

RESOLUTION 2022-60

RESOLUTION APPROVING THE (REVISED) SITE PLAN FOR PROGRESSIVE REHAB ASSOCIATES (DAWSON PLAZA), LOT 1 OF THE MEADOWS PART 4A, WEST BRANCH, IOWA.

WHEREAS, Progressive Physical Therapy PLLC. (“Progressive”), is the owner of Lot 1 of The Meadows Part 4A, West Branch, Iowa (the “Property”); and

WHEREAS, Progressive Rehab Associates has submitted a proposed Site Plan for the Property for commercial use; and

WHEREAS, the City Engineer and Planning and Zoning Commission has reviewed said Site Plan and recommended approval of the same; and

WHEREAS, said Site Plan complies with the requirements of Chapter 167 of the Code of Ordinances of the City of West Branch.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the site plan for Progressive Rehab Associates (Dawson Plaza), Lot 1 of The Meadows Part 4A, West Branch, Iowa, is hereby approved.

Passed and approved this 6th day of June, 2022.


Roger Laughlin, Mayor

ATTEST:


Leslie Brick, City Clerk



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

SITE PLAN REVIEW CHECKLIST

Project Name	<u>Progressive Rehab</u>
Engineer	<u>Axiom Consultants</u>
Reviewer	<u>Dave Schechinger</u>
Reviewed Date	<u>5/16/2022</u>

1. SITE PLAN

A. Site plans shall only be required whenever any person proposes to place any structure for which a building permit is required under any other section of this Code, on any tract or parcel of and within any district of the West Branch Zoning Ordinance, and for any use, except one and two family dwellings.

2. DESIGN STANDARDS

A. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines nor increase the danger of erosion, flooding, landslide, or other endangerment of adjoining or surrounding property

B. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illumination of required perimeter yards, refuse containers, and impairment of light and air.

C. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets

D. The proposed development shall conform to all applicable provisions of the Code of Iowa, as amended, Iowa Statewide Urban Design and Specifications (SUDAS), Iowa Stormwater Management Manual and all applicable provisions of the Code of Ordinances of the City of West Branch, as amended

Veenstra & Kimm, Inc.
860 22nd Avenue, Suite 4
Coralville, Iowa 52241
319-466-1000



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

SITE PLAN:

- 1. Prepared by a licensed Engineer or Land Surveyor YES NO
- 2. Date of preparation, North point and scale no smaller than 1"=100'.
Comments: YES NO
- 3. Legal description and address of the property to be developed.
Comments: YES NO
- 4. Name and address of the record property owner, the applicant, and the person or firm preparing the site plan
Comments: YES NO
- 5. The existing topography with a maximum of two (2) foot contour intervals. Where existing ground is on a slope of less than two percent (2%), either one (1) foot contours or spot elevations where necessary but not more than fifty (50) feet apart in both directions, shall be indicated on site plan.
Comments: YES NO
- 6. Existing and proposed utility lines and easements in accordance with Iowa Statewide Urban Design and Specifications (SUDAS) and City of West Branch Subdivision Regulations.
Comments: YES NO
- 7. Structure Information:
 - a. Total number and type of dwelling units proposed YES NO
 - b. Proposed uses for all buildings YES NO
 - c. Total floor area of each building YES NO
 - d. Estimated number of employees for each proposed use where applicable YES NO
 - e. Any other information, including peak demand, which may be necessary to determine the number of off-street parking spaces and loading spaces. YES NO
- 8. Location, shape, and all exterior elevation views of all proposed buildings, for the purpose of understanding the structures and building materials to be used, the location of windows, doors, overhangs, projection height, etc. and the grade relationship to floor elevation, and the number of stories of each existing building to be retained and of each proposed building. YES NO
- 9. Property lines and all required yard setbacks. YES NO
- 10. Location, grade and dimensions of all existing and proposed paved surfaces and all abutting streets. YES NO

Veenstra & Kimm, Inc.
860 22nd Avenue, Suite 4
Coralville, Iowa 52241
319-466-1000



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

- 11. Complete traffic circulation and parking plan, showing the location and dimensions of all existing and proposed parking stalls, loading areas, entrance and exit drives, sidewalks, dividers, planters, and other similar permanent improvements. YES NO
- 12. Location and type of existing or proposed signs and of any existing or proposed lighting on the property which illuminates any part of any required yard. YES NO
- 13. Location of existing trees six (6) inches or larger in diameter, landslide areas, springs and streams and other bodies of water, and any area subject to flooding by a one hundred (100) year storm on site and downstream off site. YES NO
- 14. Location, amount and type of any proposed landscaping. Location of proposed plantings, fences, walls, or other screening as required by the zoning regulations and the design standards set forth in Section 173.03. YES NO
- 15. A vicinity map at a scale of 1" = 500' or larger, showing the general location of the property, and the adjoining land uses and zoning. YES NO
- 16. Soil tests and similar information, if deemed necessary by the City Engineer, to determine the feasibility of the proposed development in relation to the design standards set forth in Section 173.03.
N/A YES NO
- 17. Where possible ownership or boundary problems exist, as determined by the Zoning Administrator, a property survey by a licensed land surveyor may be required.
N/A YES NO
- 18. Stormwater Pollution Prevention Plan. YES NO
- 19. Stormwater Management Plan. YES NO
- 20. Pre-Application Conference. YES NO
- 21. Provide 25% of open space
 - a. Said open space shall be unencumbered with any structure, or off-street parking or roadways and drives, and shall be landscaped and maintained with grass, trees and shrubbery. YES NO
 - b. Each principal structure of an apartment or office complex on same site shall be separated from any other principal structure in the complex by an open space of not less than sixteen (16) feet. YES NO
- 22. Landscaping Requirements
 - a. Minimum requirements at the time of planting - Two (2) trees minimum or one (1) tree of the following size per 1,500 square feet of open space, whichever is greater: 40 Percent 1½" - 2" caliper diameter. Balance 1" - 1½" caliper diameter. (Evergreen trees shall not be less than three (3) feet in height.) YES NO
 - b. Minimum requirements at the time of planting - 6 shrubs, or 1 shrub per 1,000 square feet of open space, whichever is greater. YES NO

Veenstra & Kimm, Inc.
860 22nd Avenue, Suite 4
Coralville, Iowa 52241
319-466-1000



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

23. Buffer Required

- a. Any other zoning district, other than an Agricultural A-1 District, that abuts any residential district shall require a buffer as described in this section. The buffer shall be provided by the non-residential use when adjoining a residential district. YES NO
- b. All Industrial Districts that abut any other district shall provide a buffer as required by this section. N/A
 YES NO
- c. Any storage area, garbage storage, junk storage or loading docks, and loading areas, in any District shall be screened from public street view by a buffer YES NO

24. Buffers

- a. Buffer Wall: A buffer wall shall not be less than six (6) feet in height; constructed of a permanent low maintenance material such as concrete block, cinder block, brick, concrete, precast concrete or tile block; the permanent low-maintenance wall shall be designed by an architect or engineer for both structural adequacy and aesthetic quality. YES NO
- b. Landscape Buffer: A landscape buffer shall not be less than twenty-five (25) feet in width, designed and landscaped with earth berm and predominant plantings of evergreen type trees, shrubs and plants so as to assure year around effectiveness. YES NO

25. Surfacing Requirements.

- a. All off-street parking and loading areas and access roadways shall have a durable and dustless surface paved with asphaltic or Portland cement concrete pavement or pervious pavement. Off-street parking of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other mobile vehicles shall be on an asphaltic or Portland cement concrete paved off-street parking area and not parked or stored within the landscaped open space area of the front yard. All off-street parking areas and associated driveways, access roadways and frontage roads, except driveways for single family residences, shall be constructed with permanent, integrally attached 6" high curbing or curbing of alternate height. YES NO
- b. Portland Cement Concrete shall have a minimum thickness of five (5) inches. YES NO
- c. Asphaltic Cement Concrete shall have a minimum thickness of six (6) inches. YES NO N/A
- d. Material utilized in the subgrade shall be well drained and not susceptible to frost boils. Driveways for attached townhouse style residences shall be Portland cement concrete or asphaltic concrete with minimum thickness of five (5) inches and six (6) inches, with well-drained subgrade base and not greater than eighteen (18) feet in width. YES NO

Veenstra & Kimm, Inc.
860 22nd Avenue, Suite 4
Coralville, Iowa 52241
319-466-1000



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

26. Landscaping, Screening and Open Space Requirements.

- a. All parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their use. YES NO
- b. Parking areas shall be effectively screened from general public view and contain shade trees within parking islands where multiple aisles of parking exist. Not less than five (5) percent of the interior parking area shall be landscaped within parking islands. YES NO

27. Off-Street Parking Access to Public Streets and Internal Traffic Circulation.

- a. forward movement of the vehicle. YES NO
- b. Driveway approach returns shall not extend beyond the side lot line as extended. YES NO
- c. The number of ingress/egress access points to public streets from offstreet parking areas located to limit vehicular conflicts, preserve proper traffic safety. YES NO

28. Handicap Accessible Parking Requirements - comply with the parking space minimum requirements. YES NO

29. Traffic Analysis Requirements. Any project which contains 100 dwelling units or 1,000 average day trips. YES NO N/A

30. Architectural Standards - architectural plans for buildings shall be submitted for review and approval. YES NO

Veenstra & Kimm, Inc.
860 22nd Avenue, Suite 4
Coralville, Iowa 52241
319-466-1000

DRAWINGS FOR PROPOSED IMPROVEMENTS PROGRESSIVE REHAB SITE PLAN

IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA

LEGAL DESCRIPTION

THE MEADOWS SUBDIVISION PART 4A LOT 1.

NOTE: THE PROPOSED IMPROVEMENTS INCLUDED IN THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH CITY OF WEST BRANCH REQUIREMENTS AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST ADDITION, UNLESS NOTED OTHERWISE ON THE PLANS.

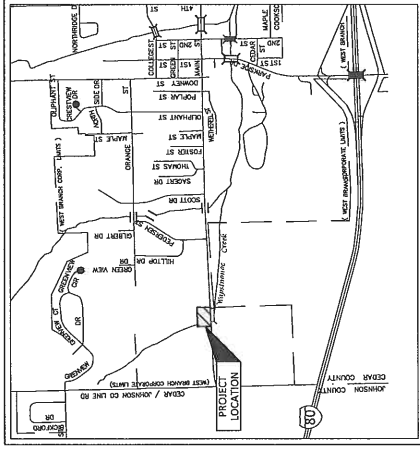
THE FOLLOWING DESIGN EXCEPTIONS ARE REQUIRED:
N/A

SITE INFORMATION

PURPOSE OF DEVELOPMENT		PROPOSED PROGRESSIVE REHAB FACILITY
ZONING INFORMATION		RB-1 (RESIDENCE/BUSINESS DISTRICT)
MINIMUM LOT REQUIREMENTS		75 FEET
REAR YARD SETBACK		25 FEET EXCEPT WHERE A COURTYARD OF EQUAL SQUARE FOOTAGE TO THAT PART OF THE REAR YARD REPLACES IS SUBSTITUTED, IN WHICH CASE THE STRUCTURE MAY BE NO CLOSER THAN 8 FEET FROM THE REAR LOT LINE WHERE THE LOT ABUTS A LOWER OR LESS RESTRICTIVE ZONING CLASSIFICATION ONLY.
SIDE YARD SETBACK		NONE REQUIRED EXCEPT ADJOINING AN "R" DISTRICT, IN WHICH CASE NOT LESS THAN 10 FEET
SITE CHARACTERISTICS		TOTAL LOT SIZE 14,331 SF 0.33 AC
EXISTING		BUILDING AREA: 0 SF (0.00 AC) 0.0%
		PAVEMENT AREA: 0 SF (0.00 AC) 0.0%
		OPEN SPACE: 14,331 SF (0.33 AC) 100.0%
		PRE-DEVELOPMENT IMPERVIOUS AREA: 0.0% (0.00 AC)
DEVELOPED:		BUILDING AREA: 2,224 SF (0.05 AC) 15.5%
		PAVEMENT AREA: 7,495 SF (0.17 AC) 52.1%
		OPEN SPACE: 4,656 SF (0.11 AC) 32.4%
		POST DEVELOPMENT IMPERVIOUS AREA: 67.6% (0.22 AC)
PARKING REQUIREMENTS		REQUIRED PARKING = 3 STALLS PLUS 1 PER 400 SF OF BUILDING AREA OVER 1,000 SF
		TOTAL REQUIRED STALLS = 6 STALLS
		TOTAL REQUIRED ADA STALLS = 1 ADA STALLS
PROPOSED PARKING		10 - STALLS PROVIDED (TOTAL)
		1 - ACCESSIBLE STALLS

SHEET INDEX

C0.00	COVER SHEET	CIVIL
C0.01	LEGEND AND GENERAL NOTES	
C0.02	GENERAL CONSTRUCTION DETAILS	
C0.03	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY	
C2.00	SITE AND UTILITY PLAN	
C3.00	EROSION CONTROL PLAN	
C4.00	PAVEMENT PLAN	
L1.00	LANDSCAPE PLAN	



CITY OF WEST BRANCH, IOWA

APPLICANT INFORMATION

OWNER/APPLICANT:
SCOTT THOMA
PROGRESSIVE REHAB ASSOCIATES
1130 SCOTT BOULEVARD
IOWA CITY, IA 52240

DEVELOPER'S ATTORNEY:
TIMM KRUMM
MEARDON, SUPPEL, AND DOWNER P.L.C.
122 S UNN STREET
IOWA CITY, IA 52240

PROJECT INFORMATION

SCOPE OF WORK:
PROPOSED PROGRESSIVE REHAB AND FITNESS CENTER.

CONTACT PERSON:
BRIAN BDELK
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240-3883
PHONE: 319-539-6220
EMAIL: BBDELK@AXIOM-CON.COM

UTILITY CONTACTS

CITY OF WEST BRANCH
ALLIANT ENERGY - ALLIANT ENERGY FIELD ENGINEER
CONTACT PHONE: 800-255-4288
CONTACT EMAIL: LOCATE_IP@ALLIANTENERGY.COM

LINK COUNTY REC
CONTACT NAME: LARRY RAIMANN
CONTACT PHONE: 641-228-3021
CONTACT EMAIL: LUNIMANN@LINKCOUNTYREC.COM

MEDIA/COM
CONTACT NAME: CARL WORTON
CONTACT PHONE: 319-527-2145
CONTACT EMAIL: CWORTON@MEDIACOM.COM

LIBERTY COMMUNICATIONS
CONTACT NAME: LARRY RAIMANN
CONTACT PHONE: 281-635-1827
CONTACT EMAIL: LWRAIMANN@LIBERTY.COM

ENTERPRISE PRODUCTS OPERATING
CONTACT NAME: LOCATE DESK
CONTACT PHONE: 281-635-1827
CONTACT EMAIL: MWACIAUGHLIN@EPROD.COM



REGISTERED PROFESSIONAL ENGINEER

BRIAN A. BOELK
16593

IOWA

DATE: _____

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022.

PAGES OR SHEETS COVERED BY THIS SEAL: ____/____

CITY APPROVAL

DATE: _____

BY: _____



WWW.AXIOM-CON.COM | (319) 539-6220

REV	DESCRIPTION OF CHANGES	DATE
1 <td>FIRST SUBMITTAL <td>09-09-2023 </td></td>	FIRST SUBMITTAL <td>09-09-2023 </td>	09-09-2023

PROJECT NAME: WEST BRANCH, IA 52358
PROJECT NUMBER: WEST BRANCH, IA 52358

CLIENT NAME: BOELK
PROJECT NO.: 210119

COVER SHEET
PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119
CLIENT NAME: BOELK

CITY OF WEST BRANCH
PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119
CLIENT NAME: BOELK

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

PROJECT NO.: 210119

PROJECT NAME: WEST BRANCH, IA 52358

PROJECT NO.: 210119

CLIENT NAME: BOELK

DATE	REV	DESCRIPTION OF CHANGES
05-04-2012	1	FIRST SUBMITTAL

PROJECT NAME	WEST BRANCH, VA 5238
CLIENT NAME	BOELK
PROJECT NO.	210119
DATE	05-04-2012

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL INCORPORATE ALL EROSION CONTROL FEATURES INTO THE PROJECT PRIOR TO DISTURBING THE SOIL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES A MINIMUM OF ONCE PER WEEK. IF A CONTROL MEASURE HAS BEEN REDUCED IN CAPACITY BY 50% OR MORE, THE CONTRACTOR SHALL RESTORE SUCH FEATURES TO THEIR ORIGINAL CONDITION IMMEDIATELY, WEATHER PERMITTING.
3. ERECT SILT FENCE AS SHOWN ON THE PLANS TO LIMIT LOSS OF MATERIAL FROM THE SITE. DEVICES TO BE MAINTAINED IN PLACE AND TO BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.
4. MINIMIZE SOIL EROSION BY MAINTAINING ALL EXISTING VEGETATIVE GROWTH WITHIN THE GRADING LIMITS FOR AS LONG AS PRACTICAL.
5. INSTALL A SILT FENCE AROUND ALL STOCKPILED TOPSOIL.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEEDING FOR ALL AREAS THAT ARE NOT DISTURBED AND OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED IN LESS THAN 14 DAYS.
7. SEQUENCE OF EROSION AND SEDIMENT CONTROL EVENTS:
 - A. INSTALL SILT PROTECTION AROUND EXISTING TAKEAS AS INDICATED ON THE SITE CONSTRUCTION PLAN. USE THESE LOW AREAS AS SEDIMENT BASINS DURING CONSTRUCTION.
 - B. INSTALL PERIMETER SILT FENCE AS INDICATED ON THE SITE CONSTRUCTION PLAN.
 - C. INSTALL SILT FENCE AROUND ANY TOPSOIL OR EXCESS SOIL STOCKPILES. APPLY TEMPORARY SEEDING TO ALL TOPSOIL OR EXCESS SOIL STOCKPILES.
 - D. INSTALL STONE SUBBASE ON STREET AREAS FOLLOWING COMPLETION OF GRADING.
 - E. APPLY TEMPORARY SEEDING TO ALL DENuded AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR 14 DAYS OR MORE. FERTILIZE AND LIMB IF NEEDED. APPLY MULCH ON SLOPES GREATER THAN 4:1 (HORIZONTAL:VERTICAL).
 - F. DESTROY TEMPORARY SEEDING AND APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS NOT TO BE HARD SURFACED. FERTILIZE AND MULCH PER PERMANENT SEEDING AS REQUIRED. APPLY MULCH AT 1.5 TO 2.0 TONS PER ACRE ON SLOPES GREATER THAN 4:1.
 - G. WHEN CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH PERMANENT SEEDING, REMOVE TEMPORARY SEEDING AND MULCH AS SOON AS PRACTICABLE.
 - H. REMOVE SILT FENCE AND SEDIMENT BASINS AS SOON AS PRACTICABLE.

SITE PREPARATION NOTES

1. PROTECT ADJACENT PROPERTY DURING DEMOLITION.
2. DEMOLITION LIMIT LINE IS THE EXISTING PROPERTY LINE UNLESS NOTED OTHERWISE.
3. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
4. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL TO BE INCORPORATED INTO MATERIAL OR BROKEN CONCRETE WHICH IS NOT DEEMED TO BE CONTAMINATED WITH LEAD, ASBESTOS, OR OTHER HAZARDOUS MATERIALS. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
5. KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
6. DURING CONSTRUCTION, CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
7. REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
8. ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT THE CONTRACTORS OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER COST.
9. REMOVE ALL DESIGNATED STREETS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXISTING DRIVEWAYS WITH MATERIAL COMPACTED TO 90% STANDARD PROCTOR DRY DENSITY (ASTM D698).
10. WHERE A SECTION OF PAVEMENT, CURB AND GUTTER OR SIDEWALK IS CUT OR REMOVED AND REPLACED, PAVEMENT, CURBS, GUTTERS AND SIDEWALKS SHALL BE REPAIRED TO A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
11. SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING CONCRETE STRUCTURES ON THE SITE AS SHOWN ON THE PLANS. THE REMOVAL INCLUDES DRIVEWAYS, CURB AND GUTTER, SIDEWALK, AND BASEMENT FOUNDATION FOOTINGS, FLOOR AND WALLS. THE REMOVAL ALSO INCLUDES STORM SEWER INTAKES AND PIPE AS SHOWN ON THE PLANS.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT TREES AND SHRUBS NOTED ON THE PLANS TO REMAIN IN PROJECT AREA FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PROTECT TREES AND SHRUBS WITHIN THE DRIP LINE OF TREES.
14. REMOVAL AND DISPOSAL OF EXISTING TREES AND SHRUBS WITHIN CONSTRUCTION LIMITS SHALL BE IN ACCORDANCE WITH THE GRADING PORTION OF THE PROJECT. STUMPS ARE TO BE GROUNDED TO TWO FEET BELOW FINISHED GRADE.
15. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A TILE OR BRICK MANHOLE IS DISCOVERED IN THE PROPOSED METHOD OF RESOLUTION OF THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
2. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THESE PLANS SHALL BE BASED ON THE RECORD DRAWINGS AND RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT SHOWN ON THE DRAWING.
3. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR SHOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATIONS.
5. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO BE GIVEN TO ADJACENT PROPERTY OWNERS AT LEAST 48 HOURS BEFORE EXCAVATING, INCLUDING WEEKENDS AND HOLIDAYS.
6. NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48 - 72 HOURS PRIOR TO BEGINNING CONSTRUCTION OF ANY EXCAVATION OR CONSTRUCTION OF ANY STRUCTURE TO BE CONSTRUCTED IN THE PUBLIC PORTIONS OF THE PROJECT.
7. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER OR OWNER'S REPRESENTATIVE.
8. PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, CONTROL DEVICES (MUTED) LATEST EDITION).
9. ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COST TO THE OWNER TO REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
10. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORM SEWER NOTES

1. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
2. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3030.102 (DOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
3. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORROGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
4. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
5. STORM SEWER LINES SHALL BE A MINIMUM OF 6" FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
6. ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25' - 50' AND THEN EVERY 100' BETWEEN MANHOLES.
7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

LEGEND:

EXISTING	PROPOSED
CD	CD
CB	CB
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL
CM	CM
CN	CN
CO	CO
CP	CP
CQ	CQ
CR	CR
CS	CS
CT	CT
CU	CU
CV	CV
CW	CW
CX	CX
CY	CY
CZ	CZ
CA	CA
CB	CB
CC	CC
CD	CD
CE	CE
CF	CF
CG	CG
CH	CH
CI	CI
CJ	CJ
CK	CK
CL	CL</

DESIGN STANDARDS AND REFERENCE DRAWINGS

THE FOLLOWING GUIDES FIGURES ARE INCLUDED BY REFERENCE:

FIGURE	TITLE
3000.101	CONCRETE DRIVEWAYS AND SIDEWALKS
3000.102	RIGID GRAVITY PIPE TRENCH BEDDING
3000.103	CASTINGS FOR STORM SEWER MANHOLES
6000.602	CONCRETE DRIVEWAY, TYPE A
7000.101	PLANTING PIT
9000.101	TREE STAKING, GUYING, AND WRAPPING
9000.102	CONCRETE DRIVEWAY AND PLESTER JOCK
9000.103	SILT FENCE
9000.119	STABILIZED CONSTRUCTION ENTRANCE
9000.220	

PCC PAVEMENT NOTES

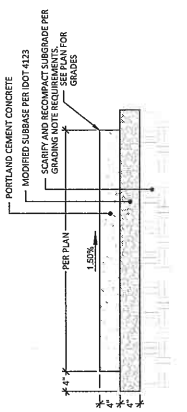
- PCC PAVING THICKNESS SHALL BE 6-INCH ON 6-INCH GRANULAR SUBBASE, UNLESS STATED OTHERWISE.
- MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 230.02, LATEST REVISION, SECTION 230D. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
- MINIMUM 28 DAY COMPRESSIVE STRENGTH FOR CONCRETES USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-7.2% ± 1.5% COARSE AGGREGATE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT Poured JOINT SEALER.
- CURING COMPOUND (WHITE MARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 230.13.
- FLASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 230.02E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.08B.
- CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE.
- PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE 4 INCHES THICK. PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT LESS THAN 12 FEET WIDE SHALL BE 6 INCHES THICK. PCC SIDEWALKS GREATER THAN 12 FEET WIDE SHALL BE 8 INCHES THICK. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE PLACED A MAXIMUM OF 5 FEET ON CENTER. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT GREATER THAN 12 FEET WIDE SHALL BE PLACED A MAXIMUM OF 10 FEET ON CENTER. EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, RXTUBES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM GROSS SLOPE OF 2% DRAINING TOWARDS BACK OF CURB, UNLESS OTHERWISE NOTED.
- ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT PORTIONS. UNLESS NOTED ON THE DRAWINGS, JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
- CONSTRUCT 1" EXPANSION JOINTS ON PCC CURB AT ALL ENDS OF RETURN RADI.

PAVEMENT GENERAL NOTES

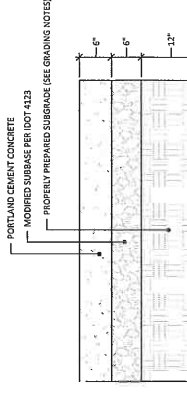
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
- REMOVE AND REPLACE OR RESTORE ALL STREET DECKS, PAVEMENT MARKINGS, STREETS, DRIVES AND ALL OTHER SURFACE STRUCTURES REMOVED OR OTHERWISE DAMAGED DURING THE COURSE OF THE WORK. SIDEWALKS SHALL BE REMOVED AND REPLACED TO NEAREST JOINT BEYOND CONSTRUCTION AREA.
- COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
- GRANULAR SUBBASE FOR PAVEMENT SHALL MEET THE LIMITS OF GRADATION NO. 14 PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4122.
- PROOF-ROLL SUBGRADE PER SECTION 2115. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.
- ALL CURB AND GUTTER 6" STANDARD CURB UNLESS STATED OTHERWISE.

WATER MAIN & SERVICES NOTES

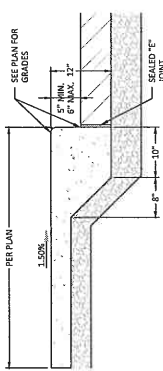
- ALL SERVICES SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA CITY UTILITY URBAN DESIGN SPECIFICATIONS (IOWA STANDARD SPECIFICATIONS, GENERAL SUPPLEMENTAL SPECIFICATIONS, AND SUPPLEMENTAL SPECIFICATIONS.
 - ALL FITTINGS SHALL BE RESTRAINED.
 - ALL PIPE JOINTS TO BE RESTRAINED AS ANNOTATED ON THE PLAN SET.
 - MAINTAIN ALL MINIMUM CLEARANCES BETWEEN UTILITIES.
 - CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE WITH THE CITY OF IOWA CITY.
 - CONTRACTOR RESPONSIBLE FOR COORDINATING ON SITE INSPECTION OF WATER MAIN INSTALLATION WITH THE MUNICIPAL UTILITY.
 - VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING WATER MAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES WITH EXISTING FACILITIES ENCOUNTERED AND PROPOSED FACILITIES CONSTRUCTED. THE LOCATION OF UNDERGROUND FACILITIES SHALL BE NOTED IF THEY DIFFER FROM THE SHOWN FACILITIES CONSTRUCTED OR ENCOUNTERED ABOVE GROUND SHALL BE NOTED IF THEY DIFFER FROM THE PLANS BY MORE THAN 1 FOOT HORIZONTALLY AND 0.25 FEET VERTICALLY.
 - PIPE LENGTHS FOR ALL UTILITIES ARE GIVEN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS FOR WATER MAIN ARE MEASURED BETWEEN ELBOWS, CROSSERS, OR TEES (INCLUDING FH TEES).
 - CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY OF IOWA CITY FOR ANY VARIANCE FROM THE APPROVED PLAN.
 - EXISTING SITES LOCATED IN A KNOWN LUST AREA, CONTRACTOR TO USE NITRILE GLOVES IN KNOWN AREAS.



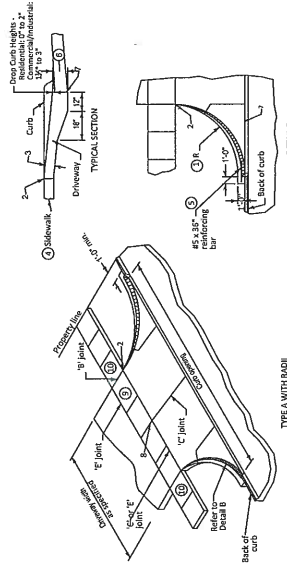
1 TYPICAL SIDEWALK
NOT TO SCALE



2 STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



3 SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



4 CONCRETE DRIVEWAY, TYPE A 7030.101
NOT TO SCALE

REV	DESCRIPTION OR CHANGES	DATE
1	DESIGN FOR CONSTRUCTION	05-04-2023

PROJECT NAME: WEST BRANCH, IA 52358
CLIENT NAME: BOELK

SHEET NUMBER: C0.02
GENERAL NOTES AND CONSTRUCTION DETAILS

NOT FOR CONSTRUCTION



REV	DESCRIPTION OF CHANGES	DATE
1 <td>FIRST SUBMITTAL <td>09-04-2023 </td></td>	FIRST SUBMITTAL <td>09-04-2023 </td>	09-04-2023

PROJECT NAME: WEST BRANCH, IA 52358
 CLIENT NAME: PROGRESSIVE REHAB

PROJECT NO.: 210119
 DESIGN PROFESSIONAL: BOELK

C2.00
 SHEET NUMBER

NOT FOR CONSTRUCTION
 SITE & UTILITY PLAN

SITE & UTILITY KEYNOTES:

- Ⓐ EXISTING FIRE HYDRANT
- Ⓑ PROPOSED SANITARY SEWER SERVICE ± 63 LF. COORDINATE WITH MEP PLANS FOR FINAL SIZE OF SERVICE. CONNECT TO EXISTING SANITARY SEWER STUB.
- Ⓒ PROVIDE ± 67 LF OF 2" PROPOSED WATER SERVICE TO BUILDING. CONTRACTOR TO PROVIDE CURB STOP WITHIN EXISTING UTILITY EASEMENT ALONG RIGHT OF WAY.
- Ⓓ PROPOSED SUDAS CONCRETE DRIVEWAY, TYPE A. SUDAS 7030.101
- Ⓔ PROPOSED SUDAS CLASS B SIDEWALK. SUDAS 7080.201 WITH INTEGRAL CURB. SEE DETAIL C0.02
- Ⓕ PROPOSED STANDARD DUTY PAVEMENT. SEE DETAIL C0.02
- Ⓖ BEGIN STANDARD CURB.
- Ⓗ PROPOSED LIGHTING FIXTURE. SEE LIGHTING SITE PLAN E.L.00.
- Ⓘ PROPOSED BIKE RACK.

NOTES:

PROGRESSIVE REHAB TO UTILIZE ROLL-OUT BINS AND CONTRACT DIRECTLY WITH JOHNSON COUNTY REFUSE FOR TRASH AND RECYCLING SERVICES.

STORM SEWER STRUCTURES

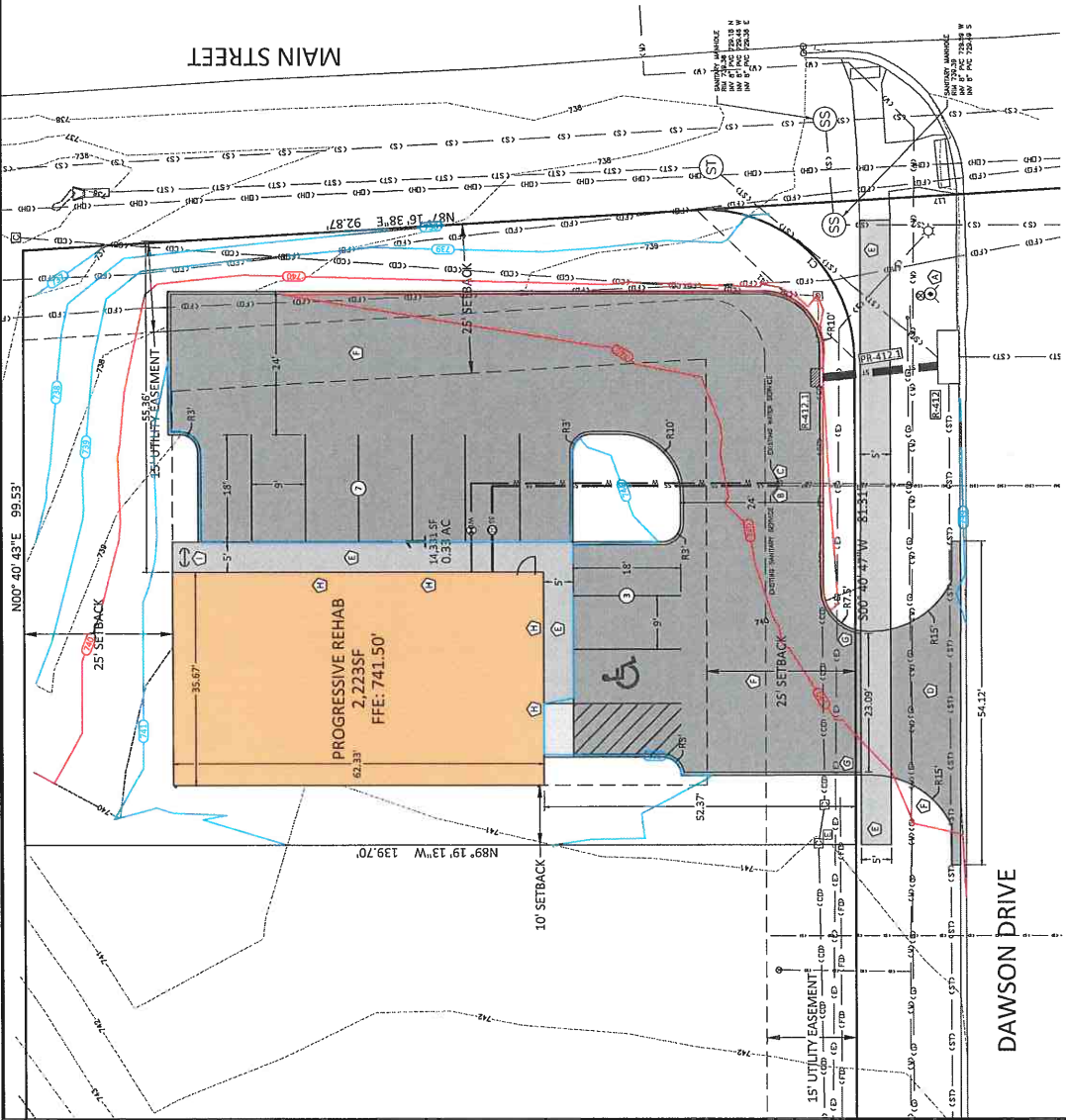
STRUCTURE ID	TYPE	RIM / FG	INFLOW PIPE IE	OUTFLOW PIPE IE
412	SW-609	739.10	12" IE-0.50 E	
412.1	SW-611	739.51		12" IE-0.50 W

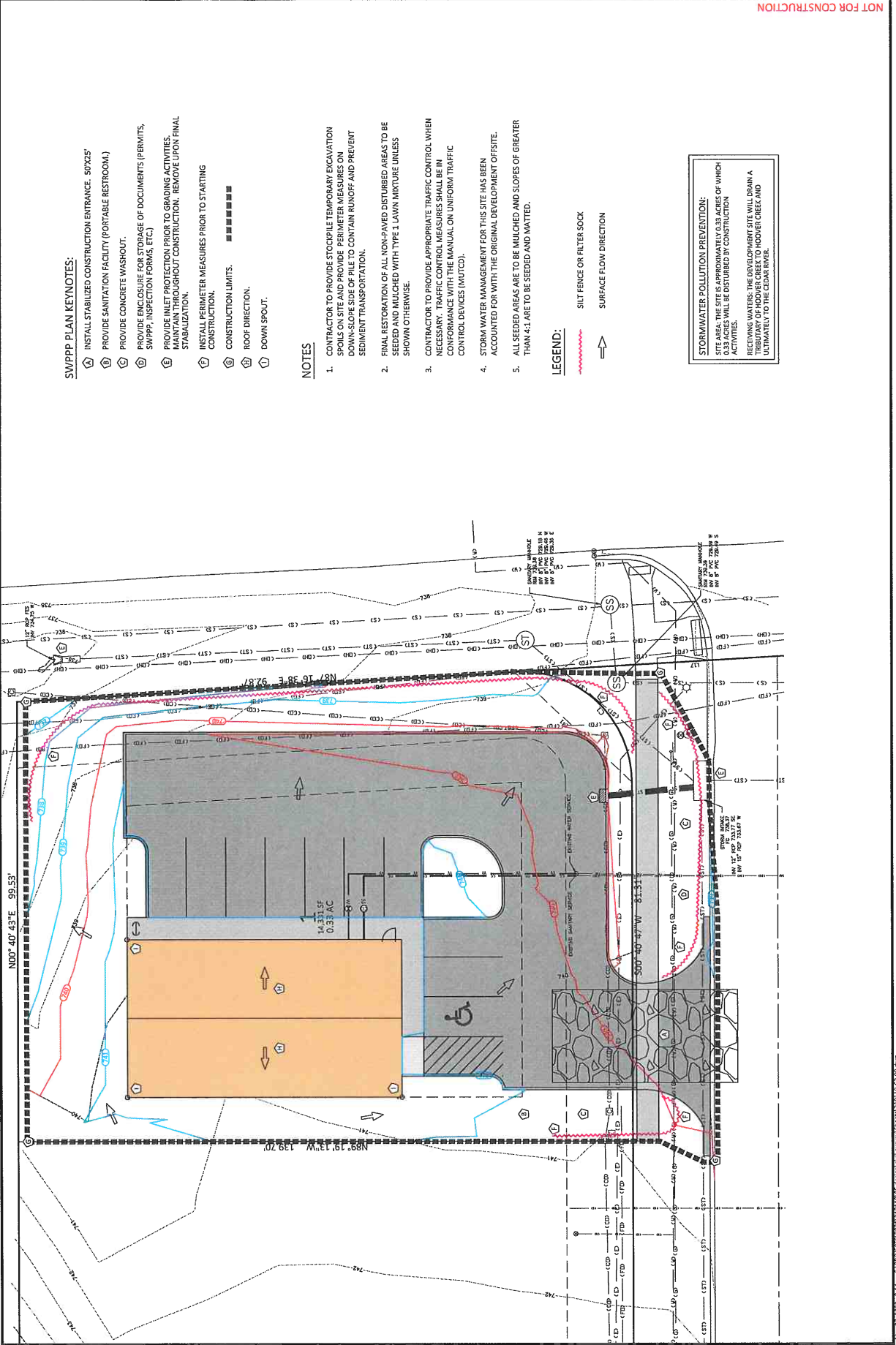
STORM SEWER PIPE TABLE

PIPE ID	STRUCTURE	STRUCTURE INVERT	INVERT	LENGTH (FEET)	SLOPE (IN)	SIZE (IN)	NOTES
412.1	US	412.1	-0.50	23	0.00%	12	RCP

LEGEND

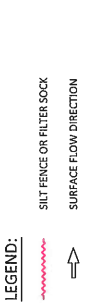
- SIDEWALK PCC PAVEMENT
- STANDARD DUTY PCC PAVEMENT
- SIDEWALK RAMP



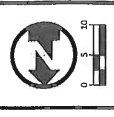


- SWPPP PLAN KEYNOTES:**
- (A) INSTALL STABILIZED CONSTRUCTION ENTRANCE. 50'X25'
 - (B) PROVIDE SANITATION FACILITY (PORTABLE RESTROOM).
 - (C) PROVIDE CONCRETE WASHOUT.
 - (D) PROVIDE ENCLOSURE FOR STORAGE OF DOCUMENTS (PERMITS, SWPPP, INSPECTION FORMS, ETC).
 - (E) PROVIDE INLET PROTECTION PRIOR TO GRADING ACTIVITIES. MAINTAIN THROUGHOUT CONSTRUCTION. REMOVE UPON FINAL STABILIZATION.
 - (F) INSTALL PERIMETER MEASURES PRIOR TO STARTING CONSTRUCTION.
 - (G) CONSTRUCTION LIMITS.
 - (H) ROOF DIRECTION.
 - (I) DOWN SPOUT.

- NOTES**
1. CONTRACTOR TO PROVIDE STOCKPILE TEMPORARY EXCAVATION SPOILS ON SITE AND PROVIDE PERIMETER MEASURES ON DOWN-SLOPE SIDE OF PILE TO CONTAIN RUNOFF AND PREVENT SEDIMENT TRANSPORTATION.
 2. FINAL RESTORATION OF ALL NON-PAVED DISTURBED AREAS TO BE SEEDING AND MULCHED WITH TYPE 1 LAWN MIXTURE UNLESS SHOWN OTHERWISE.
 3. CONTRACTOR TO PROVIDE APPROPRIATE TRAFFIC CONTROL WHEN NECESSARY. TRAFFIC CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 4. STORM WATER MANAGEMENT FOR THE SITE HAS BEEN ACCOUNTED FOR WITH THE ORIGINAL DEVELOPMENT OFFSITE.
 5. ALL SEEDED AREAS ARE TO BE MULCHED AND SLOPES OF GREATER THAN 4:1 ARE TO BE SEEDED AND MATTED.



STORMWATER POLLUTION PREVENTION:
 THESE AREAS, THE EROSION CONTROL MEASURES, AND AREAS OF WHICH 25% ARE TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.
 RECEIVING WATERS: THE DEVELOPMENT SITE WILL DRAIN A TRIBUTARY OF HOOVER CREEK TO HOOVER CREEK AND ULTIMATELY TO THE CEDAR RIVER.

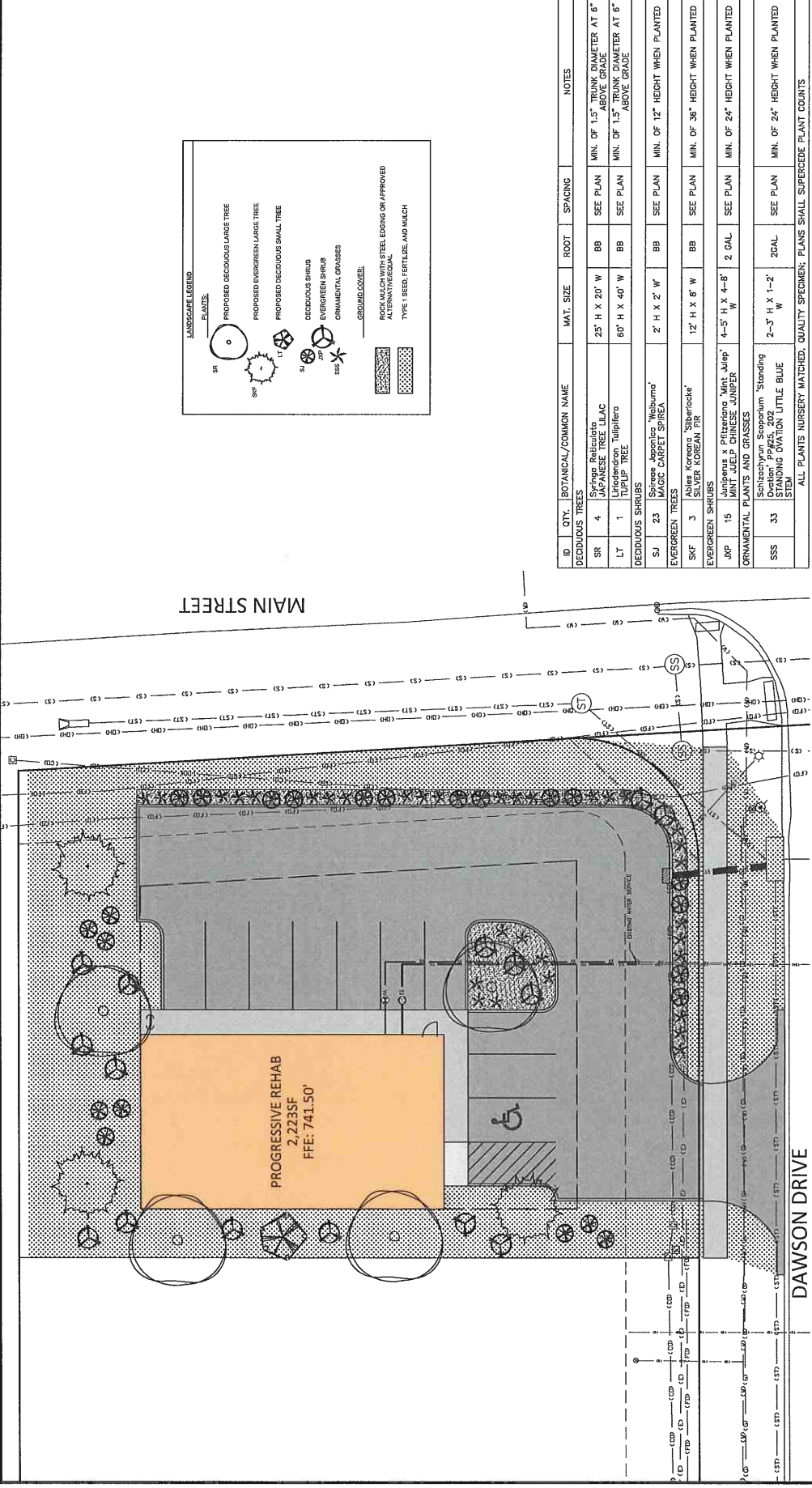


REV	1	DESCRIPTION OF CHANGES	DATE
		FIRST SUBMITTAL	05-24-2023

PROJECT NAME: WEST BRANCH, IA 52358
 PROJECT NUMBER: WEST BRANCH, IA 52358
 DRAWING LOG

PROJECT NO.: 210119
 DESIGN PROFESSIONAL: BOELK
 LANDSCAPE PLAN
 SHEET NUMBER: L1.00

NOT FOR CONSTRUCTION



LANDSCAPE LEGEND

PLANTS:

- PROPOSED DECIDUOUS LARGE TREE (Symbol: SR)
- PROPOSED EVERGREEN LARGE TREE (Symbol: BF)
- PROPOSED DECIDUOUS SMALL TREE (Symbol: LT)
- DECIDUOUS SHRUB (Symbol: SZ)
- EVERGREEN SHRUB (Symbol: JY)
- ORNAMENTAL GRASSES (Symbol: SSS)

GROUND COVER:

- PAVING WITH STEEL EDGING OR APPROVED ALTERNATIVE (Symbol: [Pattern])
- TYPE 1 BEDD, FERTILIZE, AND MULCH (Symbol: [Pattern])

ID	QTY.	BOTANICAL/COMMON NAME	MAT. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
SR	4	Syringa Reticulata JAPANESE TREE LILAC	25" H X 20" W	BB	SEE PLAN	MIN. OF 1.5" TRUNK DIAMETER AT 6" ABOVE GRADE
LT	1	Liriodendron Tulipifera LINDEN TREE	60" H X 40" W	BB	SEE PLAN	MIN. OF 1.5" TRUNK DIAMETER AT 6" ABOVE GRADE
DECIDUOUS SHRUBS						
SJ	23	Shrub "Mantel" "Nobisum" MAGIC CARPET SPRUCE	2' H X 2' W	BB	SEE PLAN	MIN. OF 12" HEIGHT WHEN PLANTED
EVERGREEN TREES						
SXF	3	Abies Koreana "Siberrook" SILVER KOREAN FIR	12' H X 6' W	BB	SEE PLAN	MIN. OF 36" HEIGHT WHEN PLANTED
JRP	15	Juniperus x Pfitzeriana "Mint Jump" MINT JUEP CHINESE JUNIPER	4-5' H X 4-8' W	2 GAL	SEE PLAN	MIN. OF 24" HEIGHT WHEN PLANTED
ORNAMENTAL PLANTS AND GRASSES						
SSS	33	Schizachyrium Scoparium "Standing Ovation" STANDING OVATION LITTLE BLUE STEM	2-3' H X 1'-2' W	2GAL	SEE PLAN	MIN. OF 24" HEIGHT WHEN PLANTED
ALL PLANTS NURSERY MATCHED. QUALITY SPECIMEN; PLANS SHALL SUPERCEDE PLANT COUNTS						