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MELISSA BAHNSEN, RECORDER
CEDAR COUNTY IOWA

Prepared by: Kevin D. Olson, West Branch City Attorney, PO Box 5640, Coralville, Iowa 52241 (319)351-2277
Return to: City of West Branch, Iowa, 110 N. Poplar Street, West Branch, Iowa 52358.

RESOLUTION 2022-65

RESOLUTION APPROVING A SUBDIVIDER’S AGREEMENT WITH MEADOWS DEVELOPMENT, INC. FOR THE MEADOWS SUBDIVISION, PART FIVE, WEST BRANCH, IOWA.

WHEREAS, Meadows Development, Inc. (the “Developer”) has submitted the preliminary plat for The Meadows Subdivision, Part Five, West Branch, Iowa (the “Development”); and

WHEREAS, as part of said Development, the Developer is required to construct certain municipal improvements; and

WHEREAS, to that end, the City Attorney has drafted a Subdivider’s Agreement for said Development; and

WHEREAS, it is now necessary to approve said Subdivider’s Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of West Branch, Iowa, that the aforementioned Subdivider’s Agreement be and the same is hereby approved. Further, the Mayor and City Clerk are directed to execute this Agreement on behalf of the City.

Passed and approved this 20th day of June, 2022.

Colton Miller, Mayor Pro Tem

ATTEST:

Leslie Brick, City Clerk

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CITY OF WEST BRANCH, IOWA SUBDIVIDER'S AGREEMENT

THE MEADOWS SUBDIVISION, PART FIVE, WEST BRANCH, IOWA

This Agreement is made by and between Meadows Development, Inc., an Iowa corporation, hereinafter referred to as the "Subdivider", and the City of West Branch, Iowa, a Municipal corporation, hereinafter referred to as the "City".

WITNESSETH

SECTION 1. MUNICIPAL IMPROVEMENTS; CONSTRUCTION AND INSTALLATION OF MUNICIPAL IMPROVEMENTS.

In consideration of the city approving the plat and subdivision of real estate known and designated as The Meadows Subdivision, Part Five, West Branch, Iowa, prior to Subdivider's installation and construction of the required municipal improvements, Subdivider shall make escrow provisions as provided herein. Municipal improvements shall include 29-foot PCC streets known as Prairie View Drive and Ridge View Drive, sanitary sewers, water mains, storm sewers, sump-pump line, storm water detention basin (Outlot A), sidewalks across Outlot A and street lighting. Said municipal improvements shall be constructed and installed in accordance with construction plans and specifications approved by the City Engineer of the City who shall have the right to make or authorize occasional inspections of the work in progress. Said inspections shall not relieve or release the Subdivider from the responsibility to construct the municipal improvements in accordance with the approved plans and specifications.

SECTION 2. SIDEWALKS.

The Subdivider agrees that no later than five (5) years from the date of the City's Resolution approving the Final Plat of The Meadows Subdivision, Part Five, West Branch, Iowa, or upon seventy-five percent (75%) of the development of the lots therein, whichever occurs first, to install sidewalks abutting each lot which shall be at least five (5) feet wide and constructed according to the plans and specifications as approved by the City Engineer. The escrow provision need not include the sidewalk installation, however, the same shall remain a lien against each lot until accepted and released by the City.

SECTION 3. ESCROW MONIES

The Subdivider shall deposit with the City Clerk in escrow an amount equal to the estimated cost of constructing the municipal improvements plus 10% thereof as determined by the City Engineer and said deposit shall be referred to as "Municipal Improvements Escrow". The escrow deposit shall be in the form of cash, bank check that will be cashed, bond or irrevocable letter of credit, all as approved by the City Attorney.

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SECTION 4. USE OF ESCROW MONIES

If, after one year from the date of the City's resolution approving the preliminary plat of the subdivision, the municipal improvements have not been constructed and installed for the subdivision, then City may use and/or make demand upon the municipal improvements escrow to construct and install said municipal improvements. The City shall release any bond or letter of credit or refund to the Subdivider any portions of or any excess escrow monies not used by the City after construction, installation and acceptance of all of the municipal improvements. Any cash or check held in escrow shall be released as needed for payment of the costs of the improvements.

In addition, the City may make use of any of the proceeds of the security provided by Subdivider in order to enforce the erosion control requirements pursuant to Section 166.15(15) of the West Branch Code of Ordinances.

SECTION 5. WAIVER

In the event the Subdivider shall sell or convey or make application for a building permit on any lot or lots in the subdivision without having first constructed and installed all the municipal improvements for the subdivision, then the City shall have the right to proceed therewith as provided in Section 3 above.

SECTION 6. LIEN

The costs of the construction and installation of the municipal improvements shall be a lien and charged against all lots in said subdivision and need not meet the requirements of notice, benefit or value as provided for by the Code of Iowa for assessing said municipal improvements which may exceed the municipal improvements escrow.

SECTION 7. RELEASE

The City agrees that when all municipal improvements have been constructed and installed for the subdivision, to the satisfaction of the City and upon acceptance by resolution, to furnish the Subdivider a good and sufficient Release for filing in the office of the County Recorder so that this Agreement will not constitute a cloud upon the title.

SECTION 8. PUBLIC SERVICES.

Subdivider agrees that public services including, street maintenance, snow plowing, water and sanitary sewer service, will not be provided in said subdivision until the municipal improvements have been constructed, installed and accepted by the City.

SECTION 9. LOT A.

At the time of recording of the final plat the Subdivider shall also submit a Warranty Deed conveying Lot A to the City free and clear of any liens.

SECTION 10. PAYMENT OF SANITARY SEWER CONNECTION FEE.

Payment of the Sanitary Sewer Connection Fee will be collected with each building permit in accordance with the then current schedule of fees adopted by the City.

SECTION 11. ZONING.

The parties expressly agree that the Subdivision is currently zoned R-2 Residential District.

SECTION 12. STORM WATER EROSION CONTROL AND TOPSOIL REQUIREMENTS.

Subdivider or its assigns or successors in interest shall be responsible for the maintenance of appropriate erosion control measures during construction of the infrastructure and during building of any structures in the Subdivision. In addition, the Subdivider shall be responsible for the placement of 4-inches of topsoil or allowed substitute upon each lot after the structures have been constructed prior to the issuance of any occupancy permit for said structure.

SECTION 13. OUTLOT A.

As part of the public improvements for this Subdivision, the Subdivider shall will construct storm water detention on Outlot A in strict compliance with the plans approved by the City Engineer. In addition, the Subdivider, as part of its municipal improvements, shall construct the sidewalk required along Prairie View Drive. After acceptance of the municipal improvements by the City, the Subdivider shall convey Outlot A to a Homeowners' Association ("HOA") who shall maintain the sidewalk and storm water detention improvements on Outlot A. In the event that the HOA does not maintain the sidewalk and/or storm water detention improvements on Outlot A, or the HOA becomes administratively dissolved by the Iowa Secretary of State, the City may enter upon Outlot A to maintain the improvements. After completion of the required maintenance, the City shall invoice the HOA who shall have thirty (30) days to reimburse the City. In the event that the HOA does not reimburse the City, the Subdivider authorizes the City to assess the costs of the same equally among Lots 1 through 23 inclusive to be collected in the same manner as property taxes. In doing so, the Subdivider waives any requirement of notice, value or

benefit as it pertains to assessing the costs to said Lots 1 through 23 inclusive.

SECTION 14. ASSIGNS AND SUCCESSORS

This agreement shall be binding upon the parties, their assigns or successors in interest and it is understood that the City, at its option, may contract for the construction and installation of the municipal improvements as provided above.

Dated this 6 day of July, 2022.

Meadows Development, Inc.:

City of West Branch:

By: [Signature]
Brad Larson, President

[Signature]
Roger Laughlin, Mayor

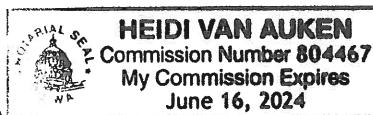
ATTEST:

[Signature]
Leslie Brick, City Clerk

STATE OF IOWA, COUNTY OF CEDAR, ss:

On this 29 day of June, 2022, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Roger Laughlin and Leslie Brick, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of West Branch, Iowa; a municipal corporation; that the seal affixed to the foregoing instrument is the corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by authority of its City Council, as passed by Resolution of the City Council; and Roger Laughlin and Leslie Brick acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

[Signature]
Notary Public



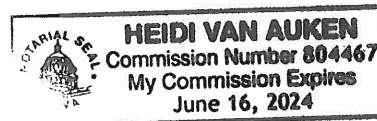
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STATE OF IOWA, COUNTY OF CEDAR, ss:

This instrument was acknowledged before me on the 6 day of July, 2022,
by Brad Larson as President of Meadows Development, Inc.



Notary Public



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