

110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358 (319) 643-5888 • Fax (319) 643-2305 • www.westbranchiowa.org • city@westbranchiowa.org

PLANNING AND ZONING COMMISSION MEETING Tuesday, August 23, 2022 • 7:00 p.m. West Branch City Council Chambers, 110 N. Poplar St.

Council Quorum May Be Present

https://zoom.us/j/829677991 or dial in phone number 1-312-626-6799 with Meeting ID 829 677 991

- 1. Call to Order
- 2. Roll Call
- 3. Approve Agenda/Move to action.
- 4. Public Hearing/Non-Consent Agenda. /Move to action.
 - a. Approve minutes from the May 24, 2022 Planning & Zoning Commission meeting. / Move to action.
 - b. Setting a Public Hearing date for September 27, 2022 to consider a request for rezoning 154 Ohrt Street from R-1 to R-2. / Move to action.
 - c. Setting a Public Hearing date for September 27, 2022 to consider a request for rezoning 224 N. 4th Street from R-3 to PUD <u>AND</u> a parcel along the east side of Wapsi Creek owned by the City of West Branch from P-1 to PUD. / Move to action.
 - d. Setting a date for Public Hearing for September 27, 2022 for an amendment to the Historic Preservation Ordinance (Chapter 25). / Move to action.
 - e. Review and consider approval of Heritage Hill Preliminary Plat (with conditions). Move to action.
 - f. Review and consider approval of Heritage Hill Site Plan Buildings 1-4 (with conditions). / Move to action.

5. Old Business

- a. Design standard discussion
 - i. Topics being considered
 - ii. Approval of Visit Ability Standards
 - iii. Comments on Accessory Dwelling Unit Model Ordinance
- 6. City Staff Reports
- 7. Comments from Chair and Commission Members.
- 8. Next regular Planning & Zoning Commission meeting Tuesday, September 27, 2022.
- 9. Adjourn

Jackson Cedar County, IA Jones Linn 30 38 Clinton <u> 1003</u>807 809 909 806 38 808 Scott Johnson Legend Road Interstate -015 **US Highway** 612610608 606 State Numbered Highway <all other values> -012149 148180 4013 Railroad -006HILLTOP VIE Address Point UINIMODINGS 147 Parcel 145 12012 Parcel Number/Acres Leased Land -007 OURT ST 140 138 Land Hook 141 172 -026 Corporate Limit Line 202 -011 _(23.8) **#107**0 200 Park -018 020 Section County Boundary -002 4004 223 Ac -002 1 in. = 133 ft.**Notes** 265.4 132.69 265.4 Feet This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries. THIS MAP IS NOT TO BE USED FOR NAVIGATION



REZONING APPLICATION

Applicant Information:			
Name: BBCO LLC	annia.		
Address: PO Box 277	West Liberty	lowa	52776
Street or PO Box #	City	State	Zip Code
Phone: <u>319-631-3138</u>	Email: <u>bluesky</u>	dev@rocketmail.co	m
Additional Contact:	and the state of the second and the		
Name: Kelly Beckler			
Phone: <u>319-351-8282</u>	Email: <u>k.beckl</u>	er@mmsconsultant	s.net
Property Owner (if other than applicant):			
Name: City of West Branch	a		
Address: 110 N Poplar St., PO Box 218	West Branch	lowa	52358
Street or PO Box #	City	State	Zip Code
Phone: <u>319-643-5888</u>	Email: <u>adam@</u>	westbranchiowa.or	g
Property Information:		1	
Address (if no address, list name of closests	streets): 234 N	4th St /2	01 N. 2nd St.
Assessor's Parcel # (Attach Legal Description	1 4 4 4 4	· · · · · · · · · · · · · · · · · · ·	0-13-05-356-00
Current Zoning: 13 Proposed: PUD		/ P1	to PUD
During the review process, the Planning and	Zoning Commission	or City Staff may vi	sit the property.
Please sign here if the property owner does	•	•	
property.	not with to allow our	initioolori or otali to	
proporty.			
X			
	chalanda fu premioniala no litri i la silanda mon a ladag su prepantanta i monyolydrostaniy konnyonyonyinininya guruna pasanara	ensitations valorialistis (s. sp. date in million historium marken die historialisticians en epotentia Alberta tompi keyntasse, observations plane in the control of the co	
		6.1	1-22
Signature of Applicant			Date

<u>Submittal deadline</u>: 14 days prior to next regularly scheduled Planning and Zoning Commission meeting.

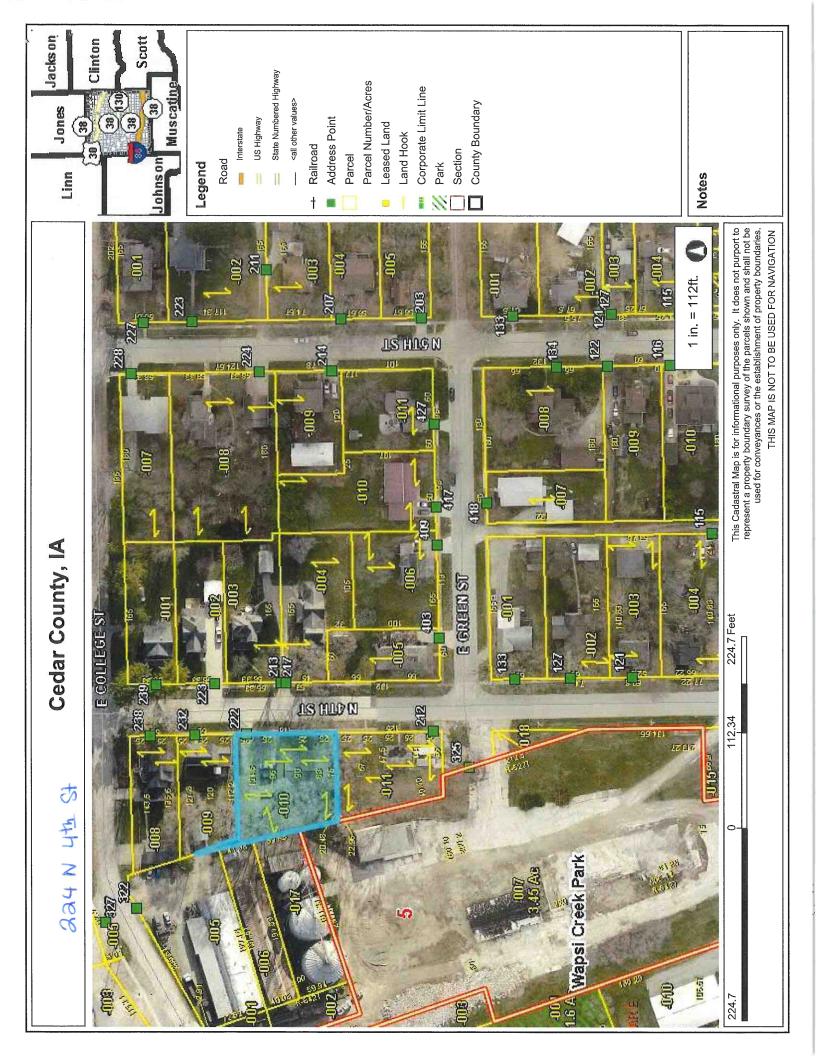
Re-zoning Fee: \$150.00. Special Meeting Request fees are \$150.00 per meeting.

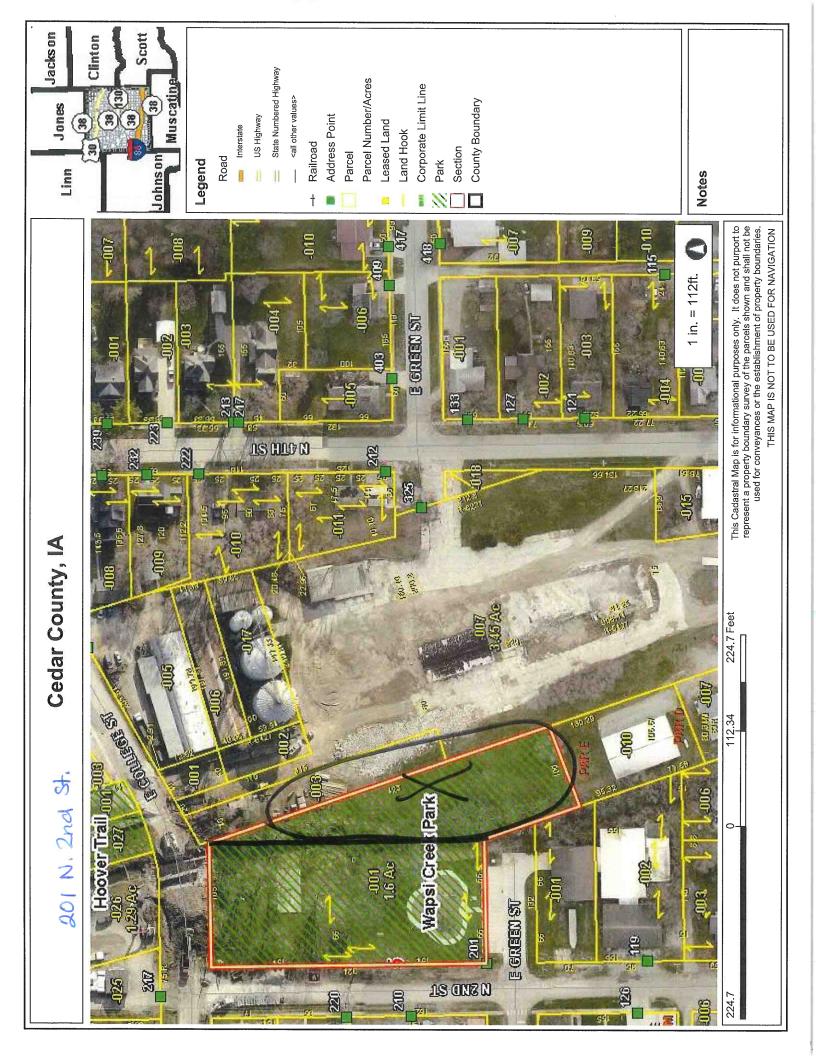
*Additional costs that may be charged include: Public Hearing publishing costs, Engineer and Attorney fees, and mailing costs. Applicant will be billed for additional costs and must be paid before Rezoning Application will proceed.

Include with this application:

- 1 complete copy of this application form.
- ☑ 7 scalable copies of site plan and associated documents, 11 x 17 paper copies & Acrobat "PFD" files of all materials emailed to leslie@westbranchiowa.org.
- 🗷 Detailed site plan of the existing use of the property and proposed use of the property, including utilities and other relevant improvements. Locations, dimensions, use of all property within the two hundred (200) feet thereof, include streets, railroads, and other physical features, North arrow and scale, size and location of existing and proposed structures and drives on the subject property, and drives on surrounding properties, contractor name and address to do work on project and date of preparation of the plan.
- 🛮 Other information deemed necessary by the City Staff for the review of the proposed project
- Names of current Titleholders and their proper mailing addresses for all owners of any property within the two hundred (200) feet of the proposed amendment area, whether within or outside of the city limits. Information can be obtained from Cedar County Assessor's Office.

☑ Statement of the reasons why the applicant feels the present zoning classification is no lor Proposed rezoning is for submittal of a PUD site plan.	nger valid.
For Staff Use:	
Date application received - includes detailed site plan, list of property titleholders with re-zoning fee	thin 200 hundred feet, and
Date complete application forwarded to Planning & Zoning Commission, Mayor, City Engineer, Fire Chief and Zoning Administrator	y Council, City Attorney and
Date of next Planning & Zoning Commission meeting, application must be received P & Z meeting	at least 14 days prior to the
Date of second Planning & Zoning Commission meeting	
Date of City Council meeting to set date for Public Hearing	
Date of Public Hearing publication in Official City Paper; Public Hearing notice poster City of West Branch, at least seven days and not more than 20 days prior to the P	
Date notice mailed to property owners within two hundred feet of the proposed prop	erty re-zoning
Date of Public Hearing and vote by City Council	
Date of any written protests to re-zoning request	
Date applicant notified of City Council decision	
Miscellaneous Information:	
2 - 2 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	
Signature of City Official	Date





REZONING EXHIBIT

TOWNSHIP 79 NORTH, RANGE 4 WEST, OR THE 5TH PRINCIPAL MERIDIAN WEST BRANCH, CEDAR COUNTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240 PO BOX 277

LEGAL DESCRIPTION: REZONING "I-2" TO "PUD"

FOLLOWS:

A PORTION OF LAND IN THE SOUTHWEST QUARTER OF SECTION 5,

BEGINNING AT THE SOUTHWEST CORNER OF A RETRACEMENT PLAT,

RECORDED IN BOOK "K", AT PAGE 110, IN THE OFFICE OF THE CEDAR

COUNTY RECORDER: THENCE NORTHWESTERLY 778.45 FEET, ALONG THE

6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 777.99

FOOT CHORD BEARS N19°25'11"W, TO THE NORTHWEST CORNER OF SAID

RETRACEMENT PLAT, THENCE N60°52'43"E, ALONG THE NORTHERLY LINE OF SAID RETRACEMENT PLAT. A DISTANCE OF 102.72 FEET: THENCE

S15'49'17"E, ALONG THE PERIMETER OF SAID RETRACEMENT PLAT, A

DISTANCE OF 2.95 FEET; THENCE SOUTHEASTERLY 72.61 FEET, ALONG

SAID PERIMETER, AND ALONG THE ARC OF A 6427.00 FOOT RADIUS

CURVE, CONCAVE NORTHEASTERLY, WHOSE 72.61 FOOT CORD BEARS S16°08'42"E; THENCE N73°02'27"E, ALONG THE NORTH LINE OF LOT 1 OF

TRACT 1 AS RECORDED IN BOOK "E", PAGE 117, IN THE OFFICE OF THE

CEDAR COUNTY RECORDERS, 197.36 FEET TO THE EAST LINE OF SAID

IN THE OFFICE OF THE CEDAR COUNTY RECORDER AND THE EASTERLY

LINE OF SAID RETRACEMENT PLAT AND THE SOUTHEASTERLY EXTENSION THEREOF, A DISTANCE OF 293.55 FEET TO THE WESTERLY EXTENSION OF

ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA;

EXTENSION THEREOF, A DISTANCE OF 99.69 FEET TO THE EASTERLY LINE

OF SAID RETRACEMENT PLAT AND ALSO BEING THE WESTERLY LINE OF

4TH STREET RIGHT OF WAY; THENCE S01"11'57"E, ALONG SAID EASTERLY LINE, A DISTANCE OF 357.55 FEET TO THE NORTH LINE OF A WARRANTY

DEED AS RECORDED IN BOOK 327, AT PAGE 322 IN THE OFFICE OF THE

CEDAR COUNTY RECORDER; THENCE S89°01'49"W, ALONG SAID NORTH LINE,

THE SOUTHWEST CORNER OF SAID WARRANTY DEED; THENCE S89'01'49"W,

ALONG THE SOUTHERLY LINE OF SAID RETRACEMENT PLAT, ALSO BEING THE NORTHERLY RIGHT OF WAY OF MAIN STREET, A DISTANCE OF 135.88 FEET THE POINT OF BEGINNING. SAID PARCEL CONTAINS 4.72 ACRES AND

THE CENTERLINE OF GREEN STREET, AS RECORDED IN BLOCK 13 OF

THENCE N88'48'39"E, ALONG SAID CENTERLINE AND THE WESTERLY

A DISTANCE OF 60.00 FEET TO THE NORTHWEST CORNER OF SAID WARRANTY DEED; THENCE S01°12'21"E, A DISTANCE OF 120.00 FEET TO

IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

LOT 1 OF TRACT 1; THENCE S08°53'39"E, ALONG THE EAST LINE OF SAID LOT 1. AND LOT 2 OF TRACT 1, AS RECORDED IN BOOK E, AT PAGE 117

WEST LINE OF SAID RETRACEMENT PLAT AND ALONG THE ARC OF A

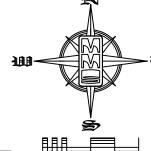
TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH PRINCIPAL MERIDIAN.

WEST BRANCH, CEDAR COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS

OWNER/APPLICANT: JAMES D. HOUGHTON C/O BARRY FRANTZ 216 STEVENS DRIVE CONSTRUCTION INC. IOWA CITY, IA 52240 WEST LIBERTY, IOWA 52776

APPLICANT'S ATTORNEY:

TANDARD LEGEND AND NOTES



PROJAC

CIVIL ENGINEERS

LAND PLANNERS

LAND SURVEYORS

1917 S. GILBERT ST.

(319) 351-8282

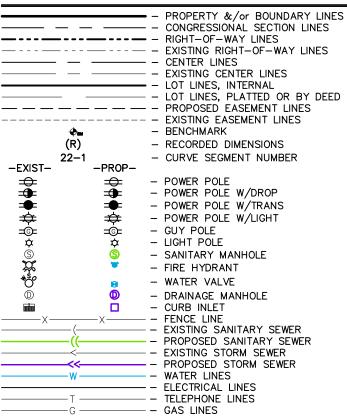
IOWA CITY, IOWA 52240

www.mmsconsultants.net

LANDSCAPE ARCHITECTS

ENVIRONMENTAL SPECIALISTS

0 4 10 20 30 40 **GRAPHIC SCALE IN FEET** 1"=40'



→ EXISTING TREE LINE - EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS

- PROPOSED GROUND

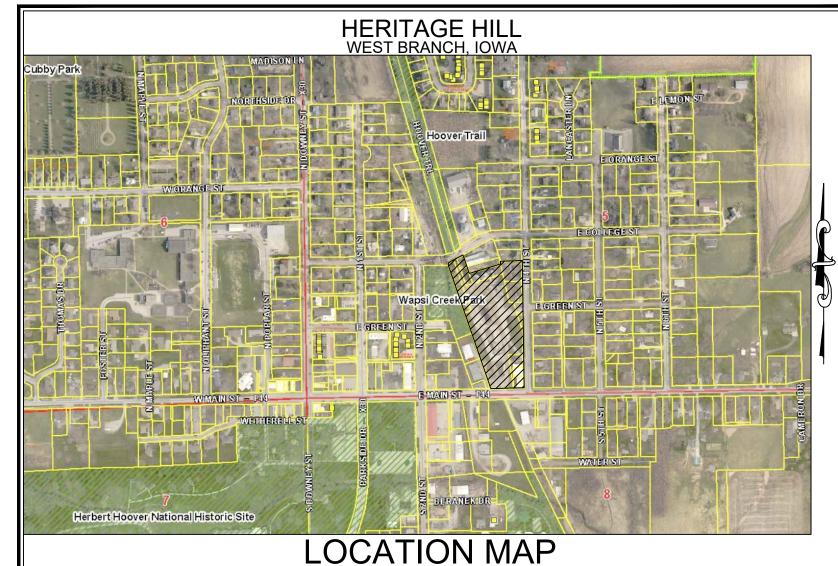
THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- - CONTOUR LINES (2' INTERVAL)

LEGAL DESCRIPTION: REZONING "P-1" TO "PUD" A PORTION OF LAND IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA, MORE PARTICULARLY BEGINNING AT THE NORTHEAST CORNER OF A PLAT OF SURVEY, RECORDED IN BOOK "I", AT PAGE 257, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE SOUTHEASTERLY 422.95 FEET, ALONG THE EASTERLY LINE OF SAID PLAT OF SURVEY AND ALSO AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE CHORD BEARS S17°55'10"E, 422.88 FEET, TO THE SOUTHEAST CORNER OF SAID PLAT OF SURVEY, THENCE S70°12'37"W, ALONG SAID SOUTHERLY LINE OF SAID PLAT OF SURVEY, A DISTANCE OF 100.00 FEET TO A SOUTHERLY CORNER OF SAID PLAT OF SURVEY; THENCE NO4°43'12"W, 437.71 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.46 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

LEGAL DESCRIPTION: REZONING "R-3" TO "PUD" A PORTION OF LAND IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 9 IN BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA; THENCE S01°11'57"E, ALONG THE EAST LINE OF SAID BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA, ALSO BEING THE WESTERLY LINE OF 4TH STREET, A DISTANCE OF 273.65 FEET TO A POINT ON THE CENTERLINE OF VACATED GREEN STREET, AS RECORDED IN SAID BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA; THENCE S88*48'39"W ALONG SAID CENTERLINE AND THE WESTERLY EXTENSION THEREOF, A DISTANCE OF 99.69 FEET TO THE EXTENSION OF THE PERIMETER LINE OF A RETRACEMENT PLAT AS RECORDED IN BOOK "K", AT PAGE 110, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE NO8°53'39"W, ALONG THE EAST LINE OF LOT 1 OF TRACT 1 AS RECORDED IN BOOK "E", PAGE 117, IN THE OFFICE OF THE CEDAR COUNTY RECORDERS, LOT 2 OF TRACT 1, AS RECORDED IN BOOK E, AT PAGE 117 IN THE OFFICE OF THE CEDAR COUNTY RECORDER, SAID PERIMETER LINE, AND THE SOUTHEASTERLY EXTENSION THEREOF, A DISTANCE OF 293.55 FEET TO THE NORTHEAST CORNER OF SAID LOT 1 OF TRACT 1; THENCE CONTINUING NO8'53'39"W, ALONG THE EAST LINE OF A DEED DESCRIBED IN BOOK 293 AT PAGE 168, IN THE OFFICE OF THE CEDAR COUNTY RECORDER, A DISTANCE OF 20.39 FEET TO THE WESTERLY LINE OF SAID BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA; THENCE 38.82 FEET SOUTHEASTERLY, ALONG SAID WESTERLY LINE, AND THE ARC OF A 6227.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 38.82 FOOT CHORD BEARS \$16*26'45"E TO THE SOUTHWEST CORNER OF SAID LOT 9; THENCE N88°48'39'E, ALONG THE NORTH LINE OF SAID LOT 9, A DISTANCE OF 131.51 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.74 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



NOT TO SCALE

HERITAGE HILL **SUBDIVISION** WEST BRANCH,

CEDAR COUNTY,

IOWA

REZONING EXHIBIT

MMS CONSULTANTS, INC. 08-04-22 Designed by: Field Book No: 1343-PG 39 Drawn by: Checked by: Project No:

11186-002

4/2 E MAIN ST

LARSON\ROGER G

BARNHART PROPERTIES LLC

ORDINANCE AN ORDINANCE EST	TABLISHING A HISTORIC PRESERVATION
COMMISSION FOR THE CITY OF _	, IOWA; PROVIDING FOR
THE RECOGNITION AND PROMO	TION OF HISTORIC SITES AND DEFINING
POWERS AND DUTIES OF THE CO	OMMISSION.
BE IT ORDAINED BY THE CITY C	OUNCIL

26.01: Purpose and Intent

OF

The purpose of this ordinance is to:

- a. Promote the educational, cultural, economic and general welfare of the public through the recognition, enhancement, and perpetuation of sites and districts of historical and cultural significance;
- b. Safeguard the City's historic, aesthetic, and cultural heritage by preserving sites and districts of historic and cultural significance;
- c. Stabilize and improve property values;
- d. Foster pride in the legacy of beauty and achievements of the past;
- e. Protect and enhance the City's attractions to tourists and visitors and the support and stimulus to business thereby provided;
- f. Strengthen the economy of the City;
- g. Promote the use of sites and districts of historic and cultural significance as places for the education, pleasure, and welfare of the people of the City.

26.02: Definitions

- a. Commission. The City of West Branch Historic Preservation Commission, as established by this ordinance.
- b. Historic District. An area which contains a significant portion of sites including archaeological sites, buildings, structures, objects and/or other improvements which, considered as a whole, possesses integrity of location, design, setting, materials, workmanship, feeling, and association, and
 - 1. embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or
 - 2. that represents a significant and distinguishable entity whose components may lack individual distinction; or
 - 3. is associated with events that have made significant contributions to the broad patterns of our local, state or national history; or
 - 4. possesses a coherent and distinctive visual character or integrity based upon similarity of scale, design, color, setting, workmanship, materials,

- or combinations thereof, which is deemed to add significantly to the value and attractiveness of properties within such area.
- 5. is associated with the lives of persons significant in our past; or
- 6. has yielded, or may be likely to yield, information important in prehistory or history.
- c. Historic Landmark. A site including archaeological sites, object, structure or building which,
 - 1. is associated with events that have made a significant contribution to the broad patterns of our history; or
 - 2. is associated with the lives of persons significant in our past; or
 - 3. embodies the distinctive characteristics of a type, period, or method of construction, or that represents a work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
 - 4. has yielded, or may be likely to yield, information important in prehistory or history.

d. Districts

- 1. "West Branch Historic District" consists of any building in West Branch that is listed on the National Register of Historic Places. All of the terms of this chapter apply to property located within the West Branch Historic District. (See Map included in the Appendix to this Code of Ordinances.)
- 2. "West Branch Preservation District" consists of all of those properties located within the West Branch Historic District, together with all of those properties in the West Branch Preservation District, as shown on the map included in the Appendix to this Code of Ordinances. The provisions of this chapter relating to signs apply to property located within the West Branch Preservation District. Property located in CB-1, CB-2 and CI-2 Districts may be included in the West Branch Preservation District upon application of the property owner to the City. (See form of application in the Appendix to this Code of Ordinances.)
- 3. "West Branch Underground Railroad Preservation District" consist of any building or site in West Branch known to be affiliated with the underground railroad; or is a nearby property or site affiliated with the West Branch Underground Railroad. (See Map included in the Appendix to this Code of Ordinances.)

26.03: West Branch Historic Preservation Commission

a. The Commission shall initially consist of (not less than three, 3) members who shall be residents of the City.

- b. Members of the Commission shall be appointed by the Mayor with the advice and consent of the City Council. Members shall demonstrate a positive interest in historic preservation, possessing interest or expertise in architecture, architectural history, historic preservation, city planning, building rehabilitation, conservation in general or real estate.
- c. The original appointment of the members of the Commission shall be, three for two years, and two for three years, from January 1 following the year of such appointment or until their successor is appointed to serve for a term of three years.
- d. Vacancies occurring in the Commission, other than expiration of term of office, shall be only for the unexpired portion of the term of the member replaced.
- e. Members may serve for more than one term and each member shall serve until the appointment of a successor.
- f. Vacancies shall be filled by the City according to the original selection as aforesaid.
- g. Members shall serve without compensation.
- h. A simple majority of the commission shall constitute a quorum for the transaction of business.
- i. The Commission shall elect a Chairman who shall preside over all Commission meetings and elect a Secretary who shall be responsible for maintaining written records of the commission's proceedings.
- j. The Commission shall meet at least three (3) times a year.

Because the West Branch Historic Preservation Commission has a strong interest in liaison with organizations that have a special affinity with local history, the Commission may recommend to the Mayor and Council that up to three Ex. Officio (non-voting) honorary members be appointed to the Commission by the Mayor with the advice and consent of the City Council. These Ex. Officio (non-voting) honorary members may be representatives of the Herbert Hoover National Historic Site, the Herbert Hoover Presidential Library-Museum and the Hoover Presidential Foundation.

26.04: Powers of the Commission

a. The Commission may conduct studies for the identification and designation of historic districts and landmarks meeting the definitions established by this ordinance. The commission may proceed at its own initiative or upon a petition from any person, group, or association. The Commission shall maintain records of all studies and inventories for public use.

- b. The Commission may make a recommendation to the State Historic Preservation Office for the listing of a historic district or landmark in the National Register of Historic Places and may conduct a public hearing thereon.
- c. The Commission may investigate and recommend to the City Council the adoption of ordinances designating historic landmarks and historic districts if they qualify as defined herein; and
- d. Provide information for the purpose of historic preservation to the governing body. Promote and conduct an educational and interpretive program on historic properties within its jurisdiction.
- e. Promote and conduct an educational and interpretive program on historic properties within its jurisdiction.
- f. Other Powers. In addition to those duties and powers specified above, the Commission may, with City Council approval:
 - i. Accept unconditional gifts and donations of real and personal property, including money, for the purpose of historic preservation.
 - ii. Acquire by purchase, bequest, or donation, fee and lesser interests in historic properties, including properties adjacent to or associated with historic properties.
 - iii. Preserve, restore, maintain and operate historic properties, under the ownership or control of the Commission.
 - iv. Lease, sell, and otherwise transfer or dispose of historic properties subject to rights of public access and other covenants and in a manner that will preserve the property.
 - v. Contract, with the approval of the governing body, with the state or the federal government or other organizations. Cooperate with the federal, state and local governments in the pursuance of the objectives of historic preservation.

26.05: PERMIT REQUIRED. It is unlawful for any person to begin new construction or to make any external alteration or repairs, including signs, in any manner whatsoever to any building within the confines of the Historic District, or to install or change a sign within the Preservation District, without first obtaining a permit as provided herein.

26.06: APPLICATION. Applicants for permit under this chapter must file with the Mayor an application in writing on a form furnished for such purpose, which shall give the following information:

- 1. Name of applicant and property owner.
- 2. Permanent address of applicant and full address of property owner.

- 3. A detailed description of the nature of the proposed construction, external alteration and/or repair to the building.
- 4. A drawing or sketch of proposed construction or external alteration.
- 5. The intended start and finish dates for alteration and/or repair.

(See the Appendix to this Code of Ordinances for Permit Application Form.)

26.07: ADMINISTRATIVE REVIEW AUTHORITY. The City Administrator or designee and the Historic Preservation Commission Chair, will have authoritative review rights on window decals that meet design standards. The Historic Preservation Commission will be the appeal board on window decal administrative review.

26.08: INVESTIGATION AND ISSUANCE.

- 1. Upon receipt of application for permit under this chapter by the Mayor or designated alternate, the application shall be checked for compliance with the City of West Branch Building Codes within five (5) days. It shall also be referred upon receipt to the Chairperson of the West Branch Preservation Commission.
- 2. Applications for construction, alterations and/or repairs not in compliance with City of West Branch Building Codes will be returned to the applicant with a complete explanation of changes necessary for compliance.
- 3. Upon receipt of application, the Chairperson of the West Branch Preservation Commission shall call a meeting of said Commission. The Commission shall approve or disapprove the application by majority vote based on the *Basic Standards for the Restoration and Rehabilitation of Historic Structures, Standards for Signage Design and Display, Checklist and Example of Prohibited Signs.* (See Appendix to this Code of Ordinances.) The application and a report of Commission action shall be returned to the Mayor within ten (10) calendar days from date of receipt.
- 4. Upon receipt of the application and report from the West Branch Preservation Commission, the Mayor or designated agent will issue a permit to authorize construction, alterations and repairs receiving approval of the Commission. The permit shall be issued within twelve (12) calendar days from the date of the application. The permit fee shall be \$10.00.
- 5. Upon receipt of an unfavorable report from the West Branch Preservation Commission, the Mayor or his or her assigned agent will notify applicant of the rejection and the reason therefor. The applicant will also be informed in the same notification that the rejection can be appealed through the Council at the following regular meeting, or that a revised application may be submitted to the Commission for review.

6. The Council shall serve as an arbitrator on all appeals. The Council shall decide within 30 days of an appeal. An appeal of the decision of Council, if any, must be made with the Clerk of District Court within 60 days of the decision of Council.

26.09: VIOLATION. Any person violating any provision of this chapter shall be deemed guilty of a misdemeanor; if such violation continues, each day's violation shall be considered a separate offense.

26.10: NONCONFORMING SIGNS. All signs installed or displayed on September 9, 1991, are allowed to remain. All signs installed or displayed subsequent to September 9, 1991, and all future signs, including replacements or modifications, must fully comply with this chapter. Variances may be granted upon showing of undue hardship. Before any variance is granted the following conditions must be shown to be present: the sign must be located outside a building and must display a trademark or symbol recognized Statewide or nationally.

26.11: Severability

Should any section or provision of this ordinance be decided by a court of this state to be unconstitutional or invalid, such decision shall not affect the validity of the ordinance as a whole or any part thereof other than the part so decided to be unconstitutional or invalid. Section 6:

26.12: Amendatory Provisions

The City may amend this ordinance to meet any unforeseen circumstances which may affect the duties and responsibilities of the Commission.

•	•	opted and approved thi	sday
of	20	City of	·
		 	Mayor
			City Clerk

West Branch Preserved Historic Buildings



Preserved Buildings Historic District

Preservation District

Building Legend

- Citizen's Savings Bank (1908)
 Leech Building (1912)
 Leech-Gruwell Garage (1911)

- 4. Opera Block (1895)
- 5. Old West Branch State Bank (1916) 6. Crook's Hotel/Hoover House (1870) 7. West Branch Bank (1875)
- 8. Veterans Memorial Building (1947) 9. Union Block (1895) 10. Patterson-Leech Building (1890)

- 11. Gruwell-Crew Building (1894)
 12. Earliest Citizen's Savings Bank (1898)
 13. Grinnell Building (1869)
 14. Enlow Building (1904)
 15. Rich and Bailey Block (1895)
 A- Albin-Douglass Building



Red: West Branch Underground Railroad Preservation District, selected property is known as Townsend's Traveler's Rest.



PRELIMINARY PLAT APPLICATION

Applicant Name:BBCO LLC	_		
Address: PO Box 277	West Liberty	_lowa	52776
Street or PO Box Phone: 319-631-3138	City Email: bluesky Signature:	state rdev@rocketmail.	Zip Code
Additional Contact			Y
Name: Kelly Beckler	_		
Phone: 319-351-8282	Email: <u>k.beckl</u>	er@mmsconsulta	ants.net
Property Owner (if other than applicant)			
Name:City of West Branch	_		
Address: 110 N Poplar St., PO Box 218 Street or PO Box #	West Branch City	lowa State	<u>52358</u> Zip Code
Phone: 319-643-5888	Email: adam@	westbranchiowa	.org
During the review process City staff, Planning & Zon the property owner does not wish to allow visitors or			y visit the property. If
Property Information Address (if none, list name of closest streets	s):325 E Green Stree	t	
Assessor's Parcel # (Attach Legal Description	on): <u>0500-13-05-361-</u> 0	007-0	
Subdivision Name: Heritage Hill Subdivision	1		
Number of Lots: 1 Property	/ Size: <u>5.93 AC</u>	Current Zoni	ng:I <u>-2; Proposed: PU</u> I
Subdivider's Engineer Name: Kelly Beckler, MMS Consultants, Inc.			
Address: 1917 S. Gilbert Street Street or PO Box #	lowa City	IA State	
Phone: 319-351-8282 Email: k.beckler@mmsconsultants.net			tants.net

City of West Branch - Preliminary Plat Requirements: ☐ Title, scale, north point and date. An outline of the area to be subdivided, identifying approximate dimensions of the boundary lines. An accurate legal description of the land included in the subdivision and giving reference to two section corners within the U.S. public land system in which the plat lies, or if the plat is a subdivision of any portion of an official plat, two established monuments within the official plat. ☑ Each lot within the plat shall be assigned a progressive number. Present and proposed streets, alleys and sidewalks with their right of way, in or adjoining subdivision including dedicated widths, approximant gradients, types and widths of surfaces, curbs, and planting strips Proposed layout of lots, showing numbers, approximate dimensions and the square foot areas of lots that are not rectangular. ☑ Building setbacks or front yard lines. A Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semipublic or community purposes. Present and proposed easements showing locations, widths, purposes and limitations. Present and proposed utility systems including the locations and size of existing sanitary and storm sewers, culverts, water mains, street lights and other public utilities; and the location and alignment of proposed utilities to serve the development. Proposed name of the subdivision which shall not duplicate or resemble existing subdivision names in Cedar County. Name(s) and addresses of the owner, subdivider, and engineer, surveyor or architect who prepared the preliminary plat and the engineer, surveyor or architect who will prepare the final plat. ☑ Existing and proposed zoning of the proposed subdivision and adjoining property. N/A A general summary description of any protective covenants or private restrictions to be incorporated in the final plat. ☐ Contours at vertical intervals of not more than two (2) feet if the general slope of the site is less than ten percent (10 %) and at vertical intervals of not more the five (5) feet if the general slope is ten percent (10%) or greater, unless the Planning & Zoning Commission waives this requirement. The location of any floodway and flood hazards boundaries and the identification of those areas subject to flooding and high water. ☐ Identification of all adjoining properties and where such adjoining properties are part of recorded subdivisions the names of those subdivisions. ☐ Identification of areas prone to erosion and by separate document attached to the preliminary plat, a grading plan to explain the methods that will be used to control erosion pursuant to the requirements of Chapter 170.15(15) N/A \square A proposal to turn over 5% of useable subdivided land or its value to the City of West Branch for park development. N/A \(\simega \) A list of all variances from zoning and subdivision regulations that are being requested.

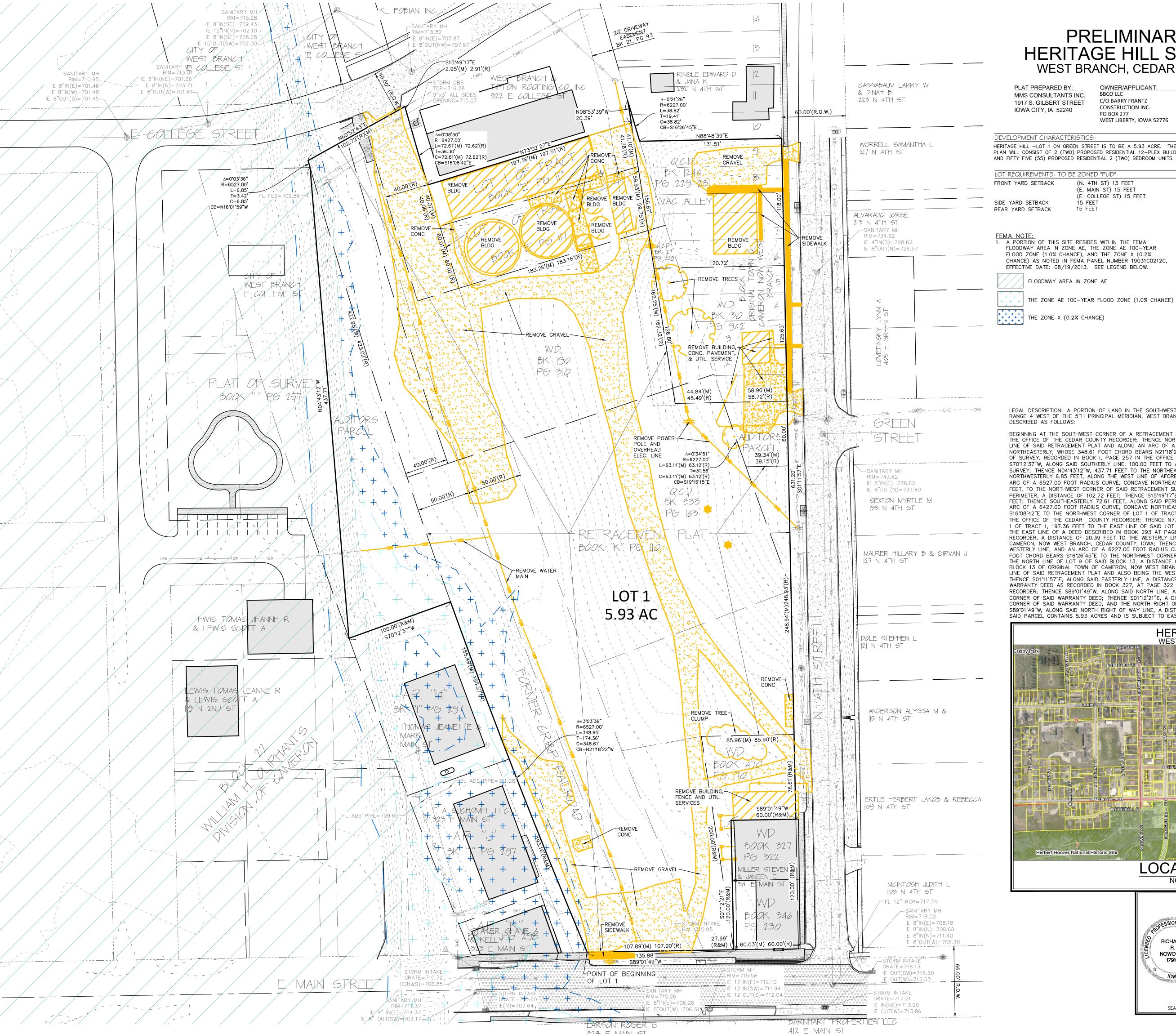
<u>Process:</u> Staff will review the first submittal and issue a preliminary report listing required and recommended changes, and will include a date by which a revised complete set of 7 copies is required to be submitted for final staff review and for Planning & Zoning Commission and Council consideration. Along with a revised set, Acrobat "PDF" files of all materials are required.

PRELIMINARY PLAT CHECKLIST

Please attach following items. Additional materials may be required during the review process. Failure to submit the complete application materials may result in delays in processing.

Submittal Deadline: 1st working day of month by 12:00 p.m.

Submittal Requirements:				
☑ 1 completed copy of this application form, including checklist.				
☑ Application Fee: \$300. Applicant is responsible for actual cost of the City Engineer's review and additional engineering reviews.				
☑ 2 scalable copies folded to 8.5"x11" & Acrobat "PDF" files emailed to leslie@westbranchiowa.org				
N/A ☐ Other information requested by City Staff for review of the proposed project.				
☐ If the applicant is other than the legal owner, the applicant interest shall be indicated legal owners' authority to apply shall be included in a certified legal form.				
For Staff Use:				
Date application and preliminary plat received				
Information forwarded to City Engineer, City Attorney, Planning & Zoning Commission, Building				
Inspector, Public Works Director and Fire Chief				
Comments received from:				
City Engineer City Attorney				
Building Inspector Public Works Director Fire Chief				
Comments forwarded to Developer and Planning & Zoning Commission.				
Date of 1st Planning & Zoning Commission meeting				
Date of 2 nd Planning & Zoning Commission meeting (if needed)				
Date of Planning & Zoning Commission Approval				
Stamp Preliminary Plat 'Approved' – email to Subdivider and their engineer & City Council				
Forward approved preliminary plat to City Attorney for creation of Resolution and Subdivider's Agreement				
Invoice Subdivider for Engineering fees				
Date of 1st City Council meeting, preceding P&Z approval				
Preliminary Plat Resolution #, approved				
Subdivider's Agreement, approved				
Signature of City Staff / Title Date				



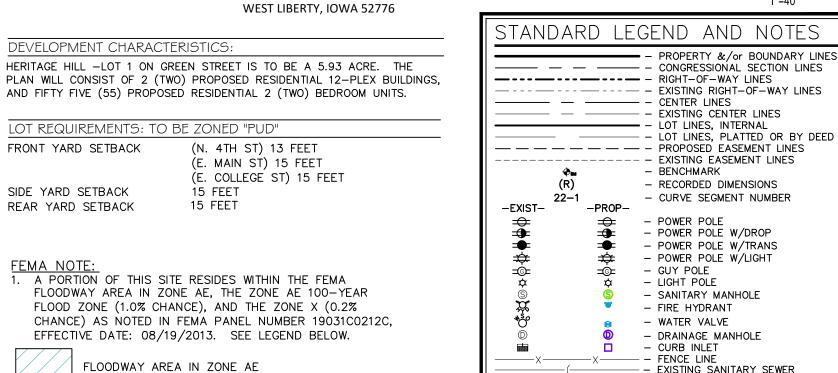
PRELIMINARY PLAT HERITAGE HILL SUBDIVISION WEST BRANCH, CEDAR COUNTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET

OWNER/APPLICANT: APPLICANT'S ATTORNEY: JAMES D. HOUGHTON C/O BARRY FRANTZ 216 STEVENS DRIVE CONSTRUCTION INC. IOWA CITY, IA 52240 PO BOX 277

0 4 10 20 30 40

GRAPHIC SCALE IN FEET 1"=40'



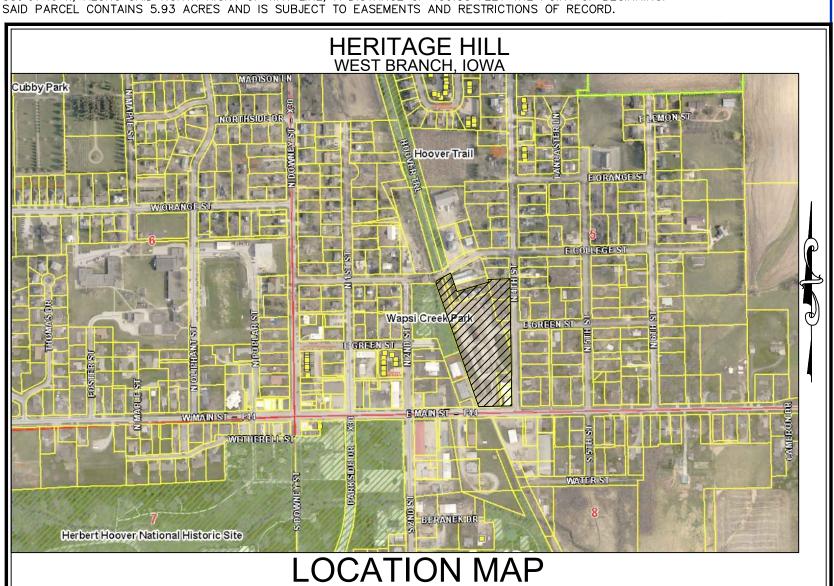
--- - EXISTING RIGHT-OF-WAY LINES - LOT LINES, PLATTED OR BY DEED — — — — — — PROPOSED EASEMENT LINES - FENCE LINE - EXISTING SANITARY SEWER - PROPOSED SANITARY SEWER - EXISTING STORM SEWER - PROPOSED STORM SEWER - WATER LINES - ELECTRICAL LINES - TELEPHONE LINES GAS LINES - - - CONTOUR LINES (2' INTERVAL) - PROPOSED GROUND - EXISTING TREE LINE - EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH

ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE

APPROVAL OF THIS DOCUMENT.

LEGAL DESCRIPTION: A PORTION OF LAND IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH PRINCIPAL MERIDIAN, WEST BRANCH, CEDAR COUNTY, IOWA, MORE PARTICULARLY

BEGINNING AT THE SOUTHWEST CORNER OF A RETRACEMENT PLAT, RECORDED IN BOOK "K", AT PAGE 110, IN THE OFFICE OF THE CEDAR COUNTY RECORDER: THENCE NORTHWESTERLY 348.65 FEET, ALONG THE WEST LINE OF SAID RETRACEMENT PLAT AND ALONG AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 348.61 FOOT CHORD BEARS N2118'22"W, TO THE SOUTHEAST CORNER OF A PLAT OF SURVEY, RECORDED IN BOOK I, PAGE 257 IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE S70"12'37"W, ALONG SAID SOUTHERLY LINE, 100.00 FEET TO A SOUTHERLY CORNER OF SAID PLAT OF SURVEY: THENCE NO4'43'12"W. 437.71 FEET TO THE NORTHEAST CORNER OF SAID PLAT OF SURVEY: THENCE NORTHWESTERLY 6.85 FEET, ALONG THE WEST LINE OF AFOREMENTIONED RETRACEMENT PLAT AND ALONG AN ARC OF A 6527.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE CHORD BEARS N16°01'59"W, 6.85 FEET, TO THE NORTHWEST CORNER OF SAID RETRACEMENT SURVEY; THENCE N60°52'43"E, ALONG THE PERIMETER, A DISTANCE OF 102.72 FEET; THENCE S15'49'17"E, ALONG SAID PERIMETER, A DISTANCE OF 2.95 FEET; THENCE SOUTHEASTERLY 72.61 FEET, ALONG SAID PERIMETER OF SAID RETRACEMENT PLAT, ALONG AN ARC OF A 6427.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 72.61 FOOT CHORD BEARS S16°08'42"E TO THE NORTHWEST CORNER OF LOT 1 OF TRACT 1 AS RECORDED IN BOOK "E", PAGE 117, IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE N73*02'27"E, ALONG THE NORTH LINE OF SAID LOT 1 OF TRACT 1, 197.36 FEET TO THE EAST LINE OF SAID LOT 1 OF TRACT 1; THENCE NO8'53'39"W. ALONG THE EAST LINE OF A DEED DESCRIBED IN BOOK 293 AT PAGE 168, IN THE OFFICE OF THE CEDAR COUNTY RECORDER, A DISTANCE OF 20.39 FEET TO THE WESTERLY LINE OF BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA; THENCE SOUTHEASTERLY 38.82 FEET, ALONG SAID WESTERLY LINE, AND AN ARC OF A 6227.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, WHOSE 38.82 THE NORTH LINE OF LOT 9 OF SAID BLOCK 13, A DISTANCE OF 131.51 FEET TO THE EAST LINE OF SAID BLOCK 13 OF ORIGINAL TOWN OF CAMERON, NOW WEST BRANCH, CEDAR COUNTY, IOWA, ALSO THE EASTERLY LINE OF SAID RETRACEMENT PLAT AND ALSO BEING THE WESTERLY LINE OF 4TH STREET RIGHT OF WAY; THENCE S01"11'57"E, ALONG SAID EASTERLY LINE, A DISTANCE OF 631.20 FEET TO THE NORTH LINE OF A WARRANTY DEED AS RECORDED IN BOOK 327, AT PAGE 322 IN THE OFFICE OF THE CEDAR COUNTY RECORDER; THENCE S89°01'49"W, ALONG SAID NORTH LINE, A DISTANCE OF 60.00 FEET TO THE NORTHWEST CORNER OF SAID WARRANTY DEED; THENCE S01"12'21"E, A DISTANCE OF 120.00 FEET TO THE SOUTHWEST CORNER OF SAID WARRANTY DEED, AND THE NORTH RIGHT OF WAY LINE OF EAST MAIN STREET; THENCE S89°01'49"W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 135.88 FEET THE POINT OF BEGINNING



NOT TO SCALE

PRELIMINARY PLAT

CIVIL ENGINEERS

LAND PLANNERS

LAND SURVEYORS

1917 S. GILBERT ST.

(319) 351-8282

IOWA CITY, IOWA 52240

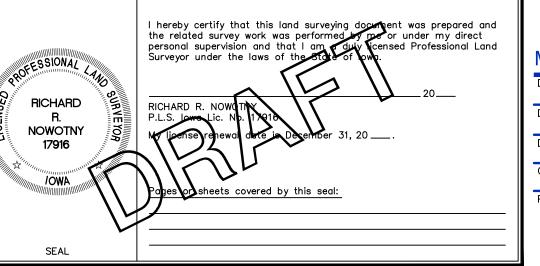
www.mmsconsultants.net

LANDSCAPE ARCHITECTS

ENVIRONMENTAL SPECIALISTS

HERITAGE HILL **SUBDIVISION**

WEST BRANCH, CEDAR COUNTY,



MMS CONSULTANTS, INC. 08-04-22 Designed by: 1343-PG 39 Drawn by: Checked by: 11186-002



SITE PLAN APPLICATION

Date

Applicant Information:

Name: <u>BBCO LLC</u>	_		
Address: PO Box 277	West Liberty	lowa	52776
Street or PO Box #	City	State	Zip Code
Phone: <u>319-631-3138</u>	Email: <u>bluesky</u>	dev@rocketmail.co	om
Additional Contact:			
Name: Kelly Beckler	_		
Phone: 319-351-8282 Email: k.beckler@mmsconsultants.net			
Property Owner (if other than applicant):			
Name: City of West Branch	_		
Address: 110 N Poplar St., PO Box 218	West Branch	_lowa	52358
Street or PO Box #	City	State	Zip Code
Phone: <u>319-643-5888</u>	Email: <u>adam@</u>	westbranchiowa.or	<u>rg</u>
Property Information:			
Address (if no address, list name of closest	streets): <u>325 E Green</u>	Street	
Assessor's Parcel # (Attach Legal Description	on): <u>0500-13-05-361-0</u>	007-0	
Current Zoning: <u>I-2; Proposed: PUD</u>			
During the review process the Diagnics are		on City Chaff many	ait the amount of
During the review process, the Planning and Please sign here if the property owner does property.	_		
X			
11			/04/2022
		8	/04/2022

Signature of Applicant

<u>Submittal deadline</u>: 14 days prior to next regularly scheduled Planning and Zoning Commission meeting. Site Plan Application Fee: \$200.00. Special Meeting Request fees are \$150.00 per meeting.

*Additional costs that may be charged include: Public Hearing publishing costs, Engineer and Attorney fees, and mailing costs. Applicant will be billed for additional costs and must be paid before Site Plan Application will proceed.

Include with this application:

1 complete copy of this application form. Detailed Site Plan – The site plan shall contain all the information required by Sections 173.04 and 173.06 unless erwise waived by the Zoning Administrator. Submit 5 copies of site plan and associated documents, no larger than x 17 or email Acrobat "PFD" files of all materials to leslie@westbranchiowa.org . for distribution. Other information deemed necessary by the City Staff for the review of the proposed project	
	_
r Staff Use:	
Date application received - includes detailed site plan	
Date complete application forwarded to Planning & Zoning Commission, Mayor, City Council, City Engineer, City Attorney, Fire Chief, Public Works Director and Zoning Administrator	
Date of Pre-application conference	
Date comments / recommendations received from City Engineer	
Date comments / recommendations received from Zoning Administrator	
Date of next Planning & Zoning Commission meeting, application must be received at least 14 days prior to the P & Z meeting	е
Date of second Planning & Zoning Commission meeting	
Date Planning & Zoning approved Site Plan	
Date of City Council meeting to approve Site Plan (approved by Planning & Zoning)	
Action taken by City Council Approve Deny	
Date applicant notified of City Council decision	
cellaneous Information:	
Signature of City Official Date	

CIVIL ENGINEERS

LAND PLANNERS

LAND SURVEYORS

1917 S. GILBERT ST IOWA CITY, IOWA 52240

(319) 351-8282

LANDSCAPE ARCHITECTS

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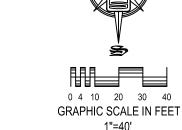
ENVIRONMENTAL SPECIALISTS

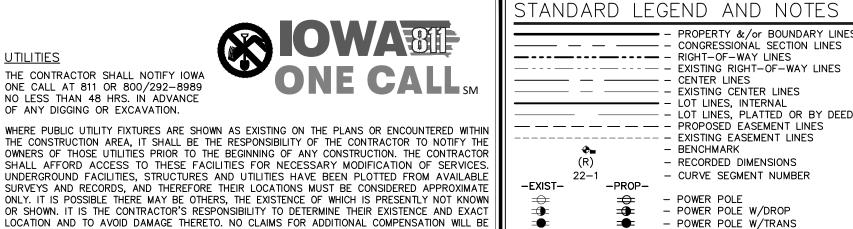
SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

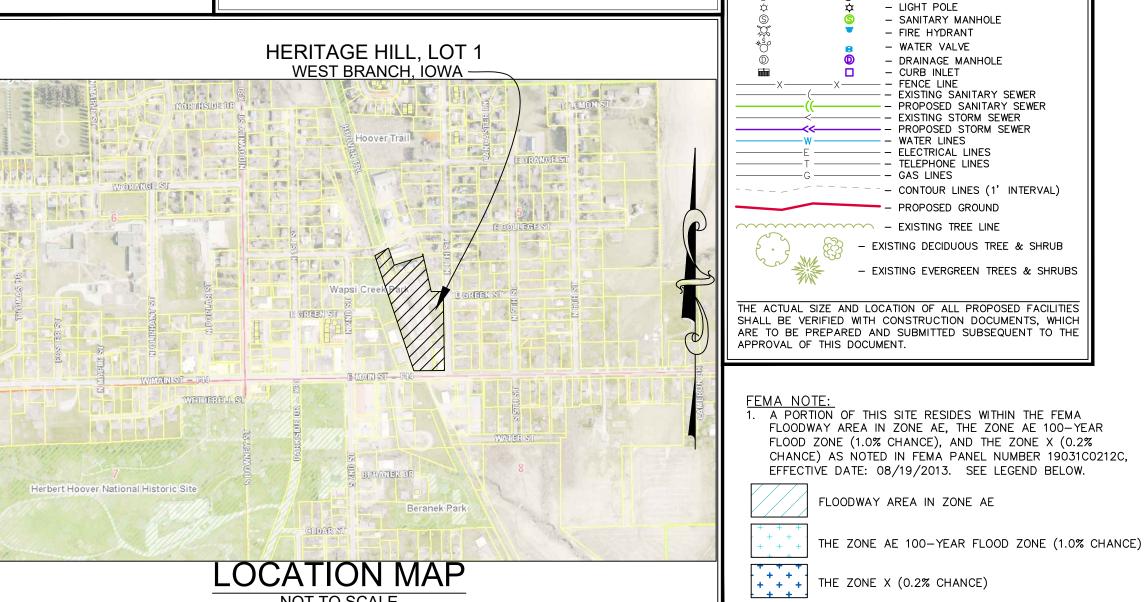
PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

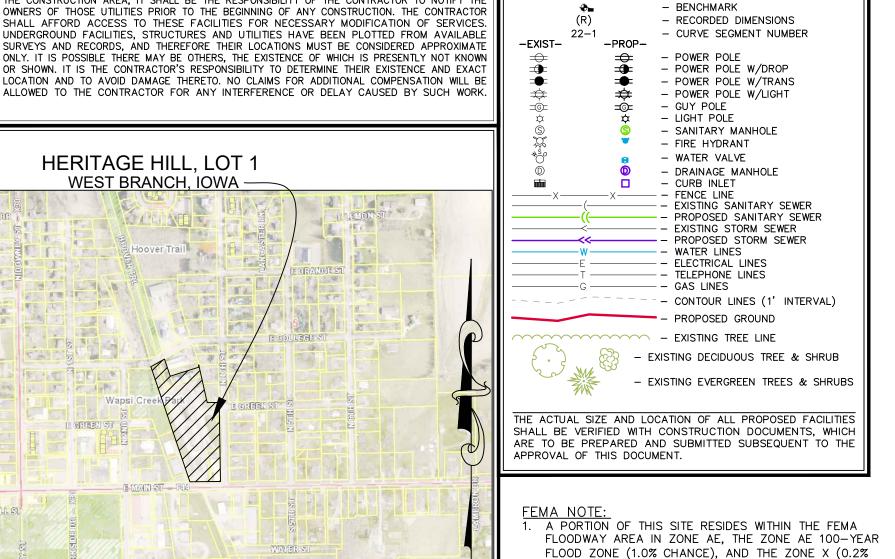
PO BOX 277 WEST LIBERTY, IOWA 52776

JAMES D. HOUGHTON 216 STEVENS DRIVE

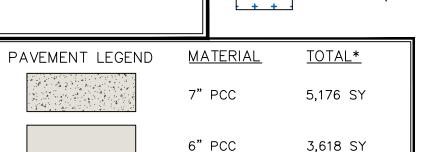








- EXISTING EASEMENT LINES



1,329 SY

OVERALL SITE LAYOUT AND DIMENSION PLAN

HERITAGE HILL - LOT 1 IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 5.93 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

5. ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

PAVING CONSTRUCTION NOTES

1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION

2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.

3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.

4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES. UNLESS NOTED OTHERWISE.

258,182 SF RESIDENTIAL

SITE DEVELOPMENT SUMMARY: ZONING: PUD

SQUARE FOOTAGE: PROPOSED USE:

DEVELOPMENT CHARACTERISTICS:

HERITAGE HILL -LOT 1 ON GREEN STREET IS TO BE A 5.93 ACRE. THE PLAN WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-PLEX BUILDINGS, AND FIFTY FIVE (55) PROPOSED RESIDENTIAL 2 (TWO) BEDROOM UNITS.

DEVELOPMENT SCHEDULE APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2022, WITH AN ESTIMATED COMPLETION DATE IN FALL 2023.

SITE COVERAGES: TOTAL LOT AREA

TOTAL OPEN AREA

258,182 S.F. (100%) PROPOSED BUILDING AREA 46,117 S.F. (17.9%) PROPOSED PAVING AREA 86,800 S.F. (33.6%) 132,917 S.F. (51.5%) 125,265 S.F. (48.5%) TOTAL IMPERVIOUS AREA

LOT REQUIREMENTS FRONT YARD SETBACK

(N. 4TH ST) 13 FEET E. MAIN ST) 15 FEET (E. COLLEGE ST) 15 FEET SIDE YARD SETBACK 15 FEET REAR YARD SETBACK 15 FEET

PARKING REQUIREMENTS

2 SPACES PER UNIT/ 12 UNITS (TWO BEDROOM EACH) PER BUILDING/ 2 BUILDINGS 2*(12+12) = 48 SPACES TOTAL PARKING PROVIDED = 60 SPACES

2 SPACES PER UNIT/ (TWO BEDROOM EACH) PER BUILDING/ 55 BUILDINGS 2*(55) = 110 SPACESTOTAL PARKING PROVIDED = 220 SPACES (110 GARAGE SPACES AND 110 DRIVE SPACES

SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.

EXISTING FEATURES AND DEMOLITION OVERALL SITE LAYOUT AND DIMENSION PLAN

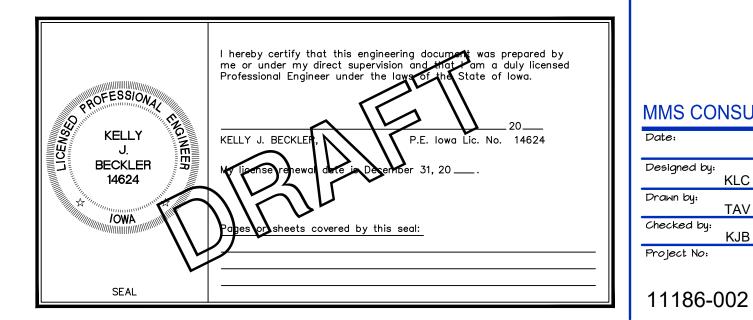
DETAILED SITE LAYOUT AND DIMENSION C121 PLAN - NORTH HALF DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF

GRADING AND EROSION CONTROL PLAN AND

DETAILED GRADING PLAN - NORTH HALF DETAILED GRADING PLAN - SOUTH HALF C142 C160 UTILITY PLAN

GENERAL NOTES AND DETAILS C500 L100 LANDSCAPE PLAN

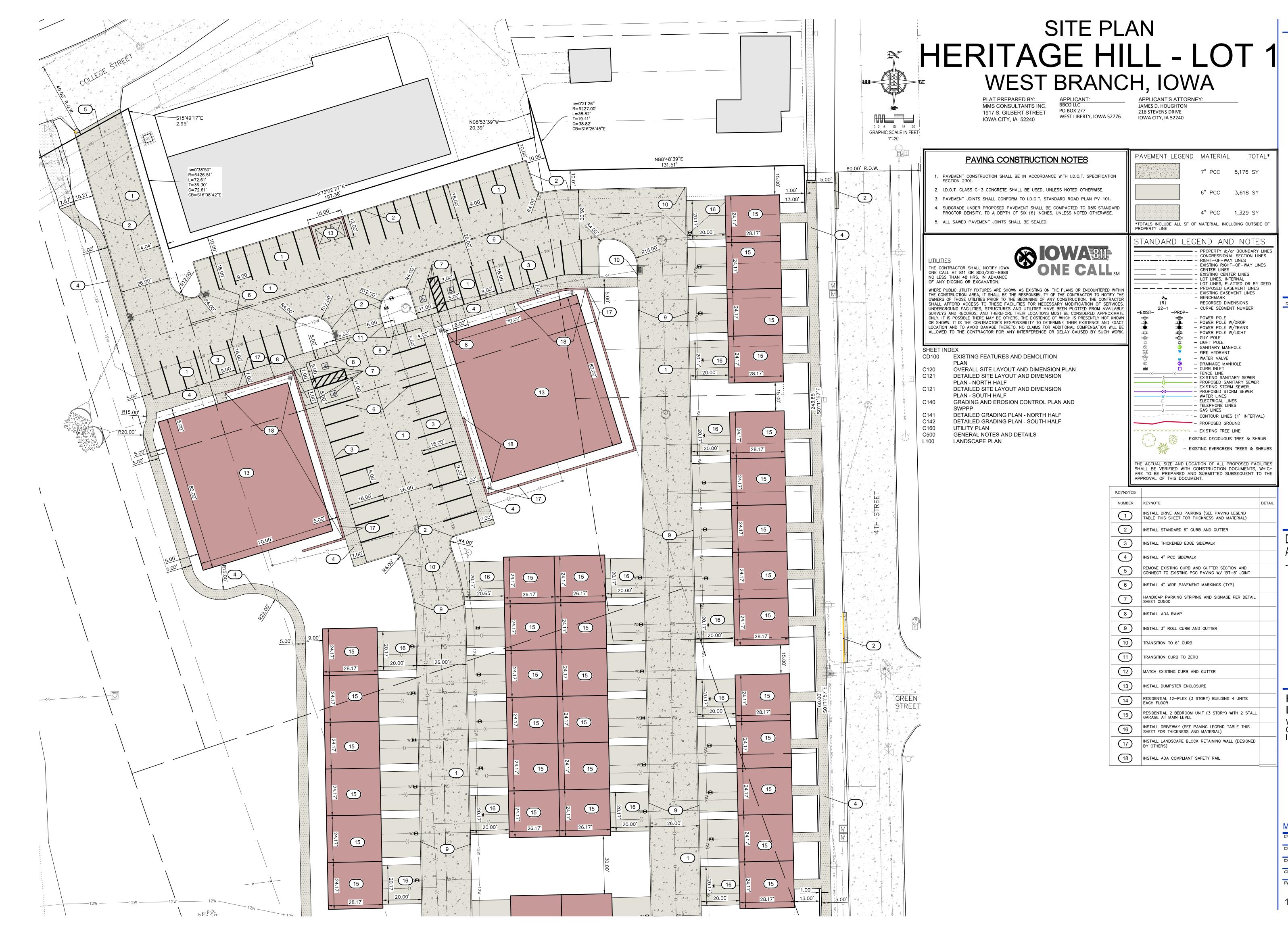
TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE



HERITAGE HILL, LOT 1

WEST BRANCH, CEDAR COUNTY,

MMS CONSULTANTS, INC. 08-04-22 Field Book No: 1343, PG 39 Checked by: Project No:





CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS **ENVIRONMENTAL SPECIALISTS** 1917 S. GILBERT ST.

TOTAL*

7" PCC 5,176 SY

6" PCC 3,618 SY

4" PCC 1,329 SY

— – LOT LINES, PLATTED OR BY DEED

- EXISTING EASEMENT LINES

- RECORDED DIMENSIONS CURVE SEGMENT NUMBER

POWER POLEPOWER POLE W/DROP - POWER POLE W/TRANS - POWER POLE W/LIGHT

- FENCE LINE - EXISTING SANITARY SEWER

- PROPOSED STORM SEWER

PROPOSED SANITARY SEWER EXISTING STORM SEWER

- CONTOUR LINES (1' INTERVAL)

- EXISTING DECIDUOUS TREE & SHRUB

- EXISTING EVERGREEN TREES & SHRUBS

- CENTER LINES

BENCHMARK

- GUY POLE - LIGHT POLE - SANITARY MANHOLE FIRE HYDRANT

 WATER VALVE DRAINAGE MANHOLECURB INLET

- - WATER LINES - - ELECTRICAL LINES

- TELEPHONE LINES GAS LINES

- PROPOSED GROUND

www.mmsconsultants.net

IOWA CITY, IOWA 52240

(319) 351-8282

DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF

HERITAGE HILL LOT 1

WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC. 08-04-22 : Fleld Book No: KLC 1343, PG 39

11186-002

CIVIL ENGINEERS

LAND PLANNERS

LAND SURVEYORS

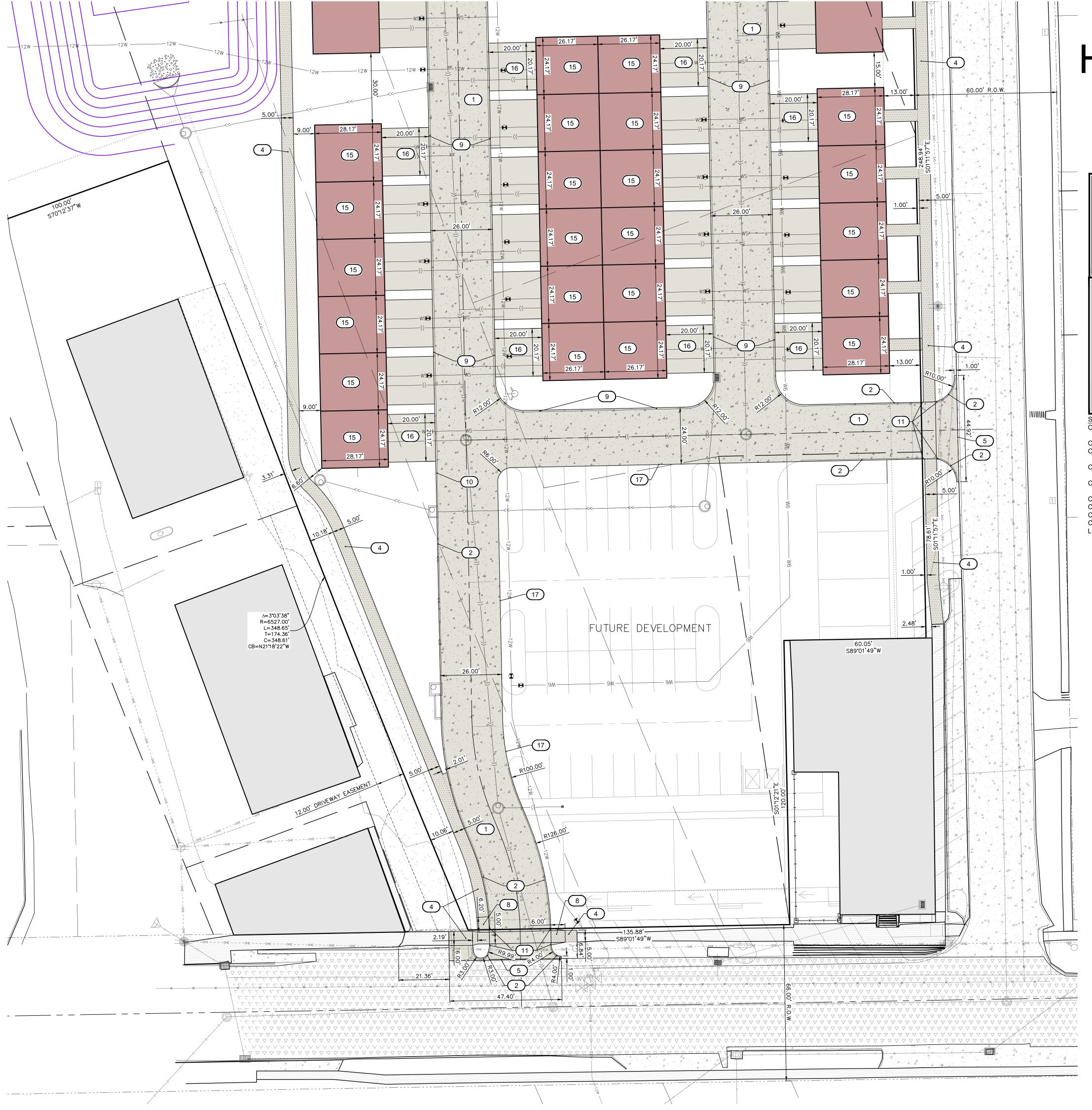
1917 S. GILBERT ST. IOWA CITY, IOWA 52240

(319) 351-8282

LANDSCAPE ARCHITECTS

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ENVIRONMENTAL SPECIALISTS



SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

PO BOX 277 WEST LIBERTY, IOWA 52776 216 STEVENS DRIVE

PAVING CONSTRUCTION NOTES

- 1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION
- 2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- 3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES. UNLESS NOTED OTHERWISE.
- 5. ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

EXISTING FEATURES AND DEMOLITION

- OVERALL SITE LAYOUT AND DIMENSION PLAN DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF
- DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF GRADING AND EROSION CONTROL PLAN AND

LANDSCAPE PLAN

DETAILED GRADING PLAN - NORTH HALF DETAILED GRADING PLAN - SOUTH HALF UTILITY PLAN GENERAL NOTES AND DETAILS

0 2 5 10 15 20 GRAPHIC SCALE IN FEET

KEYNOTES

TOTAL* PAVEMENT LEGEND MATERIAL 7" PCC

4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE STANDARD LEGEND AND NOTES

---- RIGHT-OF-WAY LINES - CENTER LINES

— — — — — — PROPOSED EASEMENT LINES EXISTING EASEMENT LINES BENCHMARK - RECORDED DIMENSIONS CURVE SEGMENT NUMBER POWER POLEPOWER POLE W/DROP - POWER POLE W/TRANS - POWER POLE W/LIGHT GUY POLE - LIGHT POLE

> WATER VALVE DRAINAGE MANHOLECURB INLET - FENCE LINE - EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING STORM SEWER - PROPOSED STORM SEWER - - WATER LINES - - ELECTRICAL LINES - TELEPHONE LINES GAS LINES - CONTOUR LINES (1' INTERVAL)

- PROPOSED GROUND - EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS

- SANITARY MANHOLE FIRE HYDRANT

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

INTINOITS		
NUMBER	KEYNOTE	DET
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ 'BT-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
8	INSTALL ADA RAMP	
9	INSTALL 3" ROLL CURB AND GUTTER	
10	TRANSITION TO 6" CURB	
11	TRANSITION CURB TO ZERO	
12	MATCH EXISTING CURB AND GUTTER	
13	INSTALL DUMPSTER ENCLOSURE	
14	RESIDENTIAL 12-PLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
15	RESIDENTIAL 2 BEDROOM UNIT (3 STORY) WITH 2 STALL GARAGE AT MAIN LEVEL	
16	INSTALL DRIVEWAY (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
17	EDGE OF PAVEMENT, NO CURB	

DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF

HERITAGE HILL,

LOT 1 WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.

CIVIL ENGINEERS

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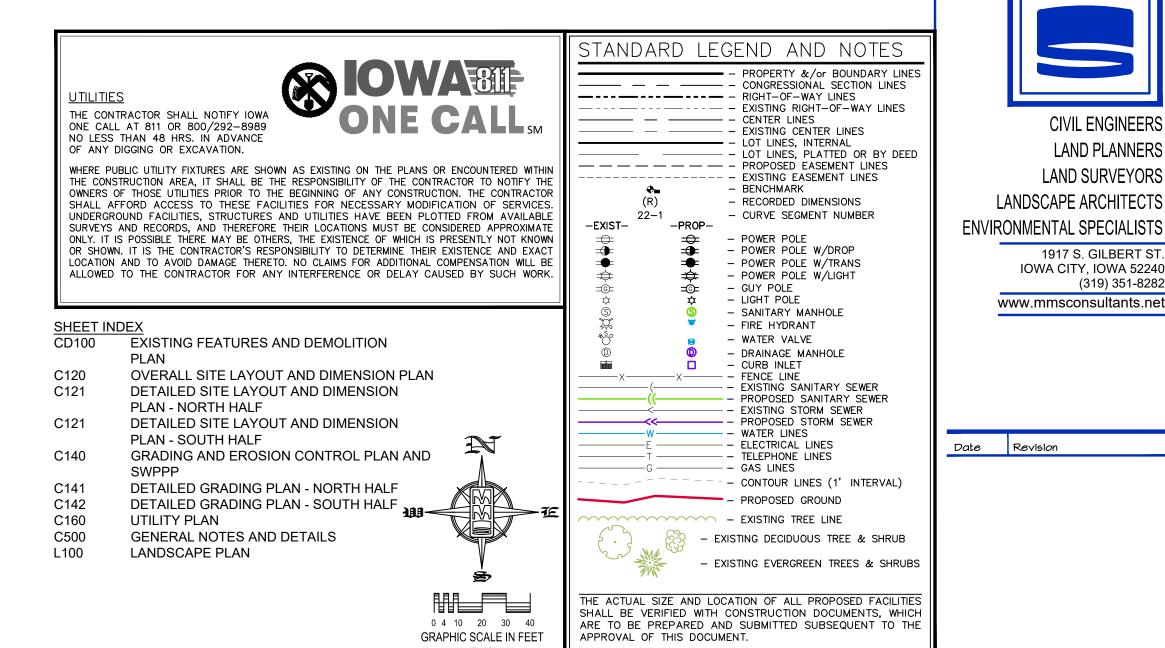
LANDSCAPE ARCHITECTS

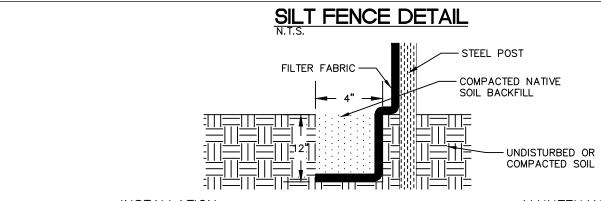
SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

PO BOX 277 WEST LIBERTY, IOWA 52776

216 STEVENS DRIVE IOWA CITY, IA 52240





INSTALLATION POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH PROJECTIONS FOR FASTENING WIRE TO THEM.

- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28". A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE
- BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST. THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

MAINTENANCE 1. SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH

OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR

- BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

TOTAL SITE AREA: 5.93 ACRES
TOTAL AREA TO BE DISTURBED: 5.93 ACRES

ADJACENT TO THE SITE.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 REQUIREMENTS AT ALL TIMES

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED

DURING WORK WITHIN PUBLIC R.O.W.

RELOCATION OF EXISTING UTILITIES.

2. FINAL STABILIZATION SHALL BE

GRADING COMPLETION.

1. TEMPORARY STABILIZATION IS REQUIRED ON

IMPLEMENTED WITHIN 14 DAYS OF FINAL

DISTURBED AREAS AFTER THE 14TH DAY OF

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

GRADING AND EROSION CONTROL NOTES

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE. FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL

CITY CSR REGULATIONS. THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR

OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE

GRADING NOTES

CONSTRUCTION SITE.

1.) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL

2.) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES. 3.) WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.

4.) COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE. 5.) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.

6.) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.

.) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.

8.) SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.

9.) ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH

EROSION CONTROL LEGEND FINAL FILTER SOCK

SILT FENCE SOCONO FILTER SOCK

PORTABLE RESTROOM

FILTER SOCK INLET PROTECTION

TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT TEMPORARY PARKING AND STORAGE CONCRETE TRUCK/EQUIPMENT WASHOUT DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.) FILTER SOCK BEHIND CURB AT CURB RAMP

PERIMETER SILT FENCE EROSION CONTROL MATTING

TEMPORARY SOIL STOCKPILE AREA

DIRECTION OF OVERLAND FLOW DUMPSTER FOR CONSTRUCTION WASTE RIP RAP OUTLET PROTECTION

OTHER MEASURE: ___ OTHER MEASURE: ____ OTHER MEASURE:

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT 11186-002 SHOWN ABOVE IS IMPLEMENTED ON SITE, ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN

MMS CONSULTANTS, INC. 08-04-22 Field Book No: 1343, PG 39

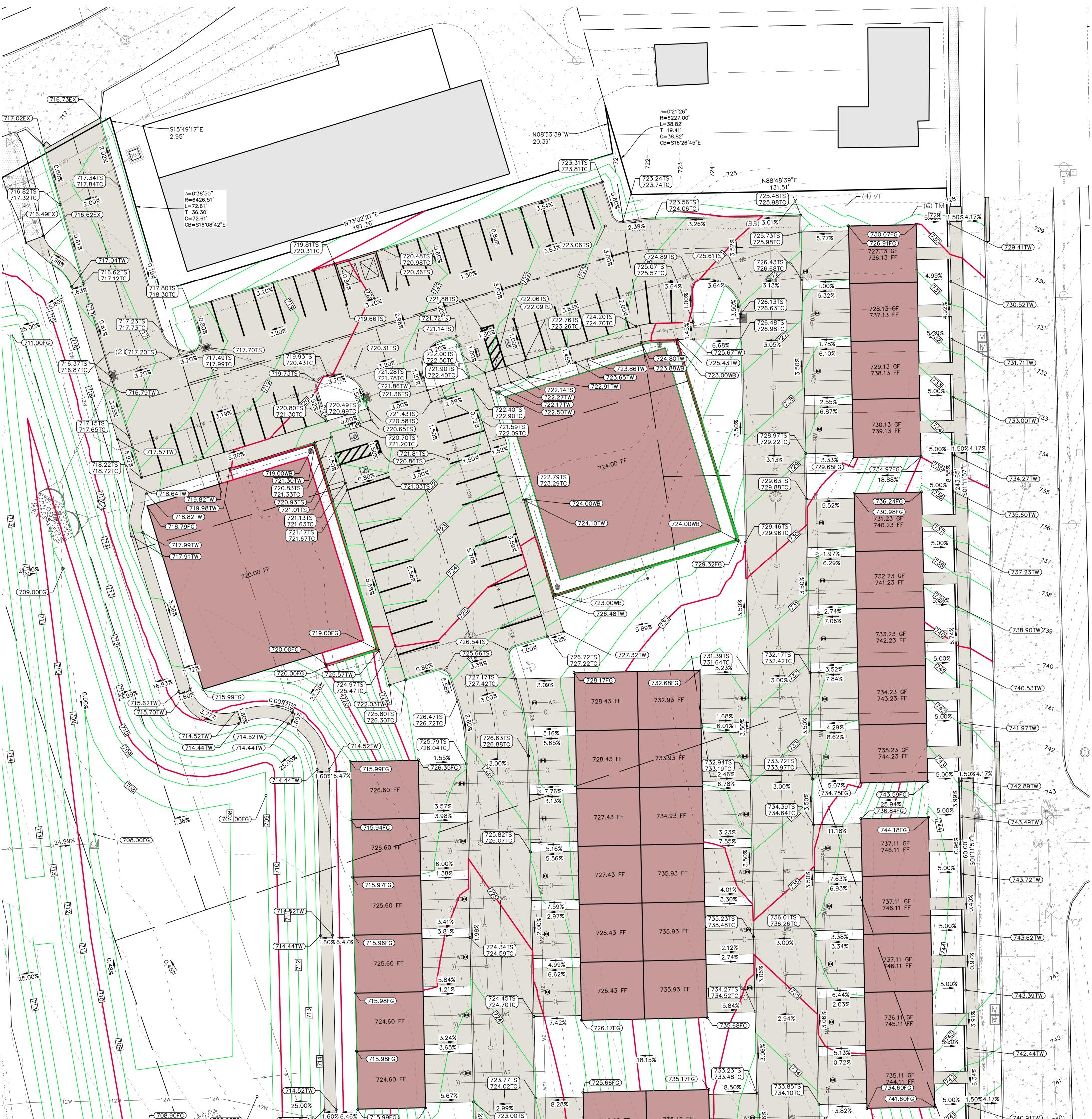
Checked by:

CEDAR COUNTY, SUDAS DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

HERITAGE HILL

WEST BRANCH,

SITE GRADING AND



SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

EXISTING FEATURES AND DEMOLITION

DETAILED SITE LAYOUT AND DIMENSION

DETAILED SITE LAYOUT AND DIMENSION

DETAILED GRADING PLAN - NORTH HALF

DETAILED GRADING PLAN - SOUTH HALF

GENERAL NOTES AND DETAILS

PLAN - NORTH HALF

PLAN - SOUTH HALF

UTILITY PLAN

LANDSCAPE PLAN

OVERALL SITE LAYOUT AND DIMENSION PLAN

GRADING AND EROSION CONTROL PLAN AND

THE CONTRACTOR SHALL NOTIFY IOWA
ONE CALL AT 811 OR 800/292-8989
NO LESS THAN 48 HRS. IN ADVANCE
OF ANY DIGGING OR EXCAVATION.

WEST LIBERTY, IOWA 52776

JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IA 52240



CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS **ENVIRONMENTAL SPECIALISTS** 1917 S. GILBERT ST IOWA CITY, IOWA 52240 (319) 351-8282

www.mmsconsultants.net

— — — — — — CONGRESSIONAL SECTION LINES ---- - EXISTING RIGHT-OF-WAY LINES - CENTER LINES — — — — — — PROPOSED EASEMENT LINES WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR - EXISTING EASEMENT LINES BENCHMARK SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE - RECORDED DIMENSIONS CURVE SEGMENT NUMBER SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE POWER POLEPOWER POLE W/DROP ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE - POWER POLE W/TRANS ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. - POWER POLE W/LIGHT GUY POLE - LIGHT POLE - SANITARY MANHOLE FIRE HYDRANT WATER VALVE - DRAINAGE MANHOLE - CURB INLET - FENCE LINE - EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING STORM SEWER - PROPOSED STORM SEWER - - WATER LINES - - ELECTRICAL LINES TELEPHONE LINES GAS LINES - CONTOUR LINES (1' INTERVAL) - PROPOSED GROUND - EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS

> THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE

APPROVAL OF THIS DOCUMENT.

STANDARD LEGEND AND NOTES

DETAILED GRADING PLAN - NORTH HALF

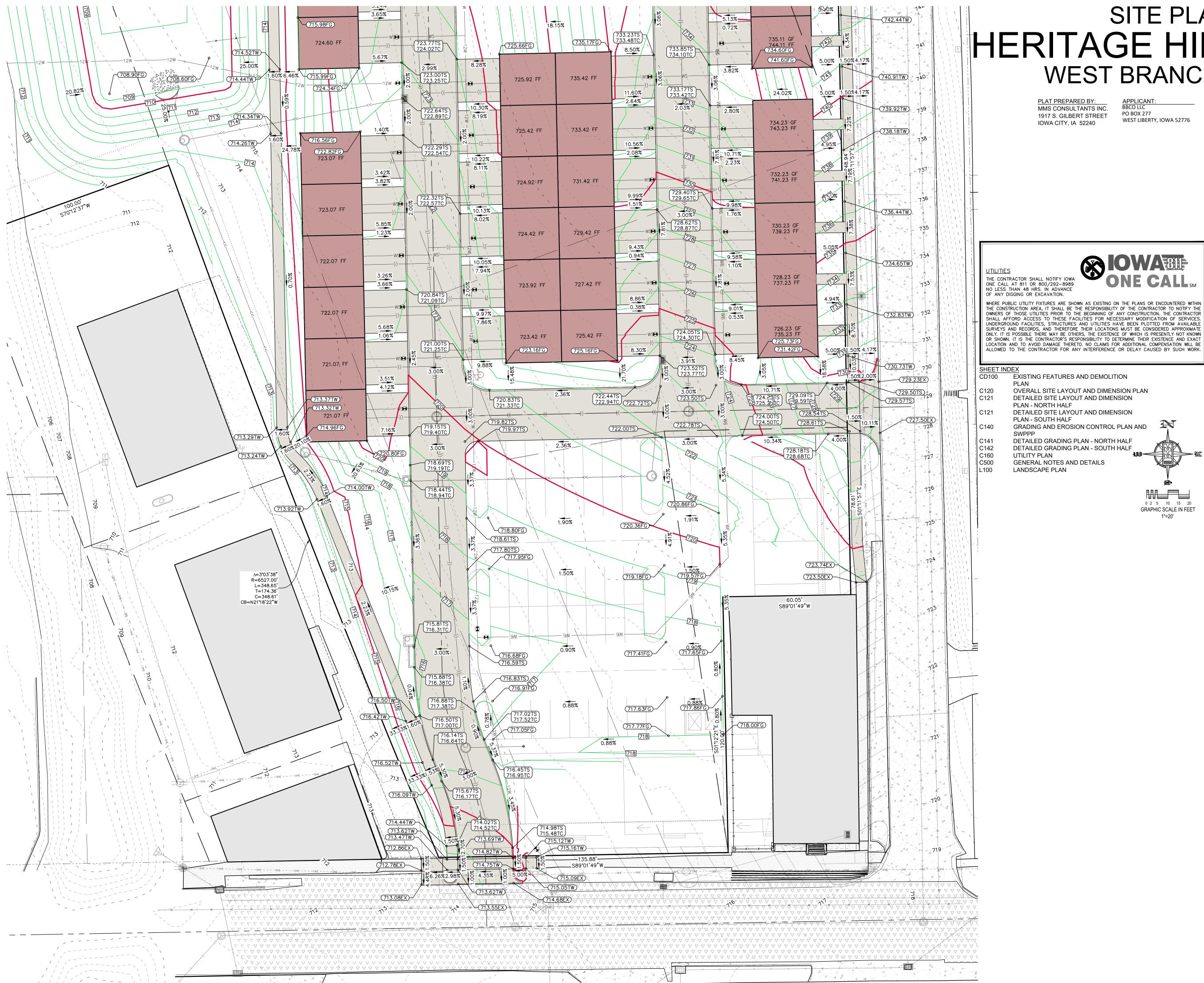
GRADING LEGEND -0000.00EG - EXISTING GRADE 0000.00FG - FINISHED GRADE 0000.00TS - TOP SLAB 0000.00TW - TOP WALK O000.00WB) - BOTTOM WALL* 0000.00WT) - TOP WALL* *REPRESENT GROUND ELEVATION AT WAL

GRAPHIC SCALE IN FEET

HERITAGE HILL LOT 1

WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC			
Date:		08-04-22	
Designed by:	KLC	Field Book No: 1343, PG 39	
Drawn by:	TAV	Scale: 1"=20'	
Checked by:	KJB	Sheet No:	
Project No:		C141	
11186-002		of:	



SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

EXISTING FEATURES AND DEMOLITION

DETAILED SITE LAYOUT AND DIMENSION

DETAILED SITE LAYOUT AND DIMENSION

DETAILED GRADING PLAN - NORTH HALF

DETAILED GRADING PLAN - SOUTH HALF

GENERAL NOTES AND DETAILS

PLAN - NORTH HALF

PLAN - SOUTH HALF

UTILITY PLAN

LANDSCAPE PLAN

OVERALL SITE LAYOUT AND DIMENSION PLAN

GRADING AND EROSION CONTROL PLAN AND

PO BOX 277 WEST LIBERTY, IOWA 52776

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GRAPHIC SCALE IN FEET

AMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IA 52240

CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS **ENVIRONMENTAL SPECIALISTS** 1917 S. GILBERT ST

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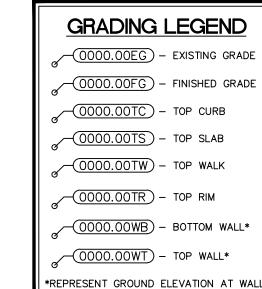
- - - - - - EXISTING RIGHT-OF-WAY LINES - CENTER LINES - - - - - - - - PROPOSED EASEMENT LINES - EXISTING EASEMENT LINES BENCHMARK - RECORDED DIMENSIONS CURVE SEGMENT NUMBER POWER POLEPOWER POLE W/DROP - POWER POLE W/TRANS - POWER POLE W/LIGHT GUY POLE - LIGHT POLE - SANITARY MANHOLE FIRE HYDRANT WATER VALVE DRAINAGE MANHOLECURB INLET - FENCE LINE - EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING STORM SEWER - PROPOSED STORM SEWER - - WATER LINES - - ELECTRICAL LINES - TELEPHONE LINES GAS LINES - CONTOUR LINES (1' INTERVAL) - PROPOSED GROUND - EXISTING DECIDUOUS TREE & SHRUB

STANDARD LEGEND AND NOTES

— — — — — — CONGRESSIONAL SECTION LINES

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- EXISTING EVERGREEN TREES & SHRUBS

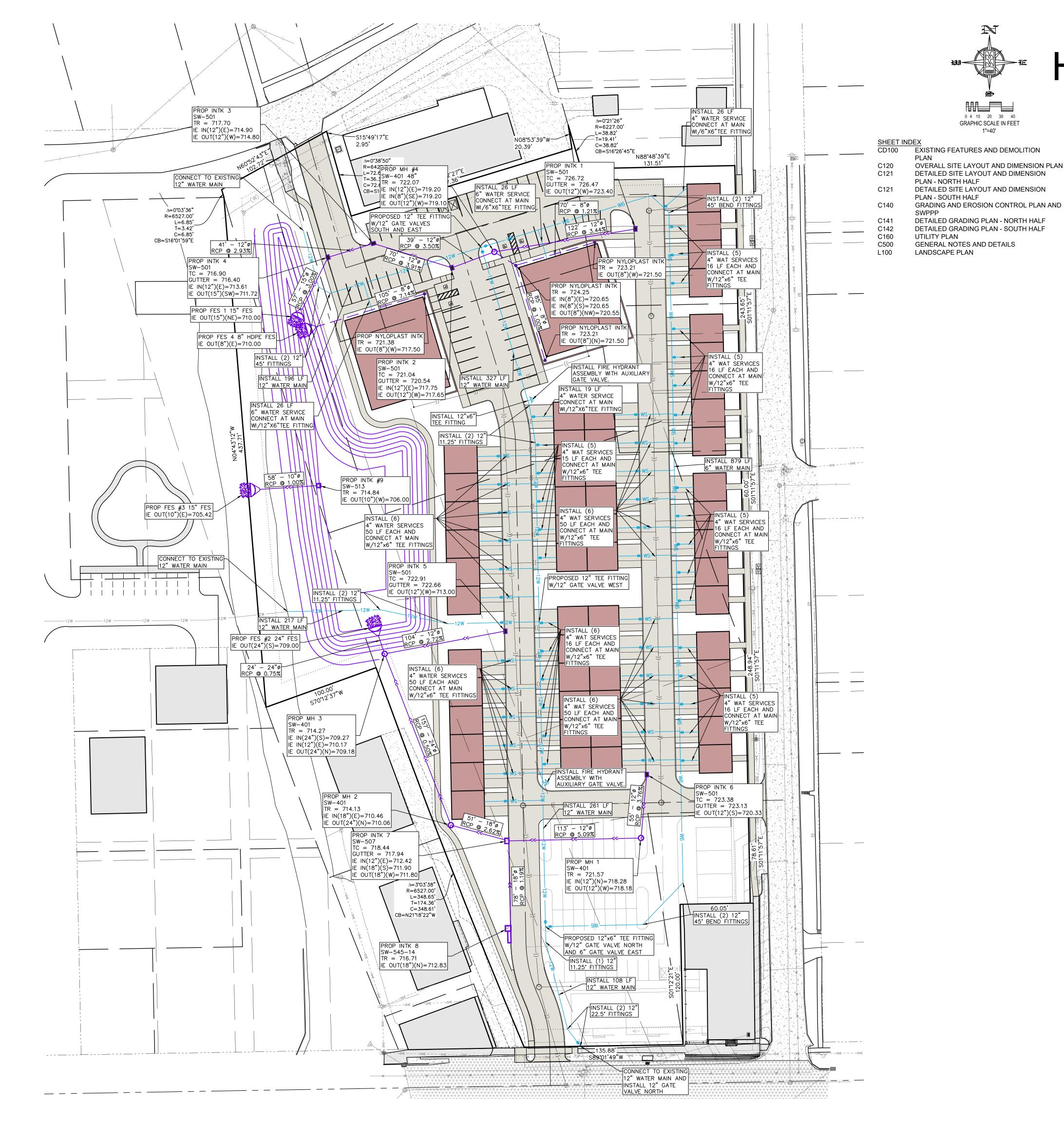


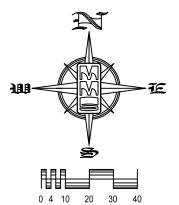
DETAILED GRADING PLAN - SOUTH HALF

HERITAGE HILL, LOT 1

WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.





GRAPHIC SCALE IN FEET

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

PO BOX 277 WEST LIBERTY, IOWA 52776

JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IA 52240

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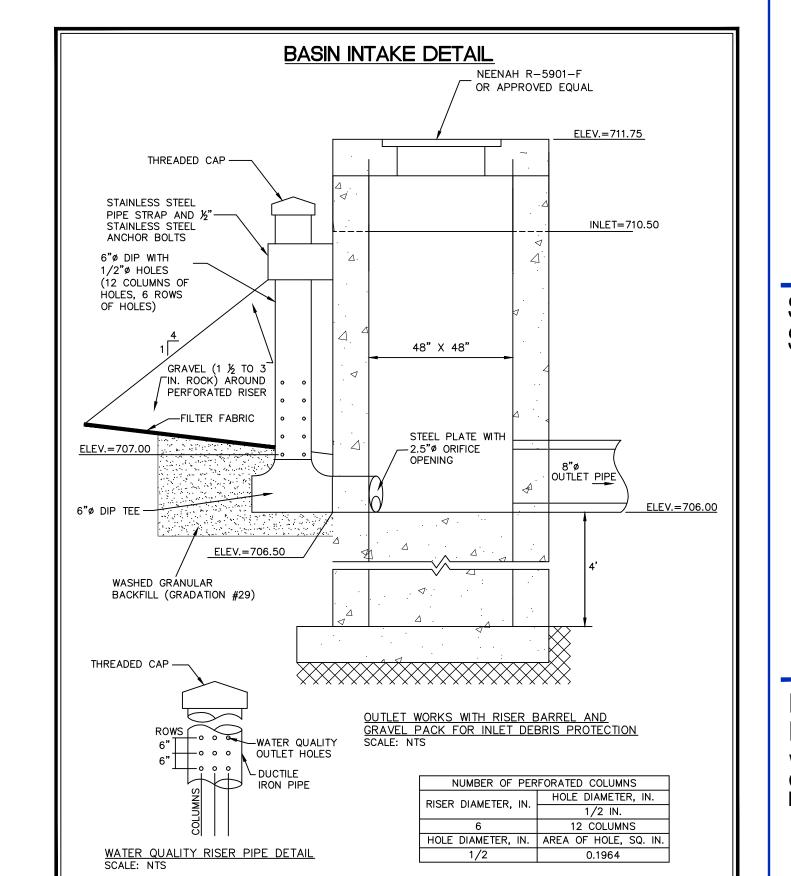
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ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STANDARD LEGEND AND NOTES - PROPERTY &/or BOUNDARY LINES — — — CONGRESSIONAL SECTION LINES —---— - RIGHT-OF-WAY LINES - CENTER LINES - EXISTING CENTER LINES - LOT LINES, INTERNAL — – LOT LINES, PLATTED OR BY DEED — — — — — — — PROPOSED EASEMENT LINES - EXISTING EASEMENT LINES BENCHMARK - RECORDED DIMENSIONS - CURVE SEGMENT NUMBER - POWER POLE W/DROP - POWER POLE W/TRANS - POWER POLE W/LIGHT GUY POLE - LIGHT POLE SANITARY MANHOLE FIRE HYDRANT WATER VALVE - DRAINAGE MANHOLE CURB INLET - - FENCE LINE - - EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING STORM SEWER - PROPOSED STORM SEWER - - WATER LINES - - ELECTRICAL LINES - TELEPHONE LINES - GAS LINES - CONTOUR LINES (1' INTERVAL) - PROPOSED GROUND

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- EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS





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Date Revision

SITE UTILITY PLAN STORM AND WATER

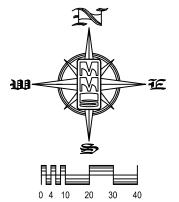
HERITAGE HILL. LOT 1

WEST BRANCH, CEDAR COUNTY,

MS CONSULTANTS, INC.			
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igned by:	KLC	Field Book No: 1343, PG 39	
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GRAPHIC SCALE IN FEET

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

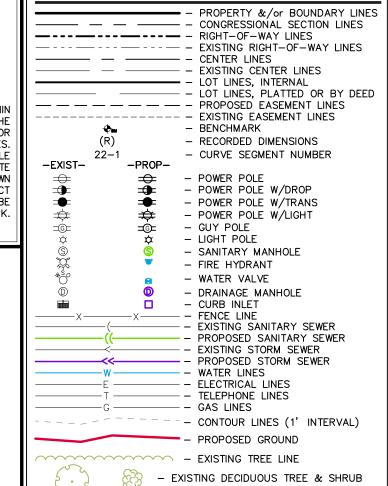
MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

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JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IA 52240

IOWA®IF ONE CALL_{SM} THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE

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- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES

SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE

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STANDARD LEGEND AND NOTES



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Date Revision

SITE UTILITY PLAN SANITARY SEWER

HERITAGE HILL LOT 1

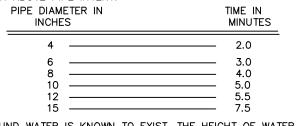
WEST BRANCH, CEDAR COUNTY,

MMS CONSULTANTS, INC. 08-04-22 Field Book No: KLC 1343, PG 39 Checked by:

C161 11186-002

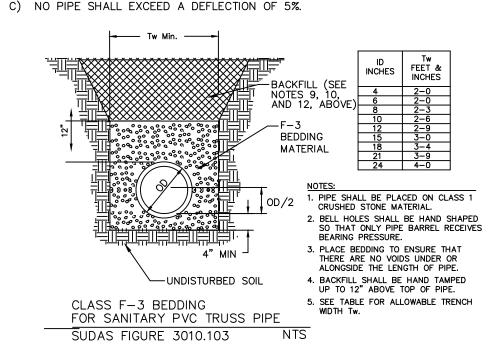
PVC SDR-23.5 WITH GASKETED JOINTS.

- 3) WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS. 4) CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE
- 5) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED
- 6) ALL SANITARY SEWERS SHADED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY: A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
- B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL. 7) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED
- IN ACCORDANCE WITH THE PRECEDING NOTE. 8) CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- 9) ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION
- SEAL OR CITY ENGINEER APPROVED EQUAL. 10) ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
 - 1) WILL NOT SHOW STEPS,) WILL HAVE EXTERNAL CHIMNEY SEAL BY INFISHEILD UNIBAND, CRETEX, OR APPROVED EQUAL. (i) WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO. 4) WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE
 - WILL NOT BE ALLOWED, IE: WOOD, BRICK, ROCKS, ETC. 5) WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.
- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED: 9) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED
- ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN. 10) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED
- 11) THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
- 12) ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING
- 13) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST: NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING. A. PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
- B. PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
- C. INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psi & MAINTAIN FOR A MINIMUM OF 5 MINUTES. D. LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
- E. ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR
- F. MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:



G. IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.

- H. LOCATE, REPAIR AND RETEST LEAKS.
- I. AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION. ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS: A) DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. B) DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.



- THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED
- 14) WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER
- 15) WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- 16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- 17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT
- OF CROSSING. 18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- 19) EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- 20) THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- 21) WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- 22) FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- 23) BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- 24) ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE

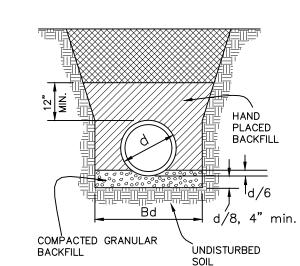
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK

STORM SEWER NOTES

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED. PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY: A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED
- 7) ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.

8) ALL PIPE SHALL BE CERTIFIED.

- 11) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION . THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

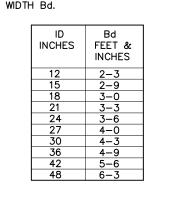


CLASS "C" BEDDING

1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL. 2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.

3. PLACE BEDDING TO ENSURE THAT

THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE. 4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE. 5. SEE TABLE FOR ALLOWABLE TRENCH



EXISTING FEATURES AND DEMOLITION

DETAILED SITE LAYOUT AND DIMENSION

DETAILED GRADING PLAN - NORTH HALF

DETAILED GRADING PLAN - SOUTH HALF

GENERAL NOTES AND DETAILS

PLAN - NORTH HALF

PLAN - SOUTH HALF

SWPPP

UTILITY PLAN

LANDSCAPE PLAN

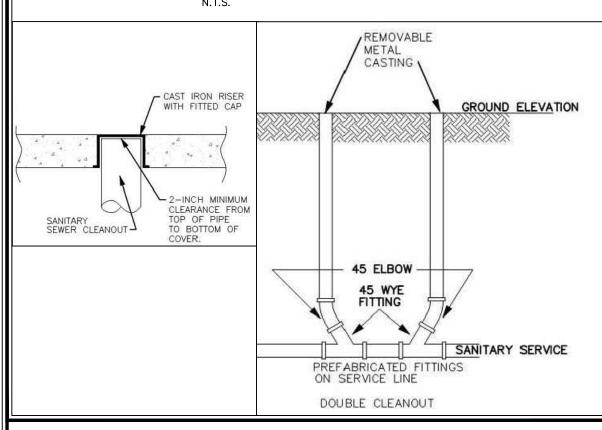
C140

C142 C160

C500 L100 OVERALL SITE LAYOUT AND DIMENSION PLAN DETAILED SITE LAYOUT AND DIMENSION

GRADING AND EROSION CONTROL PLAN AND

SIAMESE DETAIL



<u>DETAIL B</u> ACCESSIBLE PARKING SYMBOL

Back of curb-

└─Back of curb

TYPE A WITH FLARES

TYPE A WITH RADII

<u>DETAIL A</u>

TYPICAL SECTION

IOWA STANDARD ROAD PLAN

① Driveway radius (R).
Residential: 10 foot minimum, 15 foot

Do not extend raised curb across sidewalk.

6 Match thickness of adjacent roadway, 8 inches

(7) Provide 'E' joint at back of curb unless 'B' joint

8 For alleys, invert the pavement crown 2% toward

Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract

documents, construct the sidewalk through the

driveway 5 feet wide to serve as a passing

(10) If cross slope of adjacent sidewalk panel exceeds

2.0%, remove and replace to transition from

existing sidewalk to sidewalk through driveway. It

elevation change requires a curb ramp, comply with figure 7030.205; verify need for detectable

CONCRETE DRIVEWAY, TYPE A

FIGURE 7030.10

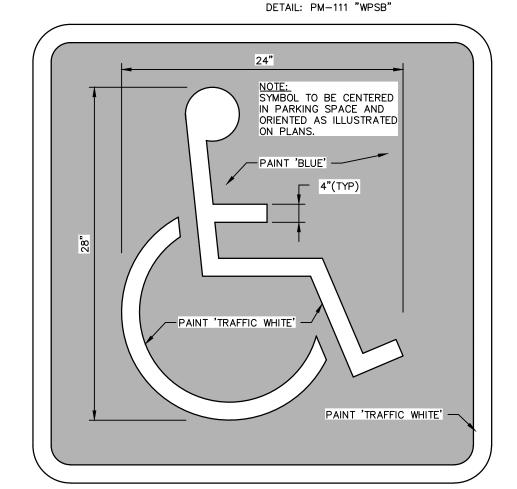
SHEET 1 OF 1

warning panel with Engineer.

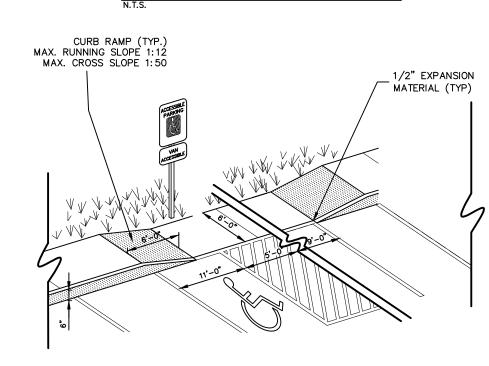
Residential: 6 inches minimum.

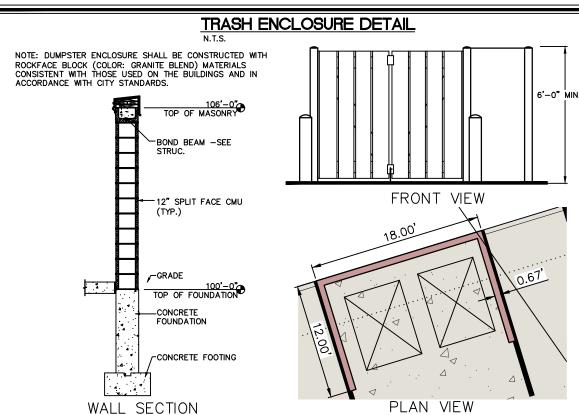
contract documents.

thickness of driveway.



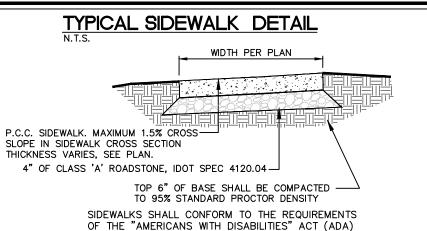
ACCESSIBLE PARKING DETAIL



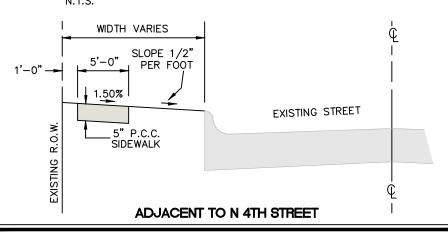


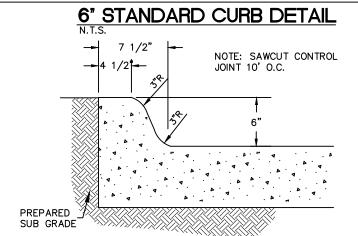
<u>TYPICAL DRIVE /PARKING SECTION</u> Commercial and industrial: As specified in the PARKING STALL Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. THICKNESS THICKNES: PER PLAN PER PLAN Commercial and industrial: 7 inches minimum. Sidewalk thickness through driveway to match └─6" STANDARD CURB THICKENED EDGE SIDEWALK (5) Center reinforcing bar vertically in the pavement.

TYPICAL DRIVE/GARAGE APPROACH SECTION GARAGE THICKNESS PER PLAN THICKNESS PER PLAN -3" ROLL $lue{-}$ 6" STANDARD CURE

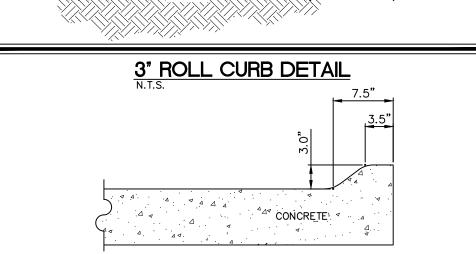




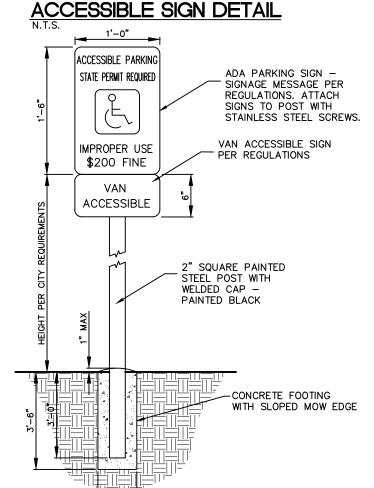












HERITAGE HILL,

LOT 1 WEST BRANCH, CEDAR COUNTÝ,

GENERAL NOTES AND DETAILS

MMS CONSULTANTS, INC. 08-04-22

Field Book No: 1343, PG 39 Drawn by: Checked by: Project No:

11186-002

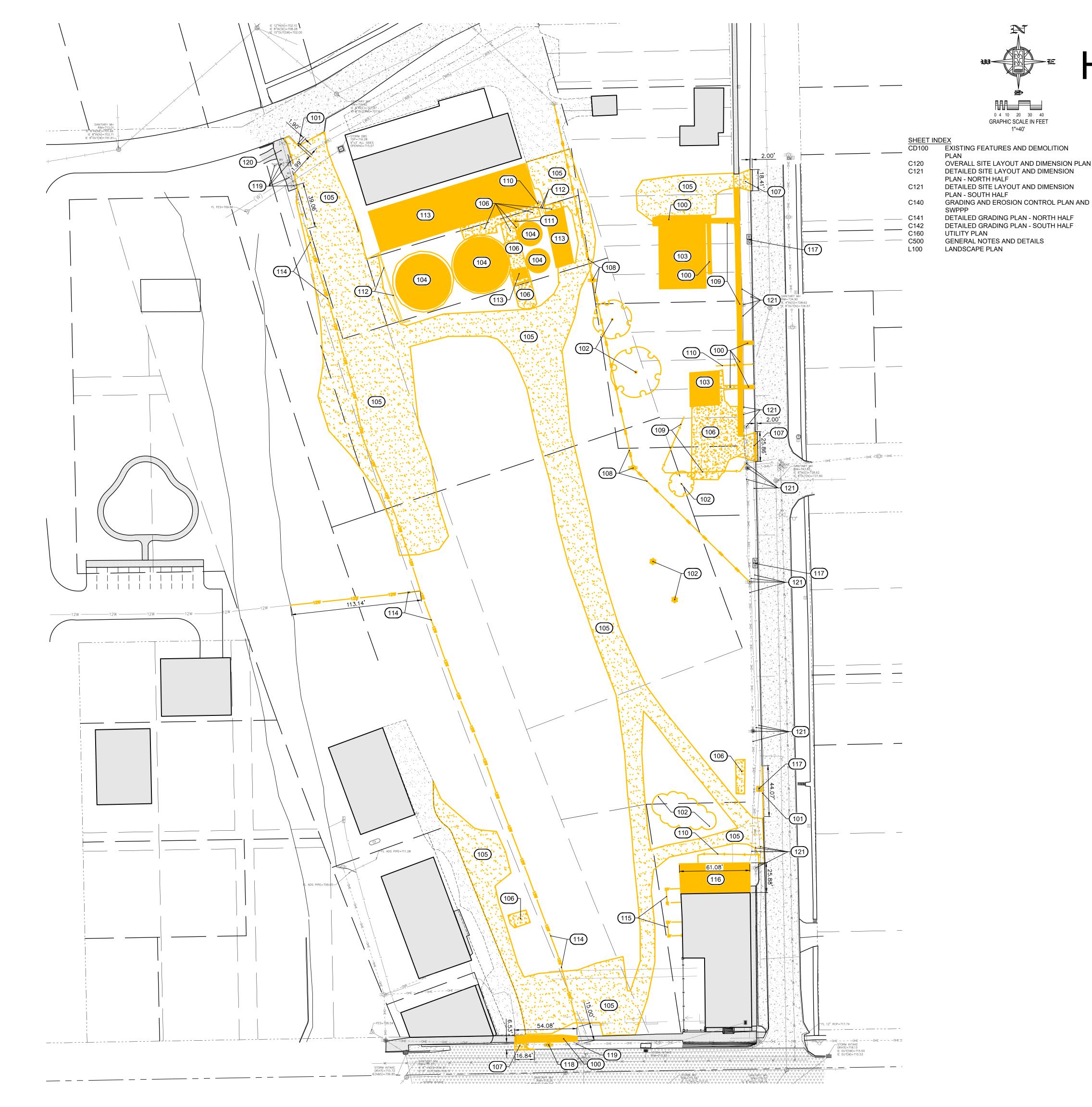
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS ENVIRONMENTAL SPECIALISTS 1917 S. GILBERT ST. IOWA CITY, IOWA 52240

www.mmsconsultants.net

(319) 351-8282

5.93 AC.

Date Revision



0 4 10 20 30 40 GRAPHIC SCALE IN FEET

HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

SITE PLAN

PLAT PREPARED BY:
MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

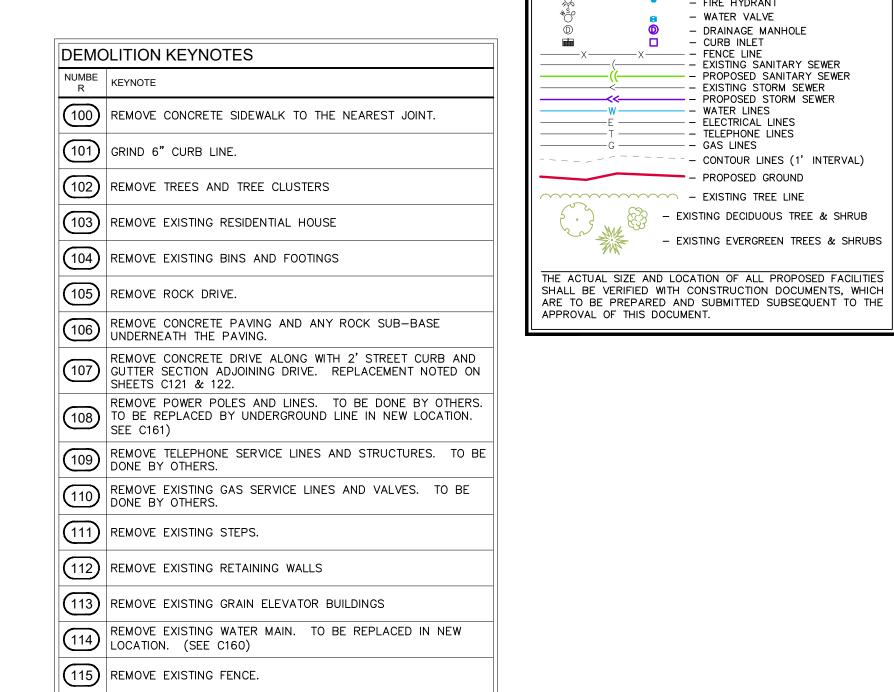
PO BOX 277 WEST LIBERTY, IOWA 52776

JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IA 52240

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE

OF ANY DIGGING OR EXCAVATION. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT

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REMOVE EXISTING BUILDING TO PARTY WALL.

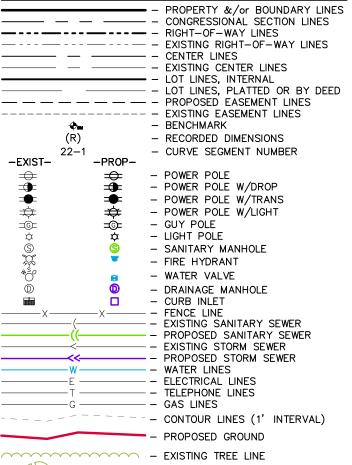
REMOVE EXISTING MAILBOXES ASSOCIATED WITH PROPOSED PROPERTY. MAILBOXES FOR THE ADJOINING SIDE OF THE STREET ARE TO REMAIN AND BE PROTECTED DURING

REMOVE AND RELOCATE POWER POLE. TO BE DONE BY OTHERS. FOR NEW LOCATION OF POLE SEE C161)

EXISTING HOOVER TRAIL EXTENSION. PROTECT DURING CONSTRUCTION.

PROTECT EXISTING ABOVEGROUND UTILITY FEATURES AND UTILITY MAINS DURING CONSTRUCTION.

PROTECT EXISTING FIRE HYDRANT AND WATER VALVES DURING CONSTRUCTION.



APPROVAL OF THIS DOCUMENT.

- EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS

STANDARD LEGEND AND NOTES

CIVIL ENGINEERS

LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS **ENVIRONMENTAL SPECIALISTS** 1917 S. GILBERT ST. IOWA CITY, IOWA 52240 (319) 351-8282

www.mmsconsultants.net

EXISTING FEATURES AND DEMOLITION PLAN

HERITAGE HILL LOT 1

WEST BRANCH, CEDAR COUNTY,

MMS CO	NSU	LTANTS, INC
Date:		08-04-22
Designed by:	KLC	Field Book No: 1343, PG 39
Drawn by:	TAV	Scale: 1"=40
Checked by:	KJB	Sheet No:
Project No:		CD100
11186-002		of:

CIVIL ENGINEERS

LAND PLANNERS

LAND SURVEYORS

1917 S. GILBERT ST.

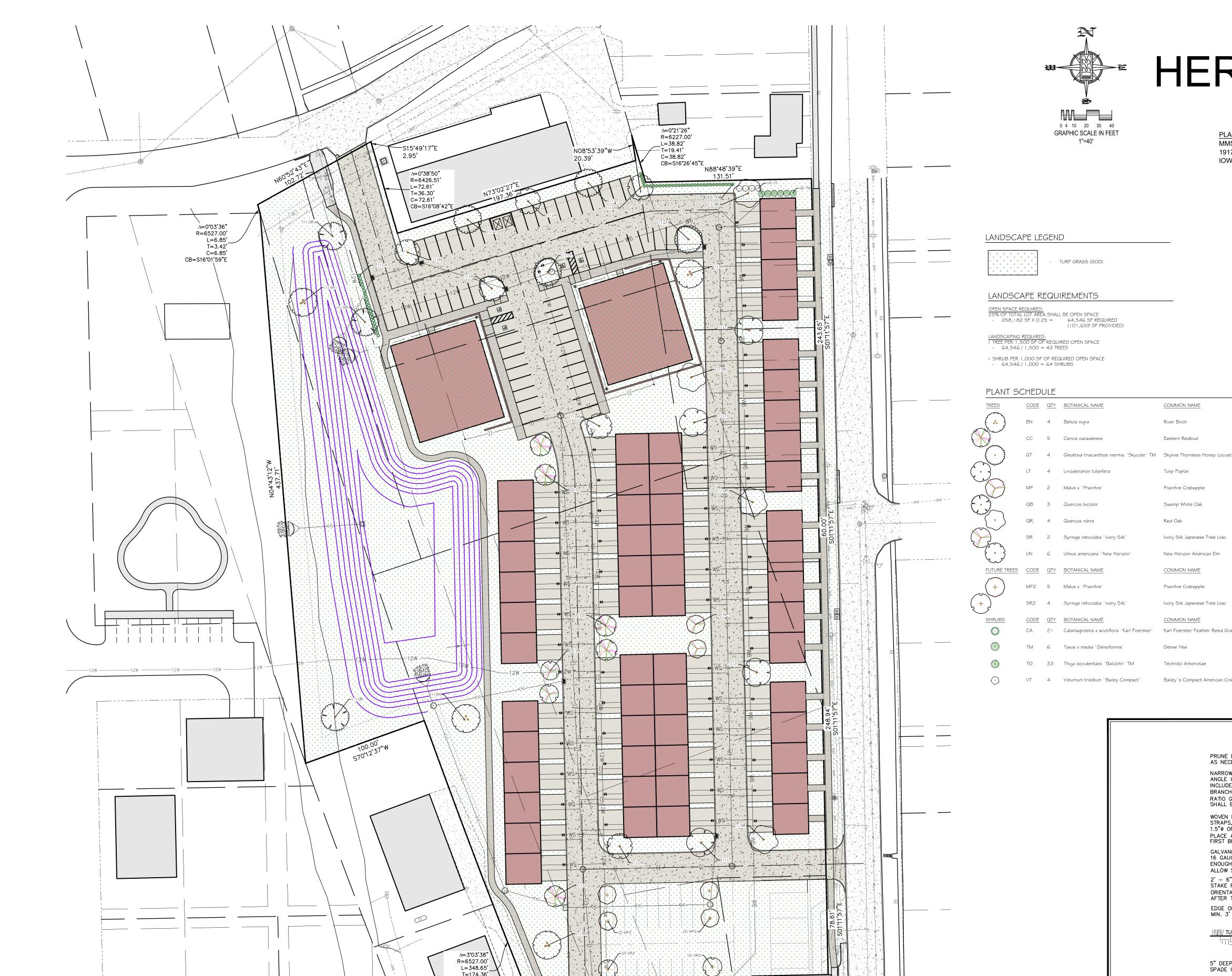
(319) 351-8282

IOWA CITY, IOWA 52240

www.mmsconsultants.net

LANDSCAPE ARCHITECTS

ENVIRONMENTAL SPECIALISTS



C = 348.61'

CB=N21°18'22"W

THE CONTRACTOR SHALL NOTIFY IOWA

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE

OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR

SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.

UNDERGROUND FACILITIES. STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE

SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE

ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN

OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT

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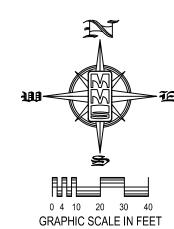
ONE CALL AT 811 OR 800/292-8989

NO LESS THAN 48 HRS. IN ADVANCE

OF ANY DIGGING OR EXCAVATION.

S89°01'49"W

135.88 135.88 101 49 W



TURF GRASS (SOD)

33 Thuja occidentalis `BailJohn` TM

4 Viburnum trilobum `Bailey Compact`

COMMON NAME

River Birch

Eastern Redbud

Ivory Silk Japanese Tree Lilac

New Horizon American Elm

Ivory Silk Japanese Tree Lilac

COMMON NAME

COMMON NAME

Technito Arborvitae

CONTAINER BEFORE

INSTALLATION ----

EDGE OF SIDEWALK OR CURB

4" MINIMUM DEPTH

BARK MULCH BED-

SHREDDED HARDWOOD

PLANTING HOLE SHALL BE

2X DIAMETER OF ROOTBALL

AND 6" MINIMUM DEEPER

SITE PLAN HERITAGE HILL - LOT 1 WEST BRANCH, IOWA

MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

WEST LIBERTY, IOWA 52776

INSTALL SIZE COMMENT MATURE H. X W.

20` x 25

35` x 25

50` x 50`

50` x 50`

20` x 15

B\$B 30` x 20`

INSTALL SIZE COMMENT MATURE H. X W.

INSTALL SIZE COMMENT MATURE H. X W.

Container 3`x5`

Container 6` x 2.5`

B≰B

ROOTBALL (CONTAINER GROWN) REMOVE ENTIRE DIAMETER OF SHRUB (SEE PLAN OR PLANT

LIST FOR SPACING)

Bailey`s Compact American Cranberry Bush 30" Ht. Container 6` x 5`

JAMES D. HOUGHTON 216 STEVENS DRIVE IOWA CITY, IA 52240

EXISTING FEATURES AND DEMOLITION

C121 DETAILED SITE LAYOUT AND DIMENSION PLAN - NORTH HALF

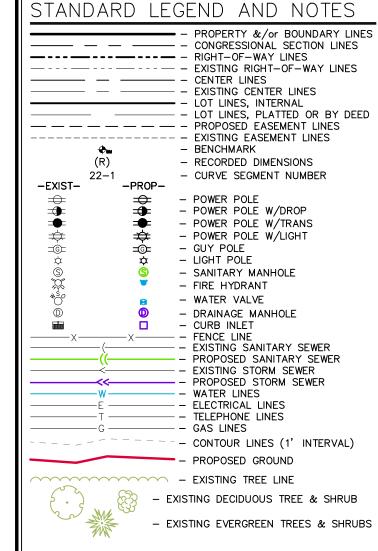
GRADING AND EROSION CONTROL PLAN AND

DETAILED GRADING PLAN - NORTH HALF C142 DETAILED GRADING PLAN - SOUTH HALF C160 UTILITY PLAN

C500 GENERAL NOTES AND DETAILS LANDSCAPE PLAN

L100

OVERALL SITE LAYOUT AND DIMENSION PLAN DETAILED SITE LAYOUT AND DIMENSION PLAN - SOUTH HALF



THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH

ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE

BURLAPED). CUT TWINE AND

BURLAP FROM TOP 1/2 OF

ROOTBALL AND REMOVE

BEFORE INSTALLATION

5" DEEP VERTICAL

FERTILIZER TABLETS

- EXISTING UNDISTURBED

(3) PER SHRUB SPACED

ÉVENLY AROUND ROOTBALL

SPADE CUT EDGE

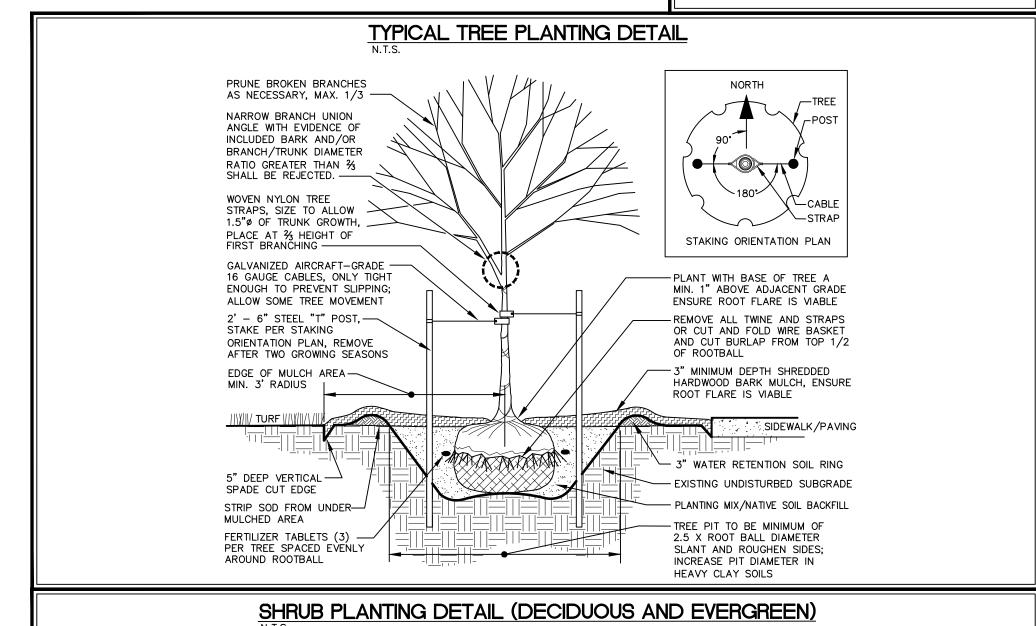
- PLANTING TOPSOIL

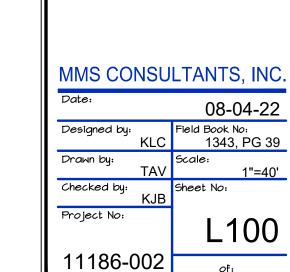
FOR BACKFILLING

/||/\ /||/| TURF \ /||/|\\|||

APPROVAL OF THIS DOCUMENT.

LANDSCAPE PLAN





HERITAGE HILL LOT 1

WEST BRANCH, CEDAR COUNTÝ,



THESE PLANS OR DRAWINGS HAVE BEEN PREPARED UNDER AN EXCEPTION TO THE REQUIREMENT FOR PROFESSIONAL ARCHITECTURAL SERVICES SET FORTH IN SECTION 544A.19, CODE OF IOWA. THESE PLANS OR DRAWINGS HAVE NOT BEEN PREPARED BY A PROFESSIONAL ENGINEER OR ARCHITECT. CONSTRUCTION FROM THESE PLANS OR DRAWINGS SHOULD NOT BE UNDERTAKEN WITHOUT A CONSTRUCTION PROFESSIONAL.

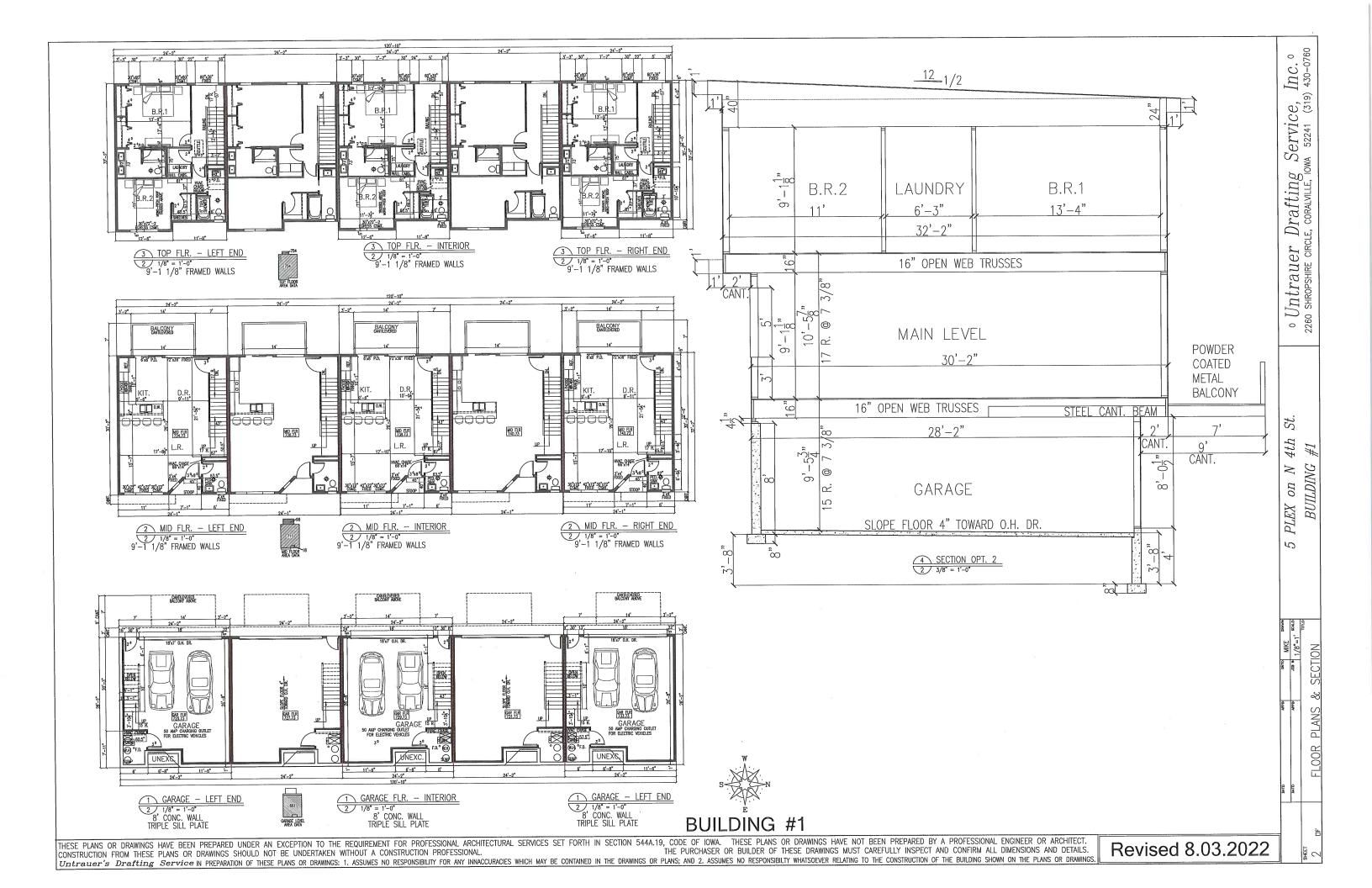
THE PURCHASER OR BUILDER OF THESE DRAWINGS MUST CAREFULLY INSPECT AND CONFIRM ALL DIMENSIONS AND DETAILS.

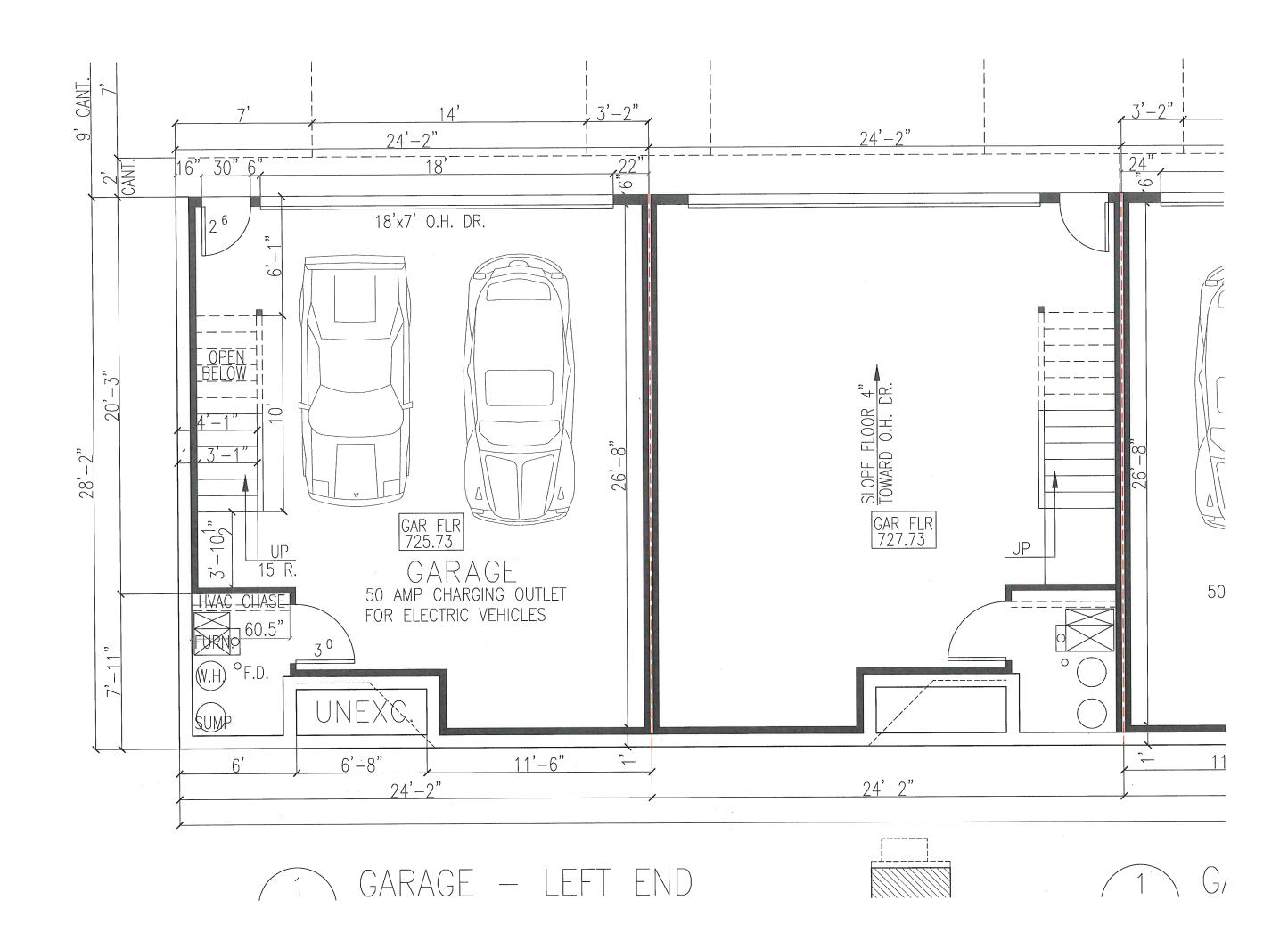
Untrauer's Drafting Service IN PREPARATION OF THESE PLANS OR DRAWINGS: 1. ASSUMES NO RESPONSIBILITY FOR ANY INNACCURACIES WHICH MAY BE CONTAINED IN THE DRAWINGS OR PLANS; AND 2. ASSUMES NO RESPONSIBILITY WHATSOEVER RELATING TO THE CONSTRUCTION OF THE BUILDING SHOWN ON THE PLANS OR DRAWINGS.

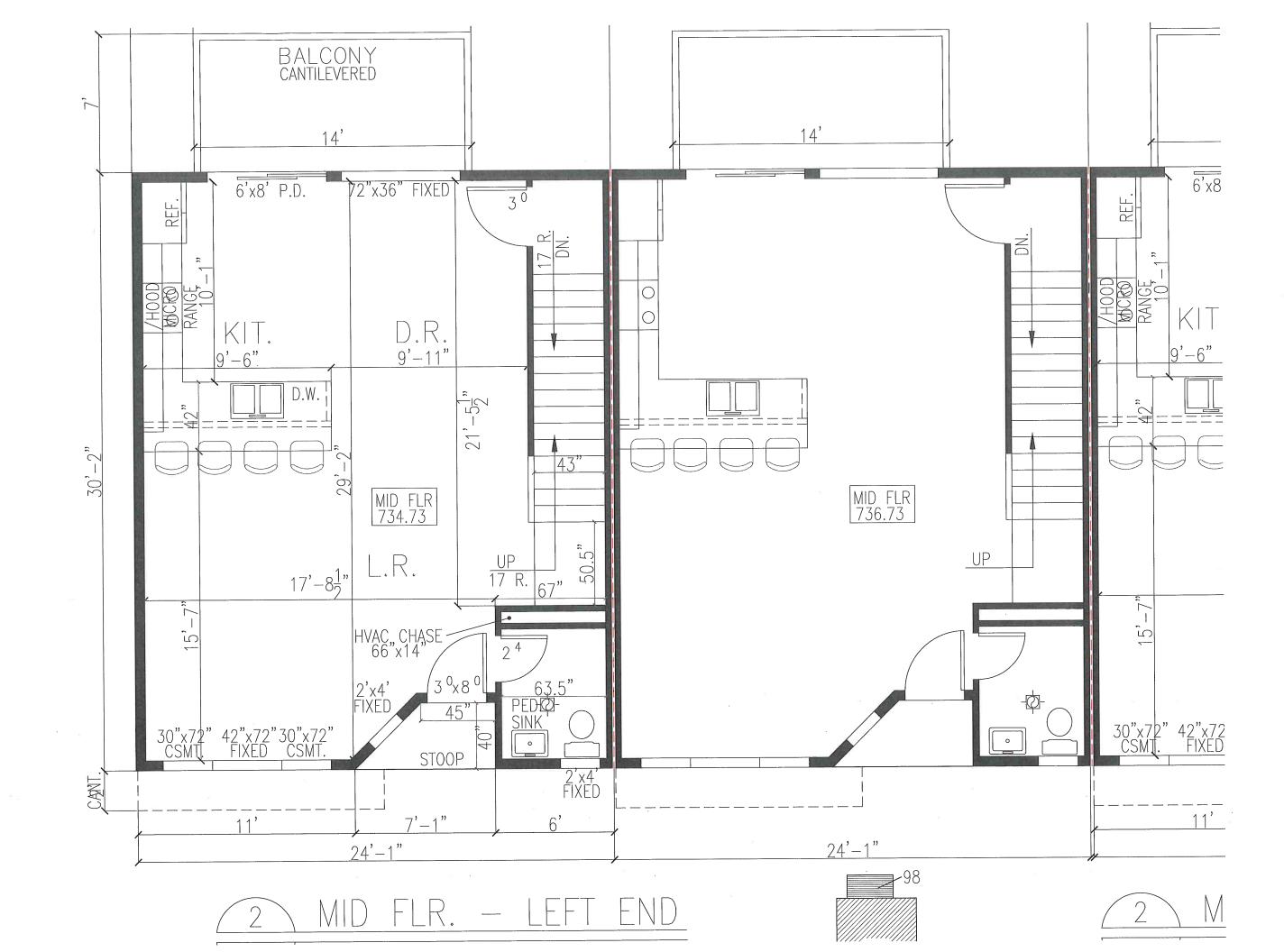
Revised 8.03.2022

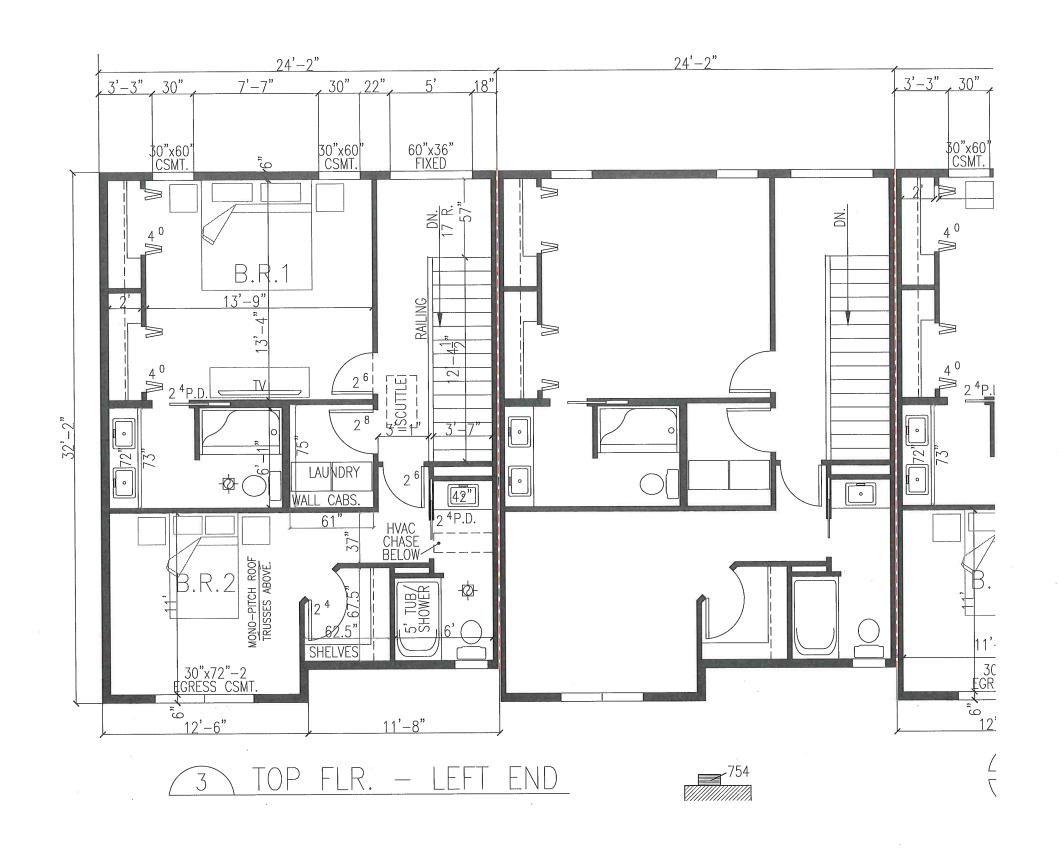
o $Untrauer\ Drafting\ Service,\ Inc.$ 0 2260 shropshire circle, coralville, 10Wa 52241 (319) 430-0760

LEX on N 4th ... BUILDING #1











REQUEST FOR CONSIDERATION

MEETING DATE: August 23, 2022

AGENDA ITEM: Design Standards Discussion

PREPARED BY: Adam Kofoed, City Administrator

DATE: August 17, 2022

BACKGROUND:

The Design Committee met last month. Here were main topics discussed for further consideration.

- 1. Visitability Standards
- 2. Accessory Dwelling Units
- 3. Parking Minimum Reduction Authority
- 4. Landscape Design
- 5. Floor and Exterior Diversity
- 6. Front Setback Exceptions to discourage snout houses but not ban them
- 7. Street Design
- 8. Commercial Façade Minimums
- 9. Housing Incentive to Encourage Front Porches since they are ideal for community engagement but add cost to homes.

IMPLEMENTATION:

Each month, I will try to add a new section for the commissions review. When that section is fully approved by the board I will hold onto it, until the final design standard is adopted. Items marked in yellow in draft ordinances, I need commission direction or it could be a divisive topic when administering the ordinance.

VISITABILITY

ACCESSIBILITY R326.1

Scope. The provisions of this section are enacted to implement the City's policy that structures regulated by this Code constructed with public funds be constructed using universal design features the at provide accessibility and usability for all. Public funds shall mean funding or assistance from the City of Iowa City or any agent thereof thorough any of the following means:

R326.2 Minimum accessibility requirements for all dwelling units using public funds.

- 1. Wall Reinforcement. One first floor bath shall be provided with wood blocking installed within wall framing, to support grab bars as needed. The wood blocking, when measured to the center, shall be located between thirty-three inches (33") and six inches (36") above the finish floor. The wood blocking shall be located in all walls adjacent to a toilet, shower stall or bathtub.
- 2. Interior Doors. All first-floor doorways shall provide a minimum clear opening of thirty-two inches (32") the door is open ninety degrees (90°), measured between the face of the door and the opposite stop.
- 3. Switch and Outlet Requirements. All wall switches controlling light fixtures and fans, shall be located at a height not to exceed forty-eight inches (48") above the finished floor. Height shall be determined by measuring from the finished floor to the center of the switch. All receptacles shall be located at a height not less than fifteen inches (15") above the finished floor. Height shall be determined by measuring from the finished floor to the center of the receptacle. When the receptacle placement is prohibited by the height of a window or design feature, an alternate location can be approved by the Building Official or a duly authorized designee.
- 4. No Step Entrance. Must provide at least one building entrance that complies with the Iowa City Building Code standard for an accessible entrance on an accessibly route served by a ramp or a no minimum n step entrance. A building entrance door must have a et clear opening of thirty-two inches (32"). The Building Official may waive this requirement based on the determination that strict compliance is financially or environmentally impractical.

Accessory Dwelling Unit Ordinance

- 1. Purpose. Accessory dwelling units are allowed in certain situations to:
- a. Create new housing units while respecting the look and scale of R1-dwelling development;
- b. Support more efficient use of existing housing stock and infrastructure;
- c. Add moderately priced rental units to the housing stock to meet the needs of smaller households, moderate income households, elderly, and persons with disabilities:
- d. Provide housing that responds to changing family needs, smaller households, and increasing housing costs; and
- e. Provide accessible housing for seniors and persons with disabilities.
- f. To best utilize the limit land available in Garner.
- 2. Definition. An accessory dwelling unit is a self-contained housing unit that is clearly a subordinate to the single-family dwelling and complies with each of the requirements a contained in this chapter and Garner's Zoning Ordinance. An ADU shall include a kitchen, a separate bathroom, and a separate entrance/exit.

A Garden cottages are detached structures. Examples include converted garages or new construction.

b. Accessory suites are attached to or part of the primary dwelling. Examples include converted living space, attached garages, basements or attics; additions; or a combination thereof.

Comment: Alternative name possibilities are listed here. Granny Flats are also another common term.

- 3. Eligibility. An ADU may be added to a house on any residentially zoned lot.
- a. Living Area: Interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.
- b.Owner-occupant: An owner who has legal residency on the premises of a dwelling unit that contains an ADU, who resides in the home at least six months of the year, and whose portion of the dwelling is not occupied when the owner is not present.
- c. A permit must be submitted to the Zoning Administrator and conditions may be added by the Board of Adjustment.

Comment: Some codes restrict ADUs to certain zoning designations, lot sizes, and/or geographic areas within the jurisdiction. Such restrictions significantly constrain the number of eligible properties and suppress the number of ADUs that can (legally) get built under the code.

4. Number. One ADU is permitted per residentially zoned lot.

5. Creation. An ADU may be created through new construction, conversion of an existing structure, addition to an existing structure, or conversion of a qualifying existing house to a garden cottage while simultaneously constructing a new primary dwelling on the site.

Comment: It's not uncommon for jurisdictions to limit ADUs to certain types (ie. internal or detached) or to properties where the primary dwelling is of a certain age. Such restrictions constrain ADU development, since property-specific conditions (ie. existence of basement, size of lot) often limit the type of ADU that can be created.

- 6. Density. ADUs are exempt from the residential density standards of this code.
- 7. Approval. Applications for ADUs must meet the following criteria. Requests to adjust these standards are handled through a building permit and conditional use process.
- a. The applicant must demonstrate that the ADU complies with all development and design standards of this section.
- b. The applicant must demonstrate that the proposed modifications comply with applicable building and fire safety codes
- 8. Occupancy and Use. Occupancy and use standards for an ADU shall be the same as those applicable to a primary dwelling on the same site.
- 9. Contents of the application for an ADU permit: All applications for an ADU shall contain the following: site plans, photographs of the site, architectural renderings, affidavits, and copies of the notices sent to property owners. The city/county may request additional information it deems necessary to determine compliance with applicable standards and ordinances.
- 10. Prior to issuance of a permit, the owner(s) must provide an affidavit stating that the owner will occupy one of the dwelling units on the premises as the owner's primary residence, except for bona fide temporary absences. When a structure, which has received a permit for an ADU, is sold, the new owner(s), if they wish to continue to exercise the permit, must, within thirty (30) days of the sale, submit a notarized letter to the Administrator stating that they will occupy one of the dwelling units on the premises as their primary residence, except for bona fide temporary absences.
- 11. Prior to submitting an application for administrative approval of an ADU, the applicant shall give written notice to adjacent property owners of his/her intent to apply for an ADU to owners within 200 feet.

The notice shall provide a basic site plan and advise landowners that they have fifteen (15) days to provide their comments to the Administrator.

- 12. After administrative approval, the Administrator shall provide notice of the approval of the ADU to adjacent property owners 250 feet of the registered site. [The notice should state that the unit complies with the standards of this section, describe the requirements for maintaining the unit, and explain how to obtain general information, how to file an appeal, and how to report code violations.]
- 13. The applicant shall provide a covenant in a form acceptable to the City Attorney and suitable for recording with the County Auditor, providing notice to future owners or long term leasers of the subject lot that the existence of the ADU is subject to an annual permit, compliance with applicable code provisions, and predicated upon the occupancy of either the ADU or the principal dwelling by the person to whom the ADU permit has been issued. The covenant shall also require any owner of the property to notify a prospective buyer of the limitations of this Section and to provide for the removal of improvements added to convert the premises to an ADU and the restoration of the site to a single family dwelling in the event that any condition of approval is violated. Administratively approved ADU permits shall require renewal application annually. A notarized letter from the Accessory Dwelling Unit Ordinance applicant indicating compliance and a desire to renew shall be reviewed by the Administrator. An ADU's approved by conditional use permit shall comply with the review and verification of compliance requirements specified in the conditional use permit. It is up to the applicant to remind the city when annual reviews should take place, failure to remind the city may result in revoking the license or municipal infractions.
- 14. The Board of Adjustment may impose conditions of approval on a permit necessary to adequately protect public health, safety, and welfare and/or assure compliance with applicable ADU standards and requirements. The written decision of the Administrator shall be issued within thirty (30) days of submission of the application. The Administrator's written decision and any conditions of approval shall be recorded with the county recorder and a copy of the recorded decision mailed to the applicant.
- 15. An administrative permit for an ADU may be revoked or declined for renewal by the Administrator if the Administrator determines that the ADU or the permit holder is not in compliance with city code or condition(s) of approval. If a permit is revoked or declined for renewal, the property owner must restore the property and bring it into compliance with city/county ordinances, including any necessary removal of improvements, within thirty (30) days. The city/county may toll the thirty (30) days pending an appeal

Comment: ADU codes that place more restrictions on tenure (ownership vs. rental), short-term rental, affordability and/or home business than would apply to a primary dwelling on the same lot result in less ADU construction. Owner-occupancy requirements make properties with ADUs unsuitable for income-based valuation by appraisers, constraining their value and making them more difficult to finance. Affordable housing restrictions on ADUs sound appealing, except that deed restrictions and tenant income

screenings are (unsurprisingly) obstacles for mom-and-pop landlords (fortunately, ADUs provide a surprising amount of market-based affordable housing without subsidy or use restriction). An in-depth discussion of how these restrictions limit ADU development is provided in ADUs and Don'ts.

- 9. Design. Design standards for ADUs are stated in this section. If not addressed in this section, base zone development standards apply.
- a. All ADUs (accessory suites and garden cottages) must meet the following requirements:

i. Size. An ADU may be no more than 800 square feet or the size of the primary dwelling, whichever is less.

Comment: In addition to a total size cap (typically 600sf - 1,000sf), some codes also cap ADUs to a certain percentage of the size of the primary dwelling. Note that such constraints effectively act as a small house penalty: limiting the size of ADUs on lots where the primary dwelling is already fairly small, but having no impact when the primary dwelling is big.

Possible additional language: "The size of a basement accessory suite occupying the entire footprint of a home built prior to may be up to [1,000 - 1,200] square feet."

- b. Accessory suites must meet the following additional requirements:
- i. Location of entrances. Only one entrance may be located on the facade of the primary dwelling facing the street, unless the primary dwelling contained additional entrances before the accessory suite was created. An exception to this regulation is entrances that do not have access from the ground such as entrances from balconies or decks.
- ii. Exterior stairs. Fire escapes or exterior stairs for access to an upper level accessory suite shall not be located on the front of the primary dwelling.
- c. Garden cottages must meet the following additional requirements:
- i. Height. The maximum height allowed for a garden cottage is the lesser of [20-25] feet or the height of the primary dwelling.

Comment: Definitions of height vary from code to code. If they go to the peak of the roof, consider a higher height limit. If they go to the average height of the roof, consider a lower height limit.

- ii. Building setbacks. ADU's must be located at least six feet behind the primary dwelling, unless the ADU is in an existing detached structure that does not meet this standard.
- iii. Building coverage. The building coverage of a ADU may not be larger than the building coverage of the primary dwelling.

iv. Yard setbacks. No portion of an existing building that encroaches within a required yard setback may be converted to or used as a garden cottage unless the building complies with setback exemptions (ie. for garages, properties abutting alleys...) available elsewhere in the code.

v. Does the commission want setbacks?

Miscellaneous Topics

Design Compatibility

Some cities, including Seattle, WA, Vancouver, BC, and Eugene, OR, don't have any special requirements that ADUs match the exterior appearance of the primary dwelling. There's a good case for this, especially since ADUs represent a sizable investment and builders have plenty of market incentive to make them look appealing and appropriate for the neighborhood. Design compatibility requirements often single out ADUs while offering no such constraints on other types of accessory structures (ie. garages, art studios...). For these reasons, compatibility guidelines are not included in this model code.

However, since design compatibility requirements are quite common and sometimes help build public acceptance for ADUs, following is some implementing language that could be appended to Sections 9.b and 9.d:

(Add to Section 9.a. – All ADUs)

- iii. Exterior finish materials. Exterior finish materials must visually match in type, size and placement, the exterior finish materials of the primary dwelling.
- iv. Roof pitch. The roof pitch must be the same as the predominant roof pitch of the primary dwelling.
- v. Windows. If the street-facing façade of the ADU is visible from the street, its windows must match, in proportion and orientation, the windows of the primary dwelling.
- vi. Eaves. If the primary dwelling has eaves, the ADU must have eaves that project the same distance from the building. If the primary dwelling does not have eaves, no eaves are required for the ADU.

(Add to Section 9.c. – Garden cottages)

- v. Exemptions. Garden cottages are eligible for either of the following exemptions:
- 1. Design compatibility. Exceptions to Sections 9.a.iii.-vi. are granted for garden cottages that:
- a. Are under 500 square feet and under 18' average height, or
- b. Meet Community Design Standards, defined elsewhere in the code.

Comment: These exceptions provide design latitude for smaller garden cottages and an alternative path in cases where the primary dwelling is ugly and/or out of character with neighboring homes.

2. Alteration. If a garden cottage is proposed for an existing detached accessory structure that does not meet one or more of the standards of Sections 9.a.iii.-vi., the structure is exempt from the standard(s) it does not meet. Alterations that would move the structure out of conformance with standards it does meet are not allowed. If any floor area is added to a detached accessory structure, the entire structure must meet the standards of Sections 9.a.iii.-vi.

Acknowledgments

Language used is a combination of various ordinances from Vancouver BC, Portland Oregon, and smaller Idaho communities provided by the Idaho Housing Authority.

There are very few ordinances in Iowa, but they are rising in popularity. Here are additional writings to read if interested.

https://www.bloomberg.com/news/articles/2021-03-25/can-granny-flats-fill-california-s-housing-gap

https://www.bloomberg.com/news/articles/2018-01-16/the-rise-of-the-backyard-granny-flat

https://www.strongtowns.org/journal/2018/9/11/if-youre-going-to-allow-adus-dont-make-it-so-hard-to-build-one

https://www.architecturaldigest.com/story/accessory-dwelling-units-are-on-the-rise