

RESOLUTION 2022-59

**RESOLUTION APPROVING THE SITE PLAN FOR LOT 1 PARKSIDE HILLS-
SECOND ADDITION, WEST BRANCH, IOWA.**

WHEREAS, Advantage Development, Inc. (“Advantage”), is the owner of Lot 1, Parkside Hills-Second Addition, West Branch, Iowa (the “Property”); and

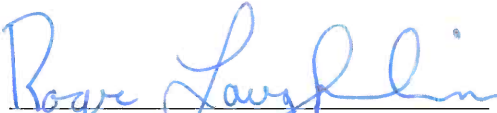
WHEREAS, Advantage has submitted a proposed Site Plan for the Property; and

WHEREAS, the City Engineer and Planning and Zoning Commission has reviewed said Site Plan and recommended approval of the same; and

WHEREAS, said Site Plan complies with the requirements of Chapter 167 of the Code of Ordinances of the City of West Branch.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the site plan from Advantage Development, Inc. for Lot 1, Parkside Hills-Second Addition, West Branch, Iowa, is hereby approved.

Passed and approved this 6th day of June, 2022.



Roger Laughlin, Mayor

ATTEST:



Leslie Brick, City Clerk



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

WEST BRANCH
IOWA CITY, IOWA 52240
WWW.MMSCONSULTANTS.COM

Scale: As Shown
Date: 05/02/2022

GRADING PLAN

LOT 1 PARKSIDE HILLS
SECOND ADDITION
WEST BRANCH
IOWA

MMS CONSULTANTS, INC.

Design by: R.A.
Drawn by: M.S.F.
Checked by: R.A.
Project No.: C141
6992-381

GRADING LEGEND

- EXISTING SURFACE
- TOP SLAB
- TOP WALK
- TOP CURB
- TOP BM
- TOP OF WALL
- BOTTOM OF WALL
- FINISHED GRADE

STANDARD LEGEND AND NOTES

- PROPERTY LINE
- ADJACENT LOT
- ADJACENT ROAD
- ADJACENT RAILROAD
- ADJACENT WATERWAY
- ADJACENT AIRWAY
- ADJACENT UTILITY
- ADJACENT EASEMENT
- ADJACENT RIGHT-OF-WAY
- ADJACENT ZONING DISTRICT
- ADJACENT PLANNING DISTRICT
- ADJACENT ENVIRONMENTAL SENSITIVE AREA
- ADJACENT HISTORIC DISTRICT
- ADJACENT PREVIOUS GRADING
- ADJACENT FUTURE GRADING
- ADJACENT PROPOSED GRADING
- ADJACENT EXISTING GRADING
- ADJACENT EXISTING SURFACE
- ADJACENT EXISTING WALK
- ADJACENT EXISTING CURB
- ADJACENT EXISTING BM
- ADJACENT EXISTING WALL
- ADJACENT EXISTING FINISHED GRADE
- ADJACENT EXISTING BOTTOM OF WALL
- ADJACENT EXISTING FINISHED GRADE

SITE PLAN

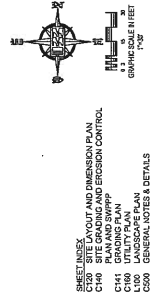
LOT 1 PARKSIDE HILLS SECOND ADDITION

WEST BRANCH, IOWA

PREPARED BY:
MMS CONSULTANTS, INC.
1817 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/DEVELOPER:
ADVANTAGE DEVELOPMENT, INC.
760 LIBERTY WAY
NORTH LIBERTY, IA 52241

ENGINEERS/ARCHITECTS:
MMS CONSULTANTS, INC.
1817 S. GILBERT STREET
IOWA CITY, IA 52240



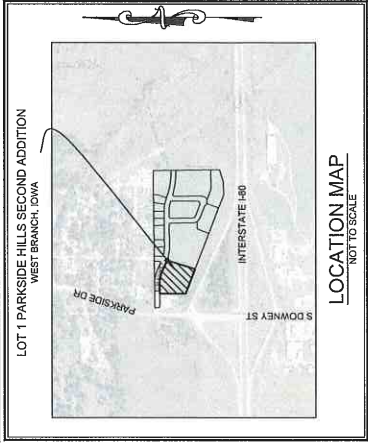
GRADING NOTES

- 1) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5 HORIZONTAL TO 1' VERTICAL.
- 2) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- 3) MAXIMUM HEIGHT OF FILL IS 10 FEET UNLESS OTHERWISE SPECIFIED.
- 4) CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL IOWA AND FEDERAL REGULATIONS.
- 5) ALL SLOPES EXCEPT WHERE SHOWN OTHERWISE SHALL BE SMOOTHED TO PREVENT EROSION.
- 6) PRIOR TO ANY GRADING, A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
- 7) ALL EXISTING UTILITIES AND STRUCTURES SHALL BE PROTECTED AND NOT MOVED UNLESS NECESSARY.
- 8) ALL EXISTING UTILITIES AND STRUCTURES SHALL BE REPAIRED OR REPLACED AS NECESSARY.
- 9) ALL EXISTING UTILITIES AND STRUCTURES SHALL BE REMOVED AS NECESSARY.
- 10) ALL EXISTING UTILITIES AND STRUCTURES SHALL BE REINSTALLED AS NECESSARY.

IOWA ONE CALL

800-4-A-SAFE

FOR A LIST OF PARTICIPATING UTILITIES, VISIT [WWW.IOWAONECALL.COM](http://www.iowaonecall.com)





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
IOWA CITY, IOWA 52240
WWW.MMSCONSULTANTS.COM

Author: JESSICA J. HARRIS
Project: WEST BRANCH
Version: PRELIMINARY COMMENTS MAP

EROSION CONTROL
PLAN

LOT 1 PARKSIDE HILLS
SECOND ADDITION
WEST BRANCH
IOWA

MMS CONSULTANTS, INC.
Date: 05/02/2022
Designed by: RJA
Drawn by: MJC
Checked by: RJA
Project No: C140
Sheet No: 6992-381

STANDARD LEGEND AND NOTES

	EROSION CONTROL MAT
	TYPICAL EROSION CONTROL MAT
	TEMPORARY ROCK CONSTRUCTION DRAINAGE/CUT
	TEMPORARY PAVING AND STABILIZATION
	CHANNEL/STABILIZATION
	PORTABLE BARRIERS
	DOCUMENT LOCATION (FENCES, SIGNS, TIE-INS, SLOPE PINS, ETC.)
	FLEET STORAGE AREA
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	TRUCKS TRAILER RACKS
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)
	FLEET STORAGE AREA (AT CORNER)

SITE PLAN

LOT 1 PARKSIDE HILLS SECOND ADDITION

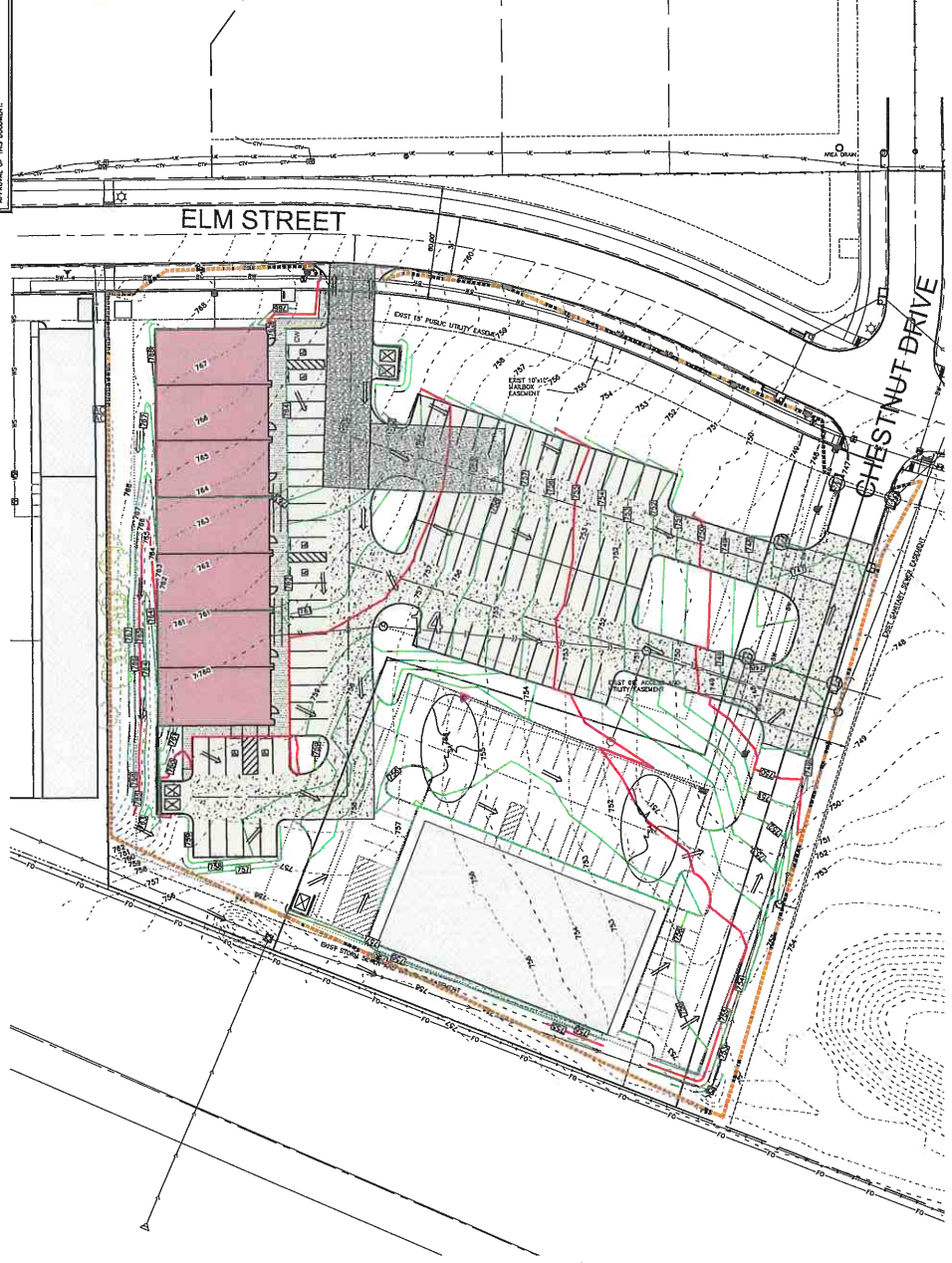
WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS, INC.
1817 S. GILBERT STREET
IOWA CITY, IA 52240

DESIGNER/ENGINEER:
ADVANTAGE DEVELOPMENT, INC.
1190 5TH STREET, SUITE 170
CORALVILLE, IA 52241



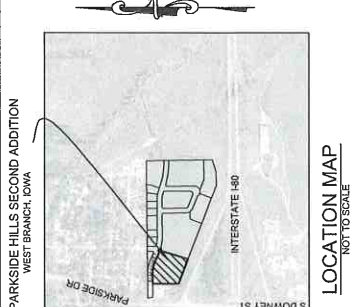
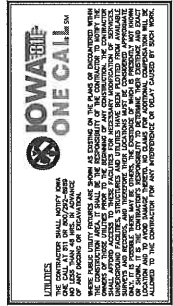
- #### SHEET INDEX
- C200 SITE LAYOUT AND DIMENSION PLAN
 - C310 EROSION CONTROL PLAN
 - C340 GRADING PLAN
 - L100 LANDSCAPE PLAN
 - C500 GENERAL NOTES & DETAILS



EROSION CONTROL LEGEND

	FINAL FENCE SINK
	EROSION CONTROL MATTING
	TYPICAL EROSION CONTROL MAT
	TEMPORARY ROCK CONSTRUCTION DRAINAGE/CUT
	TEMPORARY PAVING AND STABILIZATION
	CHANNEL/STABILIZATION
	PORTABLE BARRIERS
	DOCUMENT LOCATION (FENCES, SIGNS, TIE-INS, SLOPE PINS, ETC.)
	FLEET STORAGE AREA
	FLEET STORAGE AREA (AT CORNER)
	TRUCKS TRAILER RACKS

- #### CRADING NOTES
- 1) MAXIMUM SLOPE IN ANY FILL SHALL BE 4:1, HORIZONTAL TO 1 VERTICAL.
 - 2) NO OVEREXCAVATION SHALL BE ALLOWED WITHIN 5 FT OF PROPERTY LINES.
 - 3) MINOR HEIGHT OF FILL IS GREATER THAN 2 FT AN INTERIM STABILIZATION OF AT LEAST 14 DAYS SHALL BE MAINTAINED AT ALL TIMES. SEE TYPICAL FULL SECTION.
 - 4) ALL EXCAVATIONS SHALL BE BACKFILLED WITH COMPACTED FILL TO ORIGINAL GRADE.
 - 5) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 6) PROTECT EXISTING UTILITIES AND STRUCTURES FROM DAMAGE.
 - 7) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 8) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 9) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 10) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 11) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 12) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 13) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 14) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.
 - 15) ALL EXCAVATIONS SHALL BE PROTECTED WITH SLOPE PROTECTION.





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1001 WEST LIBERTY STREET
IOWA CITY, IOWA 52240
515.241.4822
WWW.MMSCONSULTANTS.COM

DATE: 05/02/2022
DESIGNER: [REDACTED]
CHECKER: [REDACTED]
SCALE: AS SHOWN

UTILITY PLAN

LOT 1 PARKSIDE HILLS SECOND ADDITION
WEST BRANCH, IOWA

MMS CONSULTANTS, INC.

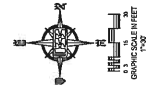
Designed by: [REDACTED]
Drawn by: [REDACTED]
Checked by: [REDACTED]
Project No.: C160
6992-381

STANDARD LEGEND AND NOTES

PROJECT NAME	PROJECT LOCATION
PROJECT NUMBER	PROJECT DATE
PROJECT SHEET NUMBER	PROJECT SHEET TOTAL
PROJECT SHEET TITLE	PROJECT SHEET SCALE
PROJECT SHEET DATE	PROJECT SHEET AUTHOR
PROJECT SHEET REVISIONS	PROJECT SHEET COMMENTS
PROJECT SHEET APPROVALS	PROJECT SHEET SIGNATURES
PROJECT SHEET CONTACTS	PROJECT SHEET REFERENCES
PROJECT SHEET NOTES	PROJECT SHEET LEGEND
PROJECT SHEET DIMENSIONS	PROJECT SHEET TOLERANCES
PROJECT SHEET MATERIALS	PROJECT SHEET FINISHES
PROJECT SHEET UTILITIES	PROJECT SHEET EROSION CONTROL
PROJECT SHEET LANDSCAPE	PROJECT SHEET PLANTING
PROJECT SHEET PAVEMENT	PROJECT SHEET LIGHTING
PROJECT SHEET FENCE	PROJECT SHEET SIGNAGE
PROJECT SHEET SECURITY	PROJECT SHEET SAFETY
PROJECT SHEET ACCESSIBILITY	PROJECT SHEET SUSTAINABILITY
PROJECT SHEET ENERGY	PROJECT SHEET WATER
PROJECT SHEET AIR	PROJECT SHEET SOIL
PROJECT SHEET CLIMATE	PROJECT SHEET BIODEIVERSITY
PROJECT SHEET CULTURE	PROJECT SHEET HISTORY
PROJECT SHEET ECONOMY	PROJECT SHEET SOCIETY
PROJECT SHEET POLITICS	PROJECT SHEET LAW
PROJECT SHEET ETHICS	PROJECT SHEET RELIGION
PROJECT SHEET ARTS	PROJECT SHEET RECREATION
PROJECT SHEET SCIENCE	PROJECT SHEET TECHNOLOGY
PROJECT SHEET HEALTH	PROJECT SHEET EDUCATION
PROJECT SHEET WELLNESS	PROJECT SHEET QUALITY OF LIFE
PROJECT SHEET EQUITY	PROJECT SHEET JUSTICE
PROJECT SHEET INCLUSION	PROJECT SHEET PARTICIPATION
PROJECT SHEET TRANSPARENCY	PROJECT SHEET ACCOUNTABILITY
PROJECT SHEET INTEGRITY	PROJECT SHEET ETHICS
PROJECT SHEET HONESTY	PROJECT SHEET FAITHFULNESS
PROJECT SHEET COURAGE	PROJECT SHEET RESPECT
PROJECT SHEET KINDNESS	PROJECT SHEET COMPASSION
PROJECT SHEET PATIENCE	PROJECT SHEET SELF-CONTROL
PROJECT SHEET MODERATION	PROJECT SHEET TEMPERANCE
PROJECT SHEET SILENCE	PROJECT SHEET STILLNESS
PROJECT SHEET ORDER	PROJECT SHEET CLEANLINESS
PROJECT SHEET NEATNESS	PROJECT SHEET PRECISION
PROJECT SHEET ACCURACY	PROJECT SHEET RELIABILITY
PROJECT SHEET CONSISTENCY	PROJECT SHEET COHERENCE
PROJECT SHEET CLARITY	PROJECT SHEET CONCISENESS
PROJECT SHEET LOGIC	PROJECT SHEET REASON
PROJECT SHEET LOGIC	PROJECT SHEET REASON

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNDISCOVERED UTILITIES SHALL BE STOPPED IMMEDIATELY AND REPORTED TO THE ENGINEER AND THE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE COST OF ANY DAMAGE TO UTILITIES CAUSED BY THEIR WORK.

- SHEET INDEX**
- C160 SITE LAYOUT AND DIMENSION PLAN
 - C161 EROSION CONTROL PLAN
 - C162 PLANS AND SWPPP
 - C163 LANDSCAPE PLAN
 - C164 UTILITY PLAN
 - C165 GENERAL NOTES & DETAILS



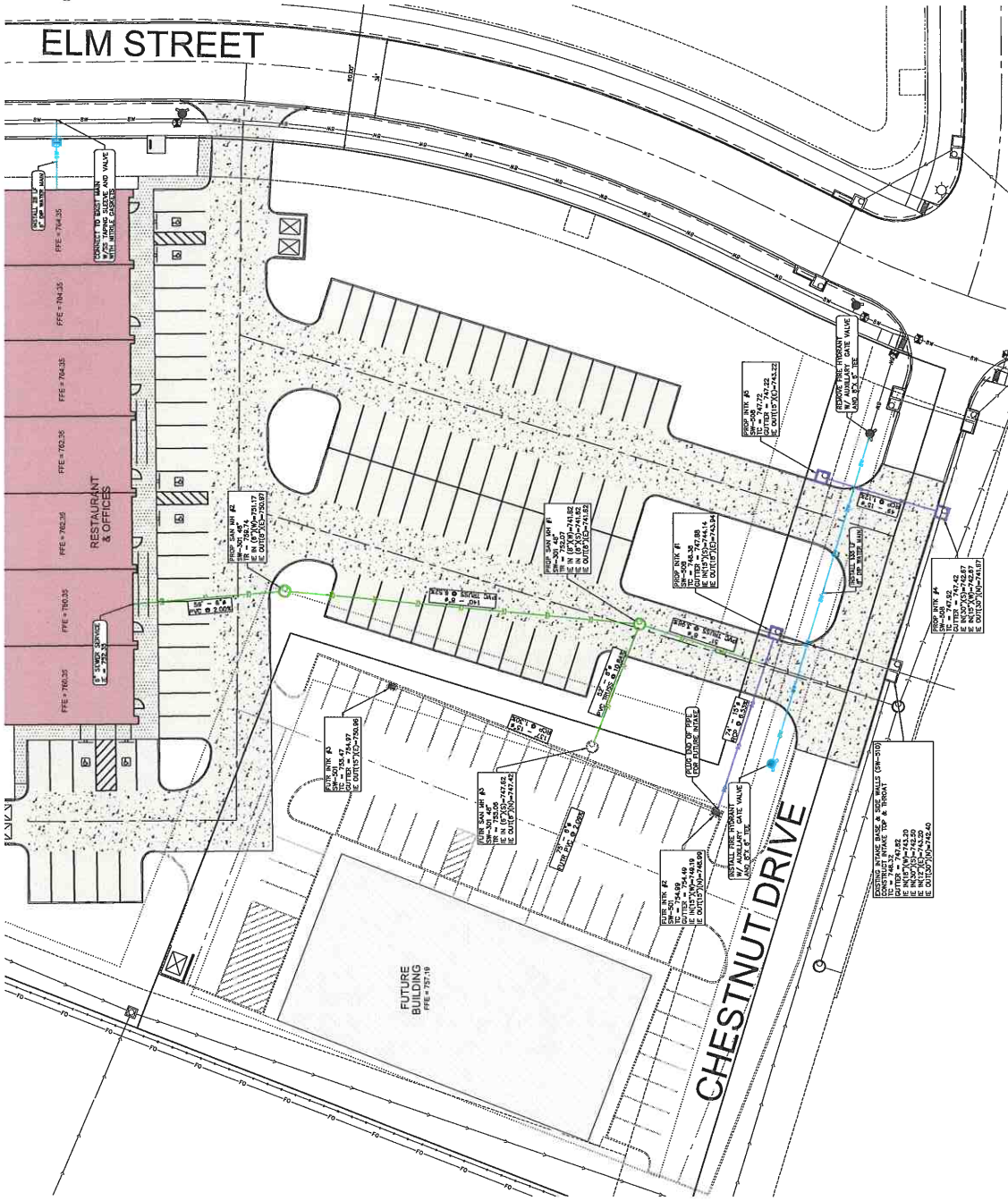
SITE PLAN

LOT 1 PARKSIDE HILLS SECOND ADDITION

WEST BRANCH, IOWA

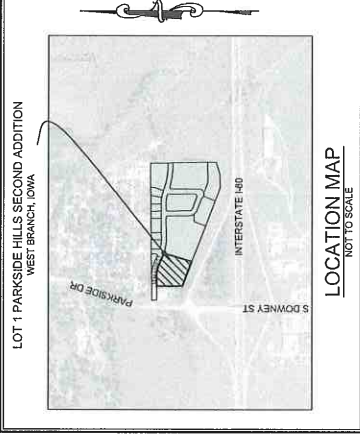
OWNERS/SUBDIVIDER:
ADVANTAGE DEVELOPMENT INC.
700 WEST LIBERTY STREET
NORTH LIBERTY, IA 52241

SUBMITTERS ATTORNEY:
MAYHEW STREET SUITE 170
CORALVILLE, IA 52241



IOWA ONE CALL

UTILITIES: 800-368-5888
TOLL FREE NUMBER FOR REPORTING AND LOCATING UTILITIES PRIOR TO CONSTRUCTION. THIS SERVICE IS AVAILABLE 24 HOURS A DAY, 7 DAYS A WEEK. FOR MORE INFORMATION, VISIT WWW.IOWAONECALL.COM





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

OWNER: MMS CONSULTANTS, INC.
PROJECT: LOT 1 PARKSIDE HILLS SECOND ADDITION

LANDSCAPE PLAN

LOT 1 PARKSIDE HILLS
SECOND ADDITION
WEST BRANCH
OSAGE COUNTY
IOWA

MMS CONSULTANTS, INC.
Date: 05/02/2022
Prepared By: B.J. ...
Scale: ...
Project No.: L100
6992-381

STANDARD LEGEND AND NOTES table with various symbols and their corresponding notes for site plan elements.

SITE PLAN
LOT 1 PARKSIDE HILLS SECOND ADDITION
WEST BRANCH, IOWA

OWNER/DEVELOPER:
ADVANTAGE DEVELOPMENT INC.
1000 WEST MARKET STREET
NORTH LIBERTY, IA 52317



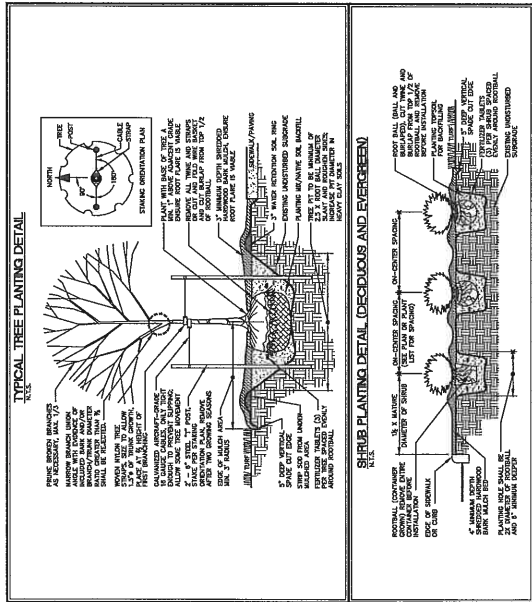
SHEET INDEX: SEE PLAN AND SPECIFICATIONS FOR A LIST OF SHEETS AND SHEET NUMBERS.
PLAN AND SWEEP: C140, C141, C160, C161, C162, C163, C164, C165, C166, C167, C168, C169, C170, C171, C172, C173, C174, C175, C176, C177, C178, C179, C180, C181, C182, C183, C184, C185, C186, C187, C188, C189, C190, C191, C192, C193, C194, C195, C196, C197, C198, C199, C200.
GENERAL NOTES & DETAILS



LANDSCAPE LEGEND table with categories: TURF GRASS (500), LANDSCAPE BED (RAILY), LANDSCAPE BED (WOOD), LANDSCAPE BED (ROCK).



PLANT SCHEDULE table with columns: SYMBOL, CODE, QTY, BOTANICAL NAME, COMMON NAME, INSTALL SIZE, COMMENTS, MATERIALS, X.X'. Includes entries for shrubs like 'Autumn Gold Oakleaf Tree' and 'Northern Acadian Honey Locust'.

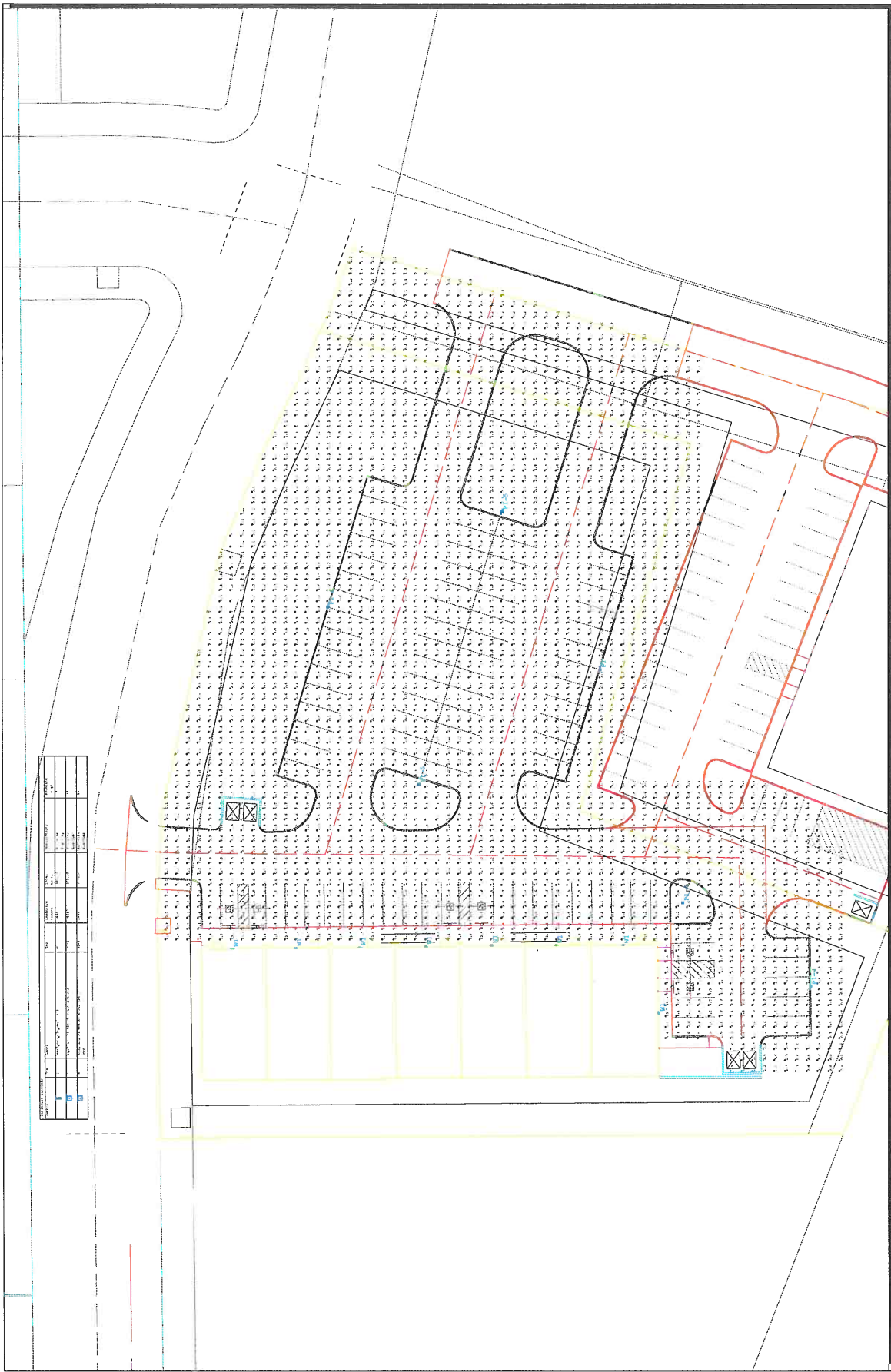


Lot 1 Parkside Hill

Drawn By: _____
 Checked By: _____
 Date: 8/10/2022

Revisions	
#	Date

Whitney Beals, Lighting Specialist
 3220 12th St SW
 Cedar Rapids, IA 52404
 P: 319.850.0410



Symbol	Description	Quantity	Notes
⊗	Lighting Fixture	1	See Note 1
⊗	Lighting Fixture	1	See Note 2
⊗	Lighting Fixture	1	See Note 3
⊗	Lighting Fixture	1	See Note 4
⊗	Lighting Fixture	1	See Note 5
⊗	Lighting Fixture	1	See Note 6
⊗	Lighting Fixture	1	See Note 7
⊗	Lighting Fixture	1	See Note 8
⊗	Lighting Fixture	1	See Note 9
⊗	Lighting Fixture	1	See Note 10

