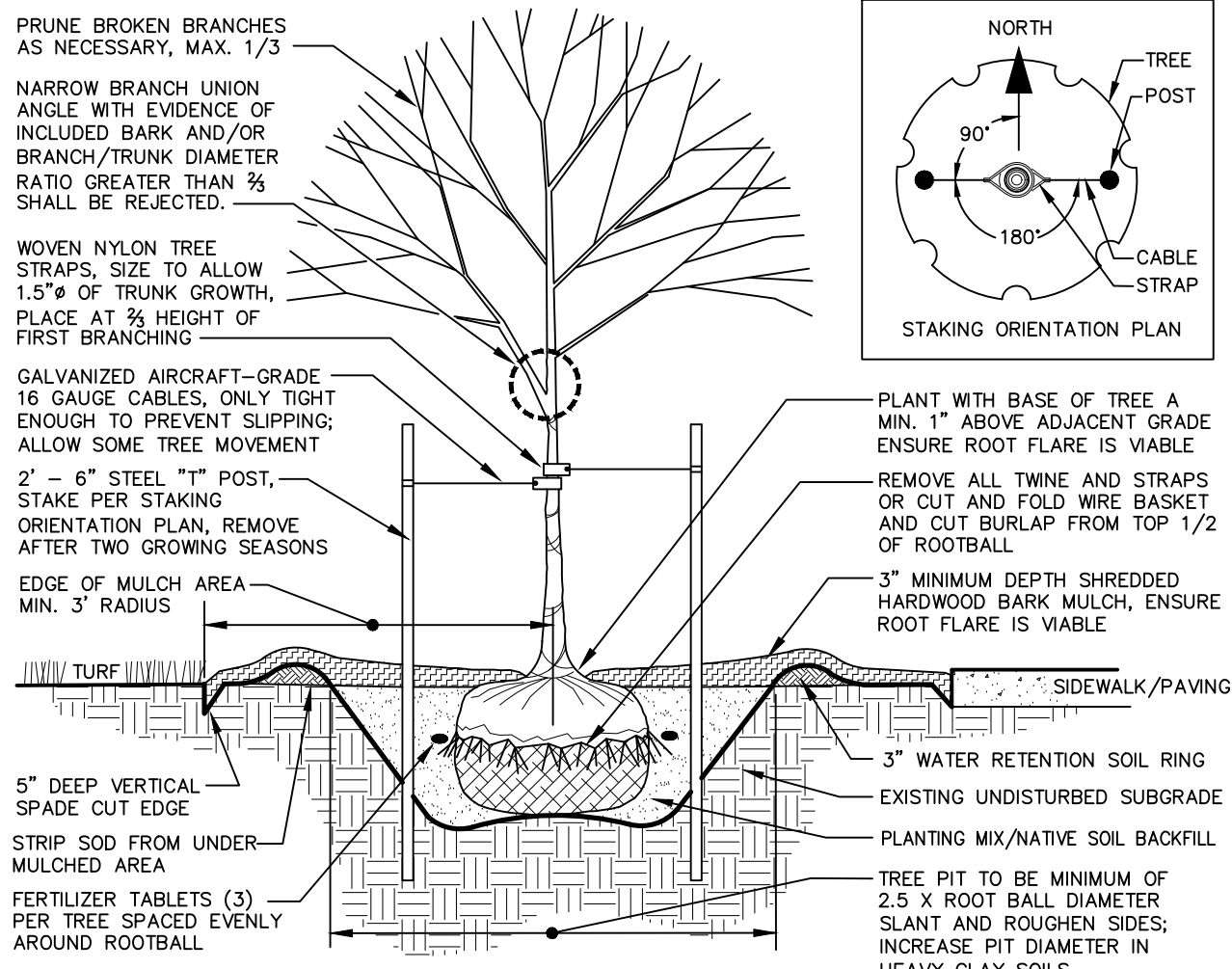
CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
CA	21	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	24" Ht.	Container	4' x 2.5'
MS	19	Macarthur senensis 'Gracilima'	Eulalia Grass	15" Ht.	Container	4' x 4'
PV	72	Panicum virgatum 'Pranfire'	Pranfire Fire Switch Grass	24" Ht.	Container	4' x 3'
TM	6	Taxus x media 'Densiformis'	Dense Yew	24" Ht.	Container	3' x 5'
TO	33	Thuja occidentalis 'Ballolite' TM	Techno Arborvitae	30" Ht.	Container	6' x 2.5'

STANDARD LEGEND AND NOTES

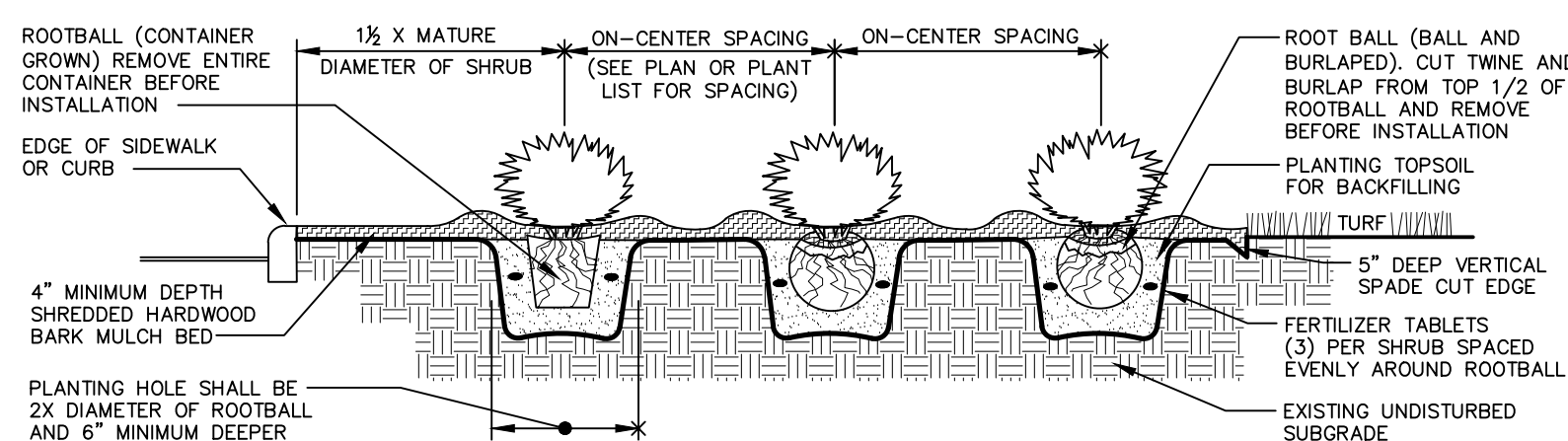


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TYPICAL TREE PLANTING DETAIL



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)



**IOWA ONE CALL**  
SM  
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# LAMPS PLUS<sup>®</sup> PROS

## Product Specification Sheet

Job Name: Hawkeye Electric

Job Type:

Comments: Lead time – 5-7 business days

Quantity:

### Bellagio 96" High Bronze Outdoor 3-Light Street Lantern Style # 90537



#### Dimensions:

- 96" high. Each lantern head is 21" high x 10" wide. Base is 10" wide. From center to the far edge of one light is 15". Weighs 22 lbs. Extends 8 3/4" from the wall



#### Description

- Outdoor post light, pole, and adapter base. A traditional post light design from the the Bellagio collection by the John Timberland brand.
- Three lantern style lights with champagne hammered glass panels. Veranda bronze finish. Metal construction.
- Wet location outdoor rated for areas that get full exposure to rain and weather. Installation to concrete slab only.
- UL Listed

#### Lamping Information

- Uses three maximum 60 watt standard-medium base bulbs (bulbs not included).
- Recommended bulb: 60W Equivalent Clear 7W

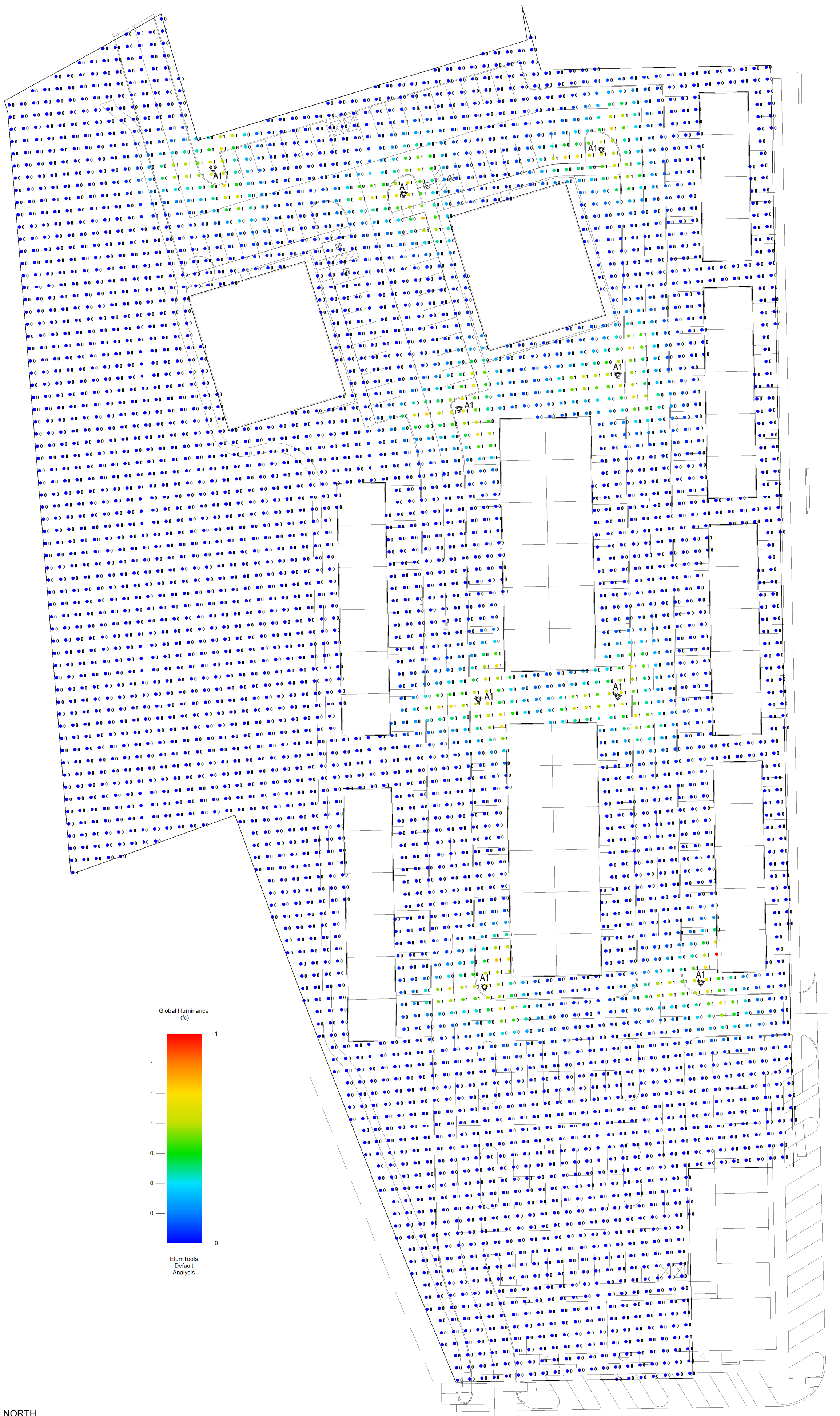


LED Dimmable Standard Base Bulb (#60V32)

Parts:

- #74740 3 EA FINIAL FE LP102 (TOP)SKU 40386
- #81912 3 EA HAMMERED GLASS FOR LP101 (SKU 40276)
- #74738 1 EA HARDWARE KIT FOR BLLAGIO LP101,102,103
- #21749 1 EA 1 5/8" FULLY TREADED SCREW W/NO CAP
- #21752 1 EA 1 1/4" FULLY TREADED SCREW W/NO CAP
- #2M371 6 EA COPPER BOLT CAP FOR SG101-3 (SKU 90537)

LIGHTING FIXTURE SCHEDULE							
TYPE	CONSTRUCTION		LIGHT SOURCE		PRODUCT		NOTE
	DESCRIPTION	MOUNTING	LAMP	LUMENS DOWN	MFR	Model	
A1	3-LIGHT STREET LANTERN	96" POLE	STANDARD BULB	2400 lm	LAMPS PLUS	BELLAGIO 96" HIGH BRONZE OUTDOOR 3-LIGHT STREET LIGHT	



HAWKEYE ELECTRIC  
 1710 HAWKEYE DRIVE HIAWATHA , IA 52233

TEL 319.743.9891

<http://www.hawkeye-electric.com>



CLIENT:  
 Owner

Address Line 1  
 Address Line 2

THIS SQUARE APPEARS 1/2"X1/2"  
 ON FULL SIZE SHEETS

NO	DATE	REVISION

PROJECT NAME:  
 HERITAGE HILL, LOT 1

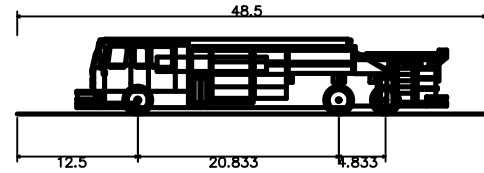
WEST BRANCH, CEDAR COUNTY,  
 IOWA

DRAWING TITLE:  
 PHOTOMETRIC PLAN

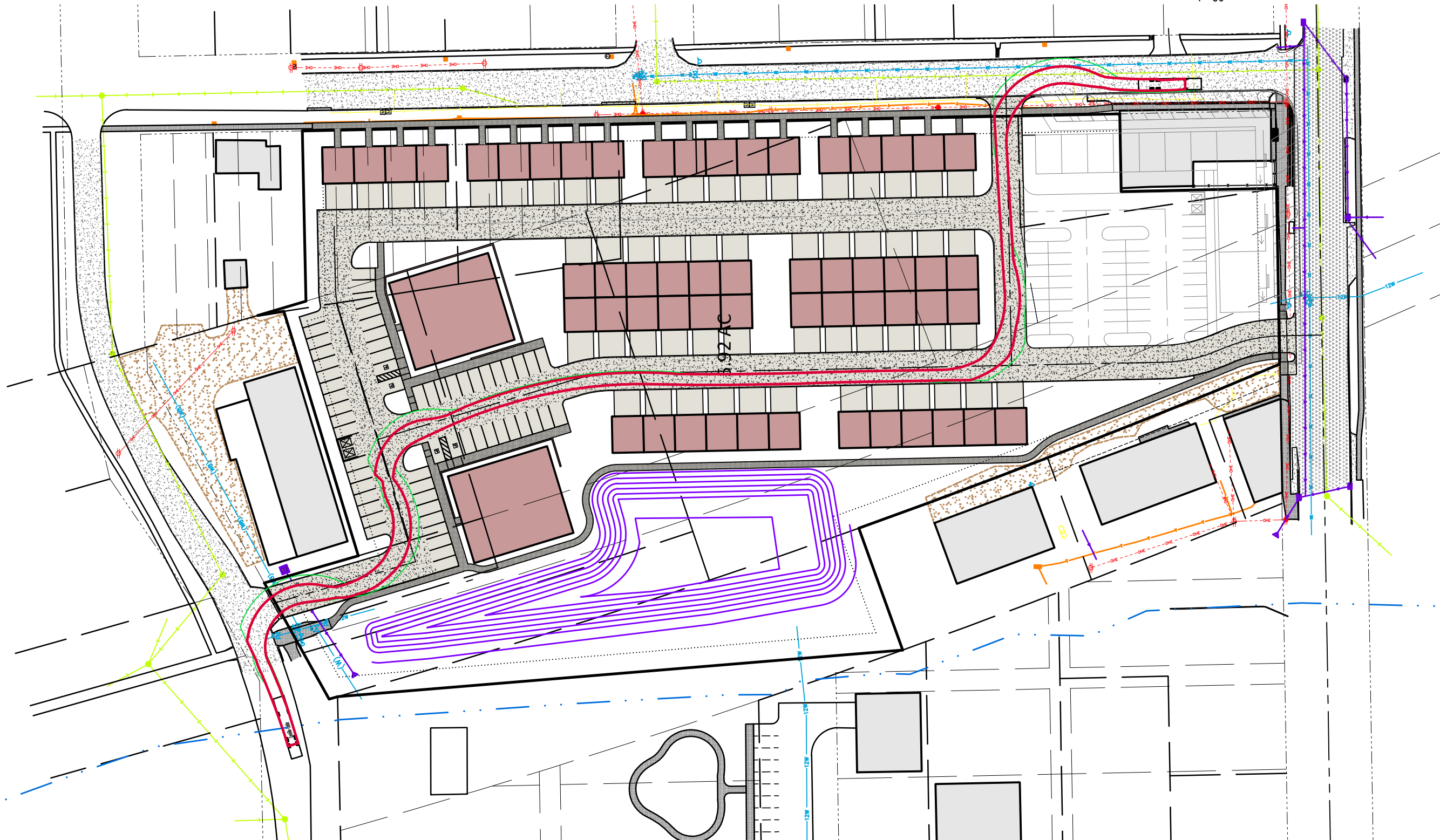
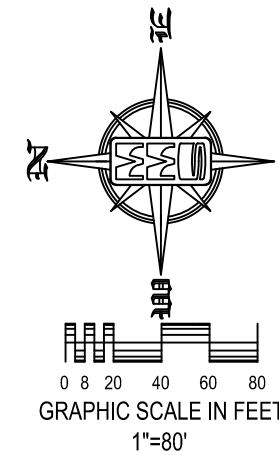
ISSUED FOR: REVIEW  
 ISSUED DATE: 08/19/22  
 DRAWN BY: JBM  
 CHECKED BY: JBM

E101





Coralville—Ladder  
 Overall Length 48.500ft  
 Overall Width 8.667ft  
 Overall Body Height 7.745ft  
 Min Body Ground Clearance 0.656ft  
 Track Width 8.167ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 44.00°



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Date	Revision
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# FIRETRUCK TURNING ONE

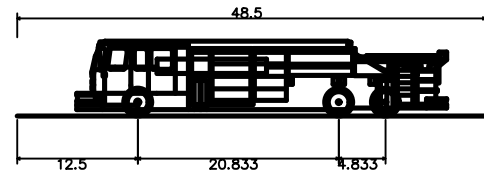
## HERITAGE HILL

WEST BRANCH  
 CEDAR COUNTY  
 IOWA

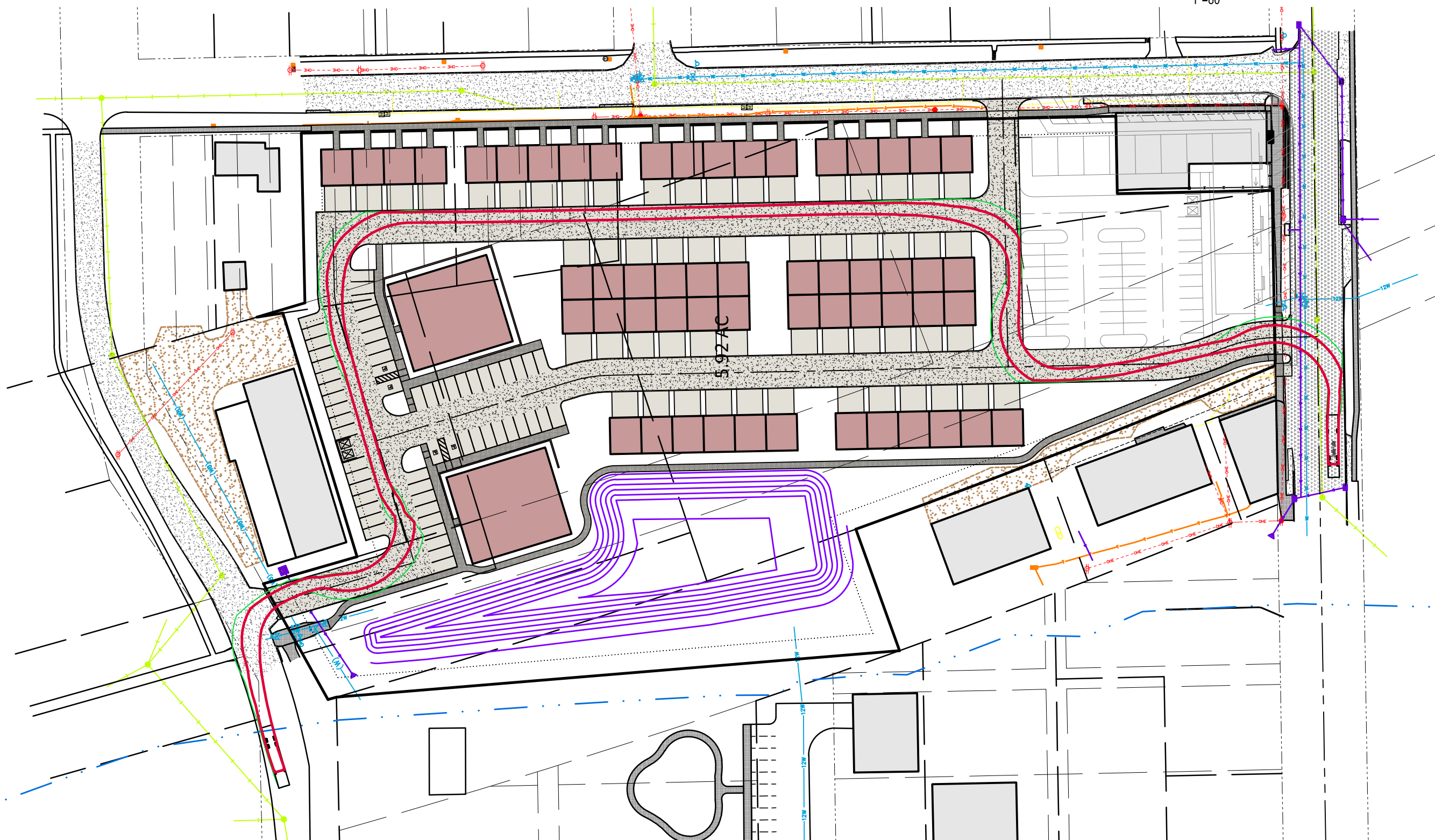
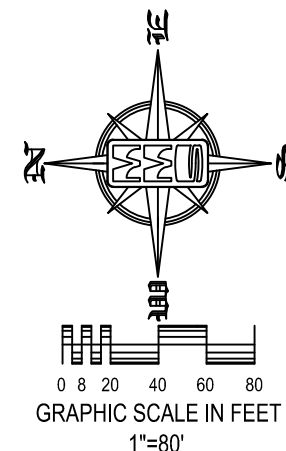
MMS CONSULTANTS, INC.

Date:	08/22/22
Designed by: KJC	Field Book No:
Drawn by: KJC	Scale: 1"=80'
Checked by: KJB	Sheet No: 1
Project No: 11186-002	of: 2





Coralville-Ladder  
Overall Length 48.500ft  
Overall Width 8.667ft  
Overall Body Height 7.745ft  
Min Body Ground Clearance 0.656ft  
Track Width 8.167ft  
Lock-to-lock time 6.00s  
Max Wheel Angle 44.00°



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Date	Revision
------	----------

## FIRETRUCK TURNING TWO

## HERITAGE HILL

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 08/22/22

Designed by: KJC Field Book No:

Drawn by: KJC Scale: 1"=80'

Checked by: KJB Sheet No:

Project No: 11186-002 of: 2



## REQUEST FOR CONSIDERATION

<b>MEETING DATE:</b> August 23, 2022
--------------------------------------

<b>AGENDA ITEM:</b> Design Standards Discussion
---

<b>PREPARED BY:</b> Adam Kofoed, City Administrator
---

<b>DATE:</b> August 17, 2022
------------------------------

### BACKGROUND:

The Design Committee met last month. Here were main topics discussed for further consideration.

1. Visitability Standards
2. Accessory Dwelling Units
3. Parking Minimum Reduction Authority
4. Landscape Design
5. Floor and Exterior Diversity
6. Front Setback Exceptions to discourage snout houses but not ban them
7. Street Design
8. Commercial Façade Minimums
9. Housing Incentive to Encourage Front Porches since they are ideal for community engagement but add cost to homes.

### IMPLEMENTATION:

Each month, I will try to add a new section for the commissions review. When that section is fully approved by the board I will hold onto it, until the final design standard is adopted. Items marked in yellow in draft ordinances, I need commission direction or it could be a divisive topic when administering the ordinance.



## ACCESSORY RENTAL UNIT ORDINANCE

1. Purpose: Accessory rental units are allowed in certain situations to:
  - a. Create new housing units while respecting the look and scale of R1-dwelling development;
  - b. Support more efficient use of existing housing stock and infrastructure;
  - c. Add moderately priced rental units to the housing stock to meet the needs of smaller households, moderate income households, elderly, and persons with disabilities;
  - c. Provide housing that responds to changing family needs, smaller households, and increasing housing costs; and
  - d. Provide accessible housing for seniors and persons with disabilities.
  - f. To best utilize the limit land available in West Branch.

Permit Required: Prior to the establishment of any accessory apartment, the owner of the principal dwelling unit must obtain a building permit from the City Office.
2. Definition. An accessory dwelling unit is a self-contained housing unit that is clearly a subordinate to the single-family dwelling and complies with each of the requirements a contained in this chapter and West Branch's Zoning Ordinance. An ADU shall include a kitchen, a separate bathroom, and a separate entrance/exit.
3. Ownership And Occupancy:
  - a. The owner of the property on which an accessory apartment is located must occupy at least one of the dwelling units on the premises as the permanent legal resident. Must live in the primary dwelling at a minimum of seven (7) months.
  - b. Prior to issuance of a permit, the owner(s) must provide an affidavit stating that the owner will occupy one of the dwelling units on the premises as the owner's primary residence, except for bona fide temporary absences. When a structure, which has received a permit for an ADU, is sold, the new owner(s), if they wish to continue to exercise the permit, must, within thirty (30) days of the sale, submit a notarized letter to the Administrator stating that they will occupy one of the dwelling units on the premises as their primary residence, except for bona fide temporary absences.

d. The accessory apartment and the principal dwelling must be under the same ownership.

e. The total number of individuals that reside in the accessory apartment may not exceed two (2).

#### 4. Site Requirements:

a. Only one accessory apartment may be established per single- family lot.

b. In addition to the parking required for the principal dwelling unit, one off street parking space is required for the accessory apartment.

c. The minimum lot area per unit requirement of the underlying base zone does not apply to an accessory apartment, i.e., no additional lot area is required beyond that which is required for the principal dwelling unit.

#### 5. Design Requirements:

a. The accessory apartment may be located within the principal dwelling or within an accessory building.

b. The accessory apartment must be a complete, separate dwelling unit that functions independently from the principal single- family dwelling unit. It must contain its own kitchen and bathroom facilities.

c. When located within the principal dwelling, the accessory apartment must be designed so that the appearance of the building remains that of a single-family residence. Any new entrances should face the side or rear yard of the building, and any addition for an accessory apartment may not increase the floor area of the original dwelling by more than ten percent (10%). Exterior finish materials, trim, windows, and eaves must visually match the principal dwelling unit.

6. Apartment Size: The accessory apartment must be clearly subordinate in area to the principal dwelling unit or to the accessory building in which it is located. Accordingly, it must comply with the following standards:

a. For an accessory apartment located within a principal dwelling unit, the floor area of the accessory unit may not exceed thirty percent (30%) of the total floor area of the principal dwelling, excluding the area of an attached garage, or six hundred fifty (650) square feet, whichever is less.

b. For an accessory apartment located within an accessory building, the floor area of the accessory apartment may not exceed fifty percent (50%) of the total floor area of the accessory building or six hundred fifty (650) square feet, whichever is less.

c. The accessory apartment may contain no more than one bedroom.

#### 7. Penalties

An administrative permit for an ADU may be revoked or declined for renewal by the Administrator if the Administrator determines that the ADU or the permit holder is not in compliance with city code or condition(s) of approval. If a permit is revoked or declined

for renewal, the property owner must restore the property and bring it into compliance with city/county ordinances, including any necessary removal of improvements, within thirty (30) days. The city/county may toll the thirty (30) days pending an appeal.

Municipal infractions may also be used for noncompliance of following the rules and regulations of accessory rental units.



## PARKING REDUCTION AUTHORITY

### 1. Minimum parking requirement

- a. Planning and zoning commission has the right to recommend a 25% reduction in the minimum parking requirement to the city council.
- b. City council has the right to waive minimum parking requirements of up to 25%. Anything more than 25% must be approved as a variance under the Board of Adjustment appeal process.
- c. Subdividers must show what reductions would look like in their preliminary and final plats, plus their site plans.