



---

110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358  
(319) 643-5888 • Fax (319) 643-2305 • [www.westbranchiowa.org](http://www.westbranchiowa.org) • [city@westbranchiowa.org](mailto:city@westbranchiowa.org)

**PLANNING AND ZONING COMMISSION MEETING**

**Tuesday, May 24, 2022 • 7:00 p.m.**

**West Branch City Council Chambers, 110 N. Poplar St.**

*Council Quorum May Be Present*

**<https://zoom.us/j/829677991> or**  
***dial in phone number 1-312-626-6799 with Meeting ID 829 677 991***

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
4. Public Hearing/Non-Consent Agenda. /Move to action.
  - a. Review and consider approval of the Site Plan for Lot 1 of Parkside Hills-Second Addition. / Move to action.
  - b. Review and consider approval for the revised Site Plan for Dawson Plaza/Progressive Rehab. / Move to action.
5. Old Business
  - a. Draft design standard guidelines
  - b. Sign requirements for the Planned Unit Development zoning district.
6. City Staff Reports
7. Comments from Chair and Commission Members.
8. Next regular Planning & Zoning Commission meeting Tuesday, July 26, 2022 (no June meeting)
9. Adjourn

---

**Planning & Zoning Commission Members:** Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Emilie Walsh, Brad Bower, Matt Van Scoyoc, Jim Hoffman • **Zoning Administrator:** Terry Goerd  
**Mayor:** Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Jerry Sexton, Tom Dean  
**City Administrator:** Adam Kofoed **City Clerk:** Leslie Brick • **Fire Chief:** Kevin Stoolman • **Police Chief:** John Hanna  
• **Public Works Director:** Matt Goodale



City of West Branch  
110 N. Poplar Street  
West Branch, IA 52358

## SITE PLAN REVIEW CHECKLIST

Project Name	<u>Lot 1 Parkside Hills Second Addition</u>
Engineer	<u>MMS Consultants</u>
Reviewer	<u>Dave Schechinger</u>
Reviewed Date	<u>5/2/2022</u>

1. SITE PLAN ☒

- A. Site plans shall only be required whenever any person proposes to place any structure for which a building permit is required under any other section of this Code, on any tract or parcel of and within any district of the West Branch Zoning Ordinance, and for any use, except one and two family dwellings.

2. DESIGN STANDARDS ☒

- A. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines nor increase the danger of erosion, flooding, landslide, or other endangerment of adjoining or surrounding property
- B. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illumination of required perimeter yards, refuse containers, and impairment of light and air.
- C. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets
- D. The proposed development shall conform to all applicable provisions of the Code of Iowa, as amended, Iowa Statewide Urban Design and Specifications (SUDAS), Iowa Stormwater Management Manual and all applicable provisions of the Code of Ordinances of the City of West Branch, as amended

Veenstra & Kimm, Inc.  
860 22<sup>nd</sup> Avenue, Suite 4  
Coralville, Iowa 52241  
319-466-1000



City of West Branch  
110 N. Poplar Street  
West Branch, IA 52358

SITE PLAN:

1. Prepared by a licensed Engineer or Land Surveyor ☒ YES ☐ NO
2. Date of preparation, North point and scale no smaller than 1"=100'.  
Comments: ☒ YES ☐ NO
3. Legal description and address of the property to be developed.  
Comments: ☒ YES ☐ NO
4. Name and address of the record property owner, the applicant, and the person or firm preparing the site plan  
Comments: ☒ YES ☐ NO
5. The existing topography with a maximum of two (2) foot contour intervals. Where existing ground is on a slope of less than two percent (2%), either one (1) foot contours or spot elevations where necessary but not more than fifty (50) feet apart in both directions, shall be indicated on site plan.  
Comments: ☒ YES ☐ NO
6. Existing and proposed utility lines and easements in accordance with Iowa Statewide Urban Design and Specifications (SUDAS) and City of West Branch Subdivision Regulations.  
Comments: ☒ YES ☐ NO
7. Structure Information:
  - a. Total number and type of dwelling units proposed ☒ YES ☐ NO
  - b. Proposed uses for all buildings ☒ YES ☐ NO
  - c. Total floor area of each building ☒ YES ☐ NO
  - d. Estimated number of employees for each proposed use where applicable ☐ YES ☐ NO
  - e. Any other information, including peak demand, which may be necessary to determine the number of off-street parking spaces and loading spaces. ☐ YES ☐ NO
8. Location, shape, and all exterior elevation views of all proposed buildings, for the purpose of understanding the structures and building materials to be used, the location of windows, doors, overhangs, projection height, etc. and the grade relationship to floor elevation, and the number of stories of each existing building to be retained and of each proposed building. ☒ YES ☐ NO
9. Property lines and all required yard setbacks. ☒ YES ☐ NO
10. Location, grade and dimensions of all existing and proposed paved surfaces and all abutting streets. ☒ YES ☐ NO

Variance Request for Parking

Veenstra & Kimm, Inc.  
860 22<sup>nd</sup> Avenue, Suite 4  
Coralville, Iowa 52241  
319-466-1000

11. Complete traffic circulation and parking plan, showing the location and dimensions of all existing and proposed parking stalls, loading areas, entrance and exit drives, sidewalks, dividers, planters, and other similar permanent improvements. ☒ YES ☐ NO
12. Location and type of existing or proposed signs and of any existing or proposed lighting on the property which illuminates any part of any required yard. ☒ YES ☐ NO
13. Location of existing trees six (6) inches or larger in diameter, landslide areas, springs and streams and other bodies of water, and any area subject to flooding by a one hundred (100) year storm on site and downstream off site. ☐ YES ☐ NO
14. Location, amount and type of any proposed landscaping. Location of proposed plantings, fences, walls, or other screening as required by the zoning regulations and the design standards set forth in Section 173.03. ☒ YES ☐ NO
15. A vicinity map at a scale of 1" = 500' or larger, showing the general location of the property, and the adjoining land uses and zoning. ☒ YES ☐ NO
16. Soil tests and similar information, if deemed necessary by the City Engineer, to determine the feasibility of the proposed development in relation to the design standards set forth in Section 173.03. N/A ☐ YES ☐ NO
17. Where possible ownership or boundary problems exist, as determined by the Zoning Administrator, a property survey by a licensed land surveyor may be required. N/A ☐ YES ☐ NO
18. Stormwater Pollution Prevention Plan. ☒ YES ☐ NO
19. Stormwater Management Plan. ☒ YES ☐ NO
20. Pre-Application Conference. ☒ YES ☐ NO
21. Provide 25% of open space
  - a. Said open space shall be unencumbered with any structure, or off-street parking or roadways and drives, and shall be landscaped and maintained with grass, trees and shrubbery. ☒ YES ☐ NO
  - b. Each principal structure of an apartment or office complex on same site shall be separated from any other principal structure in the complex by an open space of not less than sixteen (16) feet. ☒ YES ☐ NO
22. Landscaping Requirements
  - a. Minimum requirements at the time of planting - Two (2) trees minimum or one (1) tree of the following size per 1,500 square feet of open space, whichever is greater: 40 Percent 1½" - 2" caliper diameter. Balance 1" - 1½" caliper diameter. (Evergreen trees shall not be less than three (3) feet in height.) ☐ YES ☒ NO
  - b. Minimum requirements at the time of planting - 6 shrubs, or 1 shrub per 1,000 square feet of open space, whichever is greater. ☒ YES ☐ NO

23. Buffer Required

- a. Any other zoning district, other than an Agricultural A-1 District, that abuts any residential district shall require a buffer as described in this section. The buffer shall be provided by the non-residential use when adjoining a residential district. ☐ YES ☐ NO
- b. All Industrial Districts that abut any other district shall provide a buffer as required by this section. N/A  
☐ YES ☐ NO
- c. Any storage area, garbage storage, junk storage or loading docks, and loading areas, in any District shall be screened from public street view by a buffer ☒ YES ☐ NO

24. Buffers

- a. Buffer Wall: A buffer wall shall not be less than six (6) feet in height; constructed of a permanent low maintenance material such as concrete block, cinder block, brick, concrete, precast concrete or tile block; the permanent low-maintenance wall shall be designed by an architect or engineer for both structural adequacy and aesthetic quality. ☐ YES ☐ NO
- b. Landscape Buffer: A landscape buffer shall not be less than twenty-five (25) feet in width, designed and landscaped with earth berm and predominant plantings of evergreen type trees, shrubs and plants so as to assure year around effectiveness. ☐ YES ☐ NO

25. Surfacing Requirements.

- a. All off-street parking and loading areas and access roadways shall have a durable and dustless surface paved with asphaltic or Portland cement concrete pavement or pervious pavement. Off-street parking of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other mobile vehicles shall be on an asphaltic or Portland cement concrete paved off-street parking area and not parked or stored within the landscaped open space area of the front yard. All off-street parking areas and associated driveways, access roadways and frontage roads, except driveways for single family residences, shall be constructed with permanent, integrally attached 6" high curbing or curbing of alternate height. ☒ YES ☐ NO
- b. Portland Cement Concrete shall have a minimum thickness of five (5) inches. ☒ YES ☐ NO
- c. Asphaltic Cement Concrete shall have a minimum thickness of six (6) inches. ☐ YES ☐ NO N/A
- d. Material utilized in the subgrade shall be well drained and not susceptible to frost boils. Driveways for attached townhouse style residences shall be Portland cement concrete or asphaltic concrete with minimum thickness of five (5) inches and six (6) inches, with well-drained subgrade base and not greater than eighteen (18) feet in width. ☐ YES ☐ NO

26. Landscaping, Screening and Open Space Requirements.

- a. All parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their use. ☒ YES ☐ NO
- b. Parking areas shall be effectively screened from general public view and contain shade trees within parking islands where multiple aisles of parking exist. Not less than five (5) percent of the interior parking area shall be landscaped within parking islands. ☒ YES ☐ NO

27. Off-Street Parking Access to Public Streets and Internal Traffic Circulation.

- a. forward movement of the vehicle. ☒ YES ☐ NO
- b. Driveway approach returns shall not extend beyond the side lot line as extended. ☒ YES ☐ NO
- c. The number of ingress/egress access points to public streets from offstreet parking areas located to limit vehicular conflicts, preserve proper traffic safety. ☒ YES ☐ NO

28. Handicap Accessible Parking Requirements - comply with the parking space minimum requirements.

☒ YES ☐ NO

29. Traffic Analysis Requirements. Any project which contains 100 dwelling units or 1,000 average day trips.

☐ YES ☐ NO ??

30. Architectural Standards - architectural plans for buildings shall be submitted for review and approval.

☒ YES ☐ NO



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision
05/09/22	PER CITY COMMENTS - MKF

SITE LAYOUT  
AND DIMENSION  
PLAN

LOT 1 PARKSIDE HILLS  
SECOND ADDITION

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.  
Date: 05/02/2022  
Designed by: RLA  
Drawn by: MKF  
Checked by: RLA  
Project No: 6992-381  
Field Book No:  
Scale: 1"=30'  
Sheet No: C120

STANDARD LEGEND AND NOTES

---	PROPERTY &/OR BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	PROPOSED
---	EXIST- POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

KEYNOTES	NUMBER	KEYNOTE	DETAIL
1	1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	2	INSTALL STANDARD 6" CURB AND GUTTER	
3	3	INSTALL THICKENED EDGE SIDEWALK	
4	4	INSTALL 4" PCC SIDEWALK	
5	5	CONNECT TO EXISTING PCC PAVING W/ "BT-5" JOINT	
6	6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET C500	
8	8	CROSSWALK STRIPING	
9	9	END PCC PAVING WITH BT-5 JOINT	
10	10	INSTALL TAPERED CURB	
11	11	NO CURB	
12	12	INSTALL DUMPSTER ENCLOSURE; COORDINATE WITH ARCHITECTURAL PLANS	
13	13	GRIND EXISTING CURB; INSTALL TYPE "A" CONCRETE DRIVEWAY PER SUDAS DETAIL 7030.101	
14	14	END CURB	
15	15	INSTALL RAMPS PER ADA STANDARDS	
16	16	BIKE RACK	

SITE PLAN

LOT 1 PARKSIDE HILLS SECOND ADDITION  
WEST BRANCH, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:  
ADVANTAGE DEVELOPMENT INC.  
760 LIBERTY WAY  
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:  
MATTHEW J. ADAM  
1150 5TH STREET, SUITE 170  
CORALVILLE, IA 52241

SHEET INDEX  
C120 SITE LAYOUT AND DIMENSION PLAN  
C140 SITE GRADING AND EROSION CONTROL  
PLAN AND SWPPP  
C141 GRADING PLAN  
C160 UTILITY PLAN  
L100 LANDSCAPE PLAN  
C500 GENERAL NOTES & DETAILS

LEGAL:

LOT 1 PARKSIDE HILLS SECOND ADDITION IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 1.93 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

SITE DEVELOPMENT SUMMARY:

CLASS: B-2  
SQUARE FOOTAGE: 12,643 SF COMMERCIAL  
PROPOSED USE: COMMERCIAL

DEVELOPMENT CHARACTERISTICS:

APPLICANT PLANS TO BEGIN CONSTRUCTION ON SPRING 2023, WITH AN ESTIMATED COMPLETION DATE IN SUMMER 2023.

DEVELOPMENT SCHEDULE

APPLICANT PLANS TO BEGIN CONSTRUCTION ON SPRING 2023, WITH AN ESTIMATED COMPLETION DATE IN SUMMER 2023.

SITE COVERAGES:

TOTAL LOT AREA	84,273 S.F. (100%)
PROPOSED BUILDING AREA	12,643 S.F. (15.0%)
PROPOSED PAVING AREA	40,689 S.F. (48.3%)
TOTAL IMPERVIOUS AREA	43,344 S.F. (51.4%)
TOTAL OPEN AREA	40,929 S.F. (48.6%)

LOT REQUIREMENTS:

FRONT YARD SETBACK	15 FEET
SIDE YARD SETBACK	15 FEET
REAR YARD SETBACK	20 FEET

PARKING REQUIREMENTS:

RESTAURANT: 1 SPACE PER 100 SF  
9000 SF/100 = 90 SPACES  
OFFICE: 3 SPACES PLUS ONE SPACE FOR EACH  
400 SF OVER 1000 SF  
 $3 + (3,600 - 1,000) / 400 = 10$   
TOTAL REQUIRED PARKING = 100  
TOTAL PARKING PROVIDED = 89

A VARIANCE IS BEING REQUESTED TO ALLOW FOR A REDUCED NUMBER OF PARKING SPACES. THERE IS SPACE RESERVED TO ADD ADDITIONAL PARKING IN THE FUTURE SHOULD IT BE NEEDED.

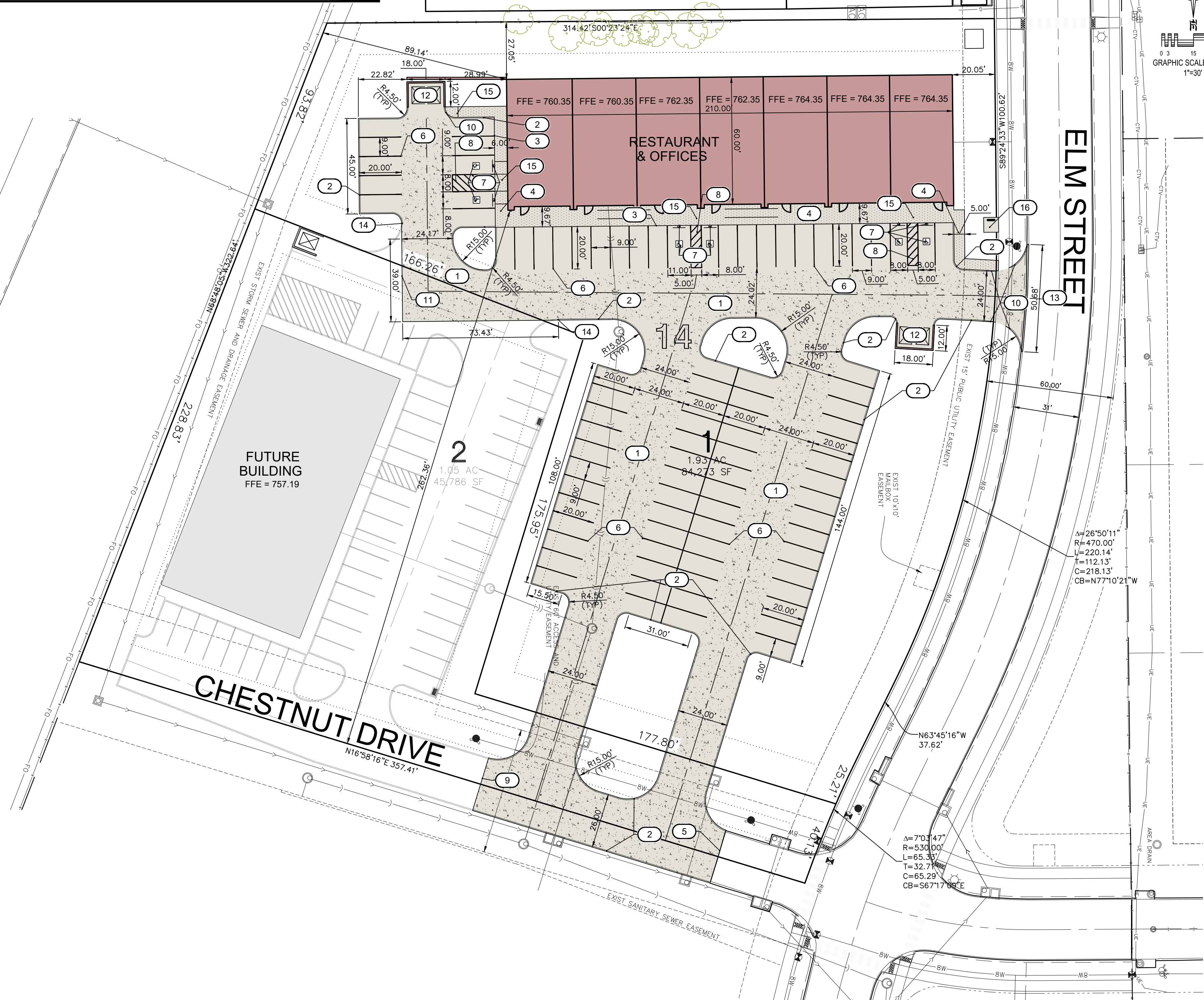
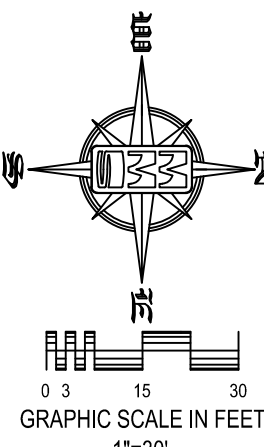
PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC OVER 6" GRANULAR SUBBASE	2,546 SY
	6" PCC OVER 6" GRANULAR SUBBASE	2,005 SY
	4" PCC	295 SY

\*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAVED PAVEMENT JOINTS SHALL BE SEALED.

LOCATION MAP  
NOT TO SCALE



UTILITIES  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

RONALD L. AMELON, P.E. Iowa Lic. No. 14201  
My license renewal date is December 31, 20 \_\_\_\_.

Pages or sheets covered by this seal: \_\_\_\_\_

SEAL



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision
05/09/22	PER CITY COMMENTS - MKF

EROSION CONTROL  
PLAN

LOT 1 PARKSIDE HILLS  
SECOND ADDITION

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date:	05/02/2022
Designed by:	RLA
Drawn by:	MLK
Checked by:	RLA
Project No:	6992-381

C140

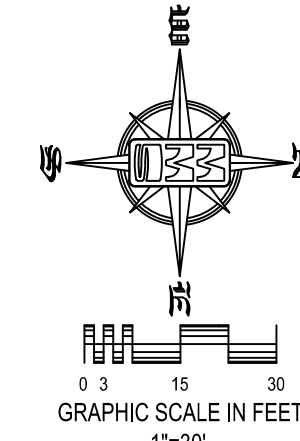
STANDARD LEGEND AND NOTES

PROPERTY &/or BOUNDARY LINES	CONGRESSIONAL SECTION LINES
RIGHT-OF-WAY LINES	EXISTING RIGHT-OF-WAY LINES
CENTER LINES	EXISTING CENTER LINES
LOT LINES, INTERNAL	LOT LINES, PLATTED OR BY DEED
PROPOSED EASEMENT LINES	EXISTING EASEMENT LINES
BENCHMARK	RECORDED DIMENSIONS
CURVE SEGMENT NUMBER	
EXIST - POWER POLE	PROP - POWER POLE W/DROP
EXIST - POWER POLE W/TRANS	PROP - POWER POLE W/TRANS
EXIST - POWER POLE W/LIGHT	PROP - POWER POLE W/LIGHT
EXIST - GUY POLE	PROP - GUY POLE
EXIST - LIGHT POLE	PROP - LIGHT POLE
EXIST - SANITARY MANHOLE	PROP - SANITARY MANHOLE
EXIST - FIRE HYDRANT	PROP - FIRE HYDRANT
EXIST - WATER VALVE	PROP - WATER VALVE
EXIST - DRAINAGE MANHOLE	PROP - DRAINAGE MANHOLE
EXIST - CURB INLET	PROP - CURB INLET
EXIST - FENCE LINE	PROP - FENCE LINE
EXIST - EXISTING SANITARY SEWER	PROP - PROPOSED SANITARY SEWER
EXIST - EXISTING STORM SEWER	PROP - PROPOSED STORM SEWER
EXIST - WATER LINES	PROP - PROPOSED WATER LINES
EXIST - ELECTRICAL LINES	PROP - PROPOSED ELECTRICAL LINES
EXIST - GAS LINES	PROP - PROPOSED GAS LINES
EXIST - CONTOUR LINES (1' INTERVAL)	PROP - PROPOSED GROUND
EXIST - EXISTING TREE LINE	PROP - EXISTING TREE LINE
EXIST - EXISTING DECIDUOUS TREE & SHRUB	PROP - EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- NOTES:
- ALL ELEVATIONS ARE TOP OF SLAB UNLESS NOTED OTHERWISE.
  - TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
  - FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

- SHEET INDEX
- C120 SITE LAYOUT AND DIMENSION PLAN
  - C140 SITE GRADING AND EROSION CONTROL PLAN AND SWPPP
  - C141 GRADING PLAN
  - C160 UTILITY PLAN
  - L100 LANDSCAPE PLAN
  - C500 GENERAL NOTES & DETAILS



EROSION CONTROL LEGEND

FINAL FILTER SOCK	PERIMETER SILT FENCE
SILT FENCE	EROSION CONTROL MATTING
TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT	TEMPORARY SOIL STOCKPILE AREA
TEMPORARY PARKING AND STORAGE	DIRECTION OF OVERLAND FLOW
CONCRETE TRUCK/EQUIPMENT WASHOUT	DUMPSTER FOR CONSTRUCTION WASTE
PORTABLE RESTROOM	RIP RAP OUTLET PROTECTION
DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)	OTHER MEASURE: _____
EROSION CONTROL INLET PROTECTION	OTHER MEASURE: _____
EROSION CONTROL BEHIND CURB AT CURB RAMP	OTHER MEASURE: _____

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

GRADING NOTES

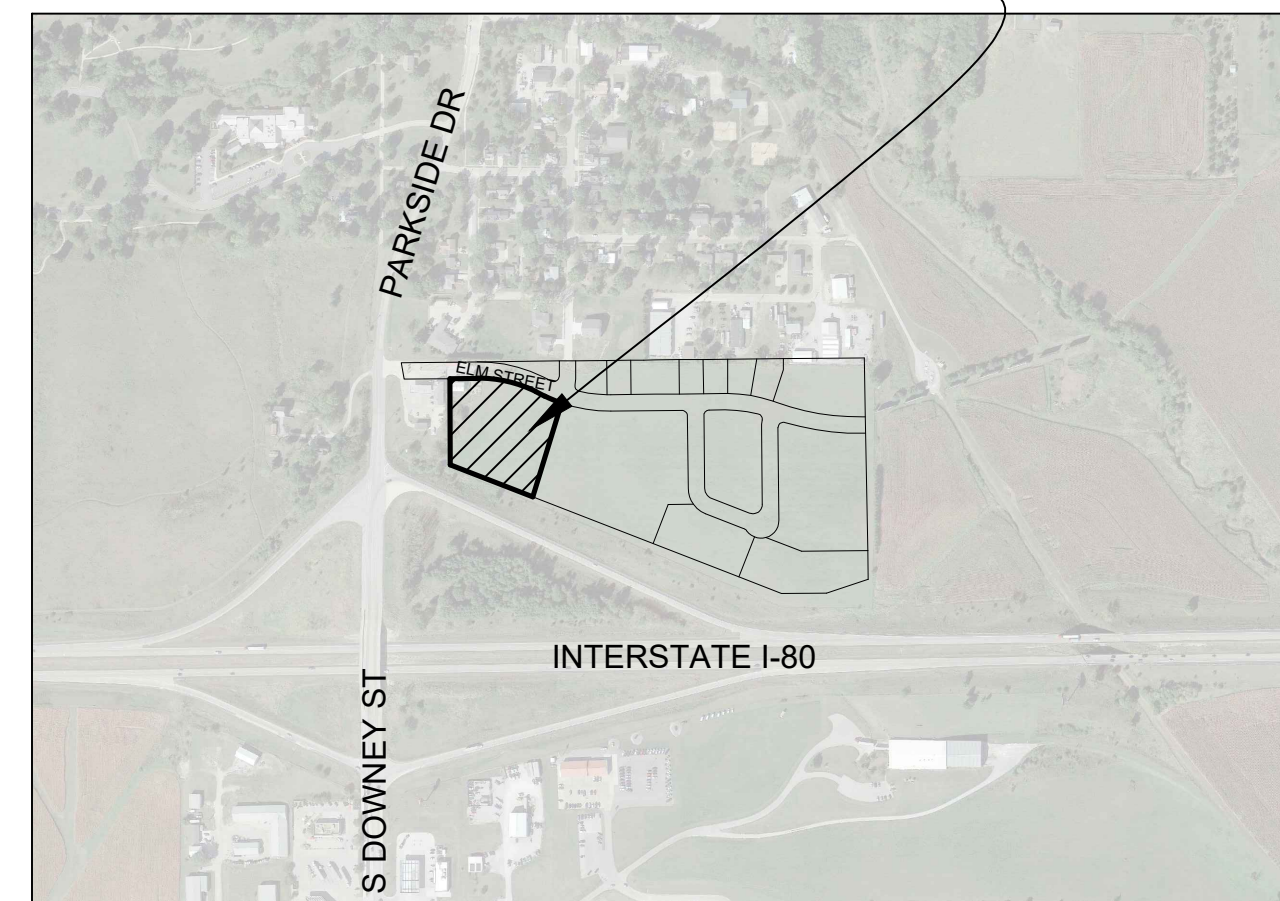
- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5. HORIZONTAL TO 1: VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 95% STANDARD PROCTOR DENSITY UNDER ALL BUILDINGS AND PAVING.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.



UTILITIES  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE DETERMINED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

LOT 1 PARKSIDE HILLS SECOND ADDITION  
WEST BRANCH, IOWA



LOCATION MAP  
NOT TO SCALE



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date	Revision
05/09/22	PER CITY COMMENTS - MKF

## GRADING PLAN

## LOT 1 PARKSIDE HILLS SECOND ADDITION

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 05/02/2022

Designed by: RLA Field Book No:

Drawn by: MKF Scale: 1"=30'

Checked by: RLA Sheet No:

Project No: C141

6992-381

# SITE PLAN LOT 1 PARKSIDE HILLS SECOND ADDITION WEST BRANCH, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:  
ADVANTAGE DEVELOPMENT INC.  
760 LIBERTY WAY  
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:  
MATTHEW J. ADAM  
1150 5TH STREET, SUITE 170  
CORALVILLE, IA 52241

## GRADING LEGEND

- 000.00EX - EXISTING SURFACE
- 000.00TS - TOP SLAB
- 000.00TW - TOP WALK
- 000.00TC - TOP CURB
- 000.00TR - TOP RIM
- 000.00TP - TOP OF WALL
- 000.00BT - BOTTOM OF WALL
- 000.00FG - FINISHED GRADE

## STANDARD LEGEND AND NOTES

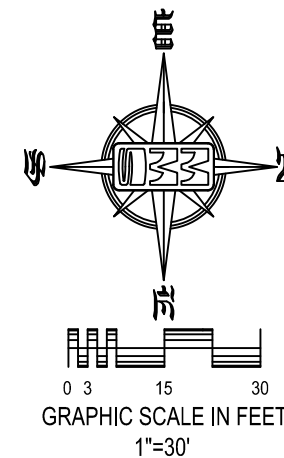
- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- 22-1
- EXIST- (R)
- PROP- (R)
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- NOTES:
- ALL ELEVATIONS ARE TOP OF SLAB UNLESS NOTED OTHERWISE.
  - TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
  - FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

## SHEET INDEX

- C120 SITE LAYOUT AND DIMENSION PLAN
- C140 SITE GRADING AND EROSION CONTROL PLAN AND SWPPP
- C141 GRADING PLAN
- C160 UTILITY PLAN
- L100 LANDSCAPE PLAN
- C500 GENERAL NOTES & DETAILS



## GRADING NOTES

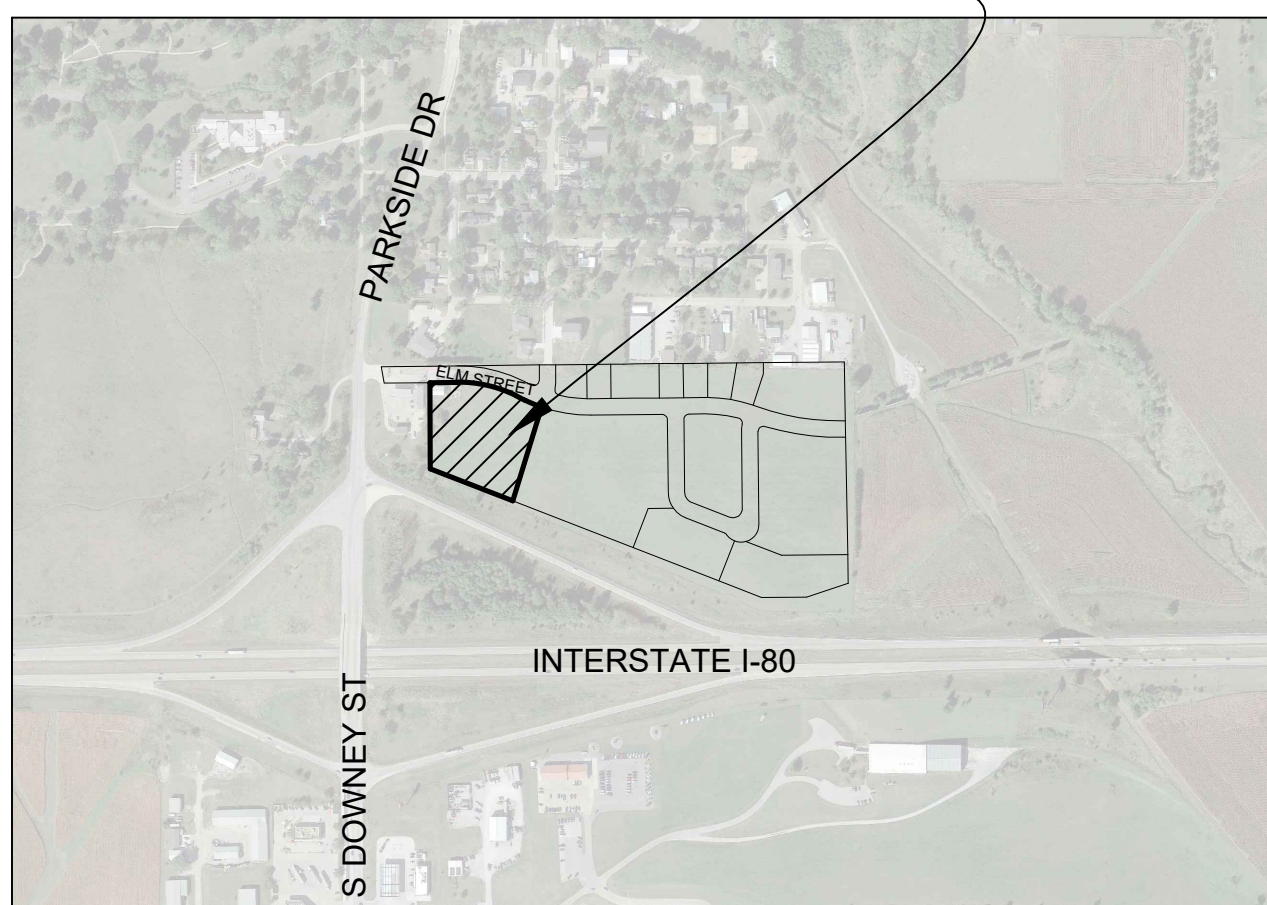
- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5% HORIZONTAL TO 1% VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 95% STANDARD PROCTOR DENSITY UNDER ALL BUILDINGS AND PAVING.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.



UTILITIES  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

## LOT 1 PARKSIDE HILLS SECOND ADDITION WEST BRANCH, IOWA



## LOCATION MAP NOT TO SCALE



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date	Revision
05/09/22	PER CITY COMMENTS - MKF

UTILITY PLAN

STANDARD LEGEND AND NOTES

EXIST

PROPOSED

PROPERTY &/or BOUNDARY LINES

CONGRESSIONAL SECTION LINES

RIGHT-OF-WAY LINES

EXISTING RIGHT-OF-WAY LINES

CENTER LINES

EXISTING CENTER LINES

LOT LINES, INTERNAL

LOT LINES, PLATTED OR BY DEED

PROPOSED EASEMENT LINES

EXISTING EASEMENT LINES

BENCHMARK

RECORDED DIMENSIONS

CURVE SEGMENT NUMBER

22-1

22-1

POWER POLE

POWER POLE W/DROP

POWER POLE W/TRANS

POWER POLE W/LIGHT

GUY POLE

LIGHT POLE

SANITARY MANHOLE

FIRE HYDRANT

WATER VALVE

DRAINAGE MANHOLE

CURB INLET

FENCE LINE

EXISTING SANITARY SEWER

PROPOSED SANITARY SEWER

EXISTING STORM SEWER

PROPOSED STORM SEWER

WATER LINES

ELECTRICAL LINES

TELEPHONE LINES

GAS LINES

CONTOUR LINES (1' INTERVAL)

PROPOSED GROUND

EXISTING TREE LINE

EXISTING DECIDUOUS TREE & SHRUB

EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SHEET INDEX

C120	SITE LAYOUT AND DIMENSION PLAN
C140	SITE GRADING AND EROSION CONTROL PLAN AND SWPPP
C141	GRADING PLAN
C160	UTILITY PLAN
L100	LANDSCAPE PLAN
C500	GENERAL NOTES & DETAILS

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

LOT 1 PARKSIDE HILLS SECOND ADDITION  
WEST BRANCH, IOWA

LOCATION MAP  
NOT TO SCALE

LOT 1 PARKSIDE HILLS  
SECOND ADDITION

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 05/02/2022

Designed by: RLA

Drawn by: MKF

Checked by: RLA

Project No: 6992-381

Field Book No:

Scale: 1"=30'

Sheet No: C160



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision
05/09/22	PER CITY COMMENTS - MKF

LANDSCAPE PLAN

LOT 1 PARKSIDE HILLS SECOND ADDITION

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.	
Date:	05/02/2022
Designed by:	RLA
Drawn by:	MKF
Checked by:	RLA
Project No:	6992-381
Field Book No:	
Scale:	1"=30'
Sheet No:	L100

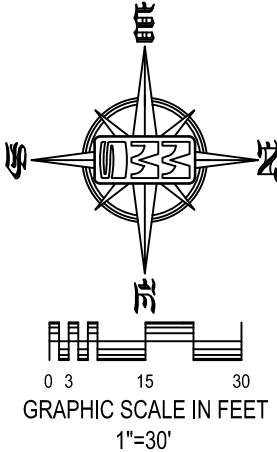
# LOT 1 PARKSIDE HILLS SECOND ADDITION WEST BRANCH, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:  
ADVANTAGE DEVELOPMENT INC.  
760 LIBERTY WAY  
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:  
MATTHEW J. ADAM  
1150 5TH STREET, SUITE 170  
CORALVILLE, IA 52241

SHEET INDEX  
C120 SITE LAYOUT AND DIMENSION PLAN  
C140 SITE GRADING AND EROSION CONTROL  
PLAN AND SWPPP  
C141 GRADING PLAN  
C160 UTILITY PLAN  
L100 LANDSCAPE PLAN  
C500 GENERAL NOTES & DETAILS



UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

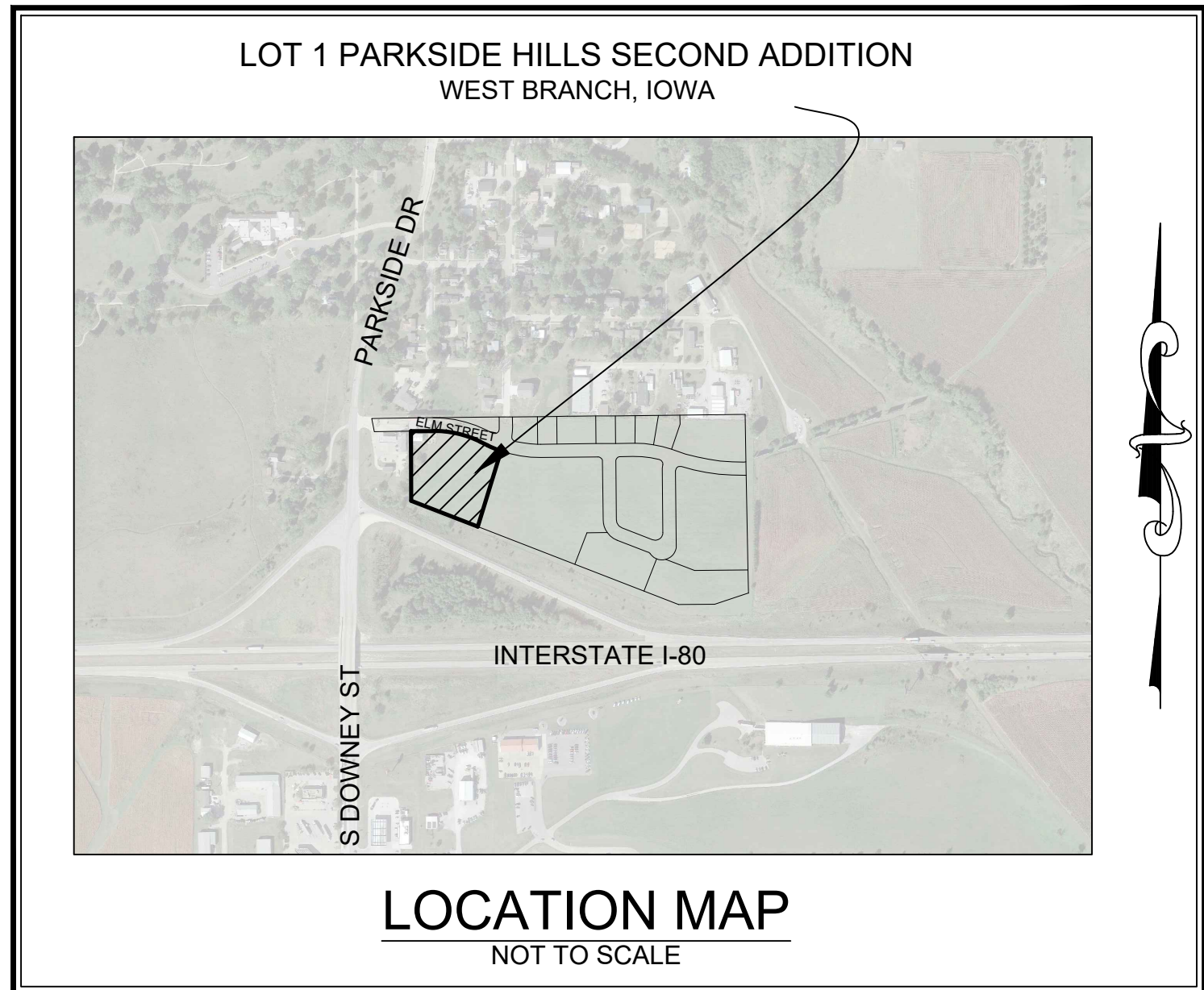
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- 22-1
- EXIST- POWER POLE
- PROP- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



LANDSCAPE LEGEND

- TURF GRASS (SOD)
- LANDSCAPE BED (MULCH)

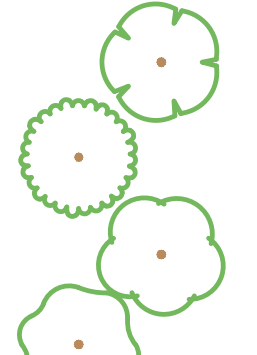
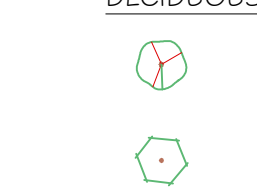
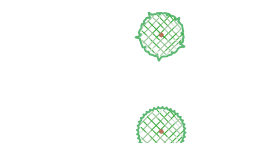
LANDSCAPE REQUIREMENTS

OPEN SPACE:  
MIN. 25% OPEN SPACE REQUIRED  
84,273 X 0.25 = 21,068.25 SF

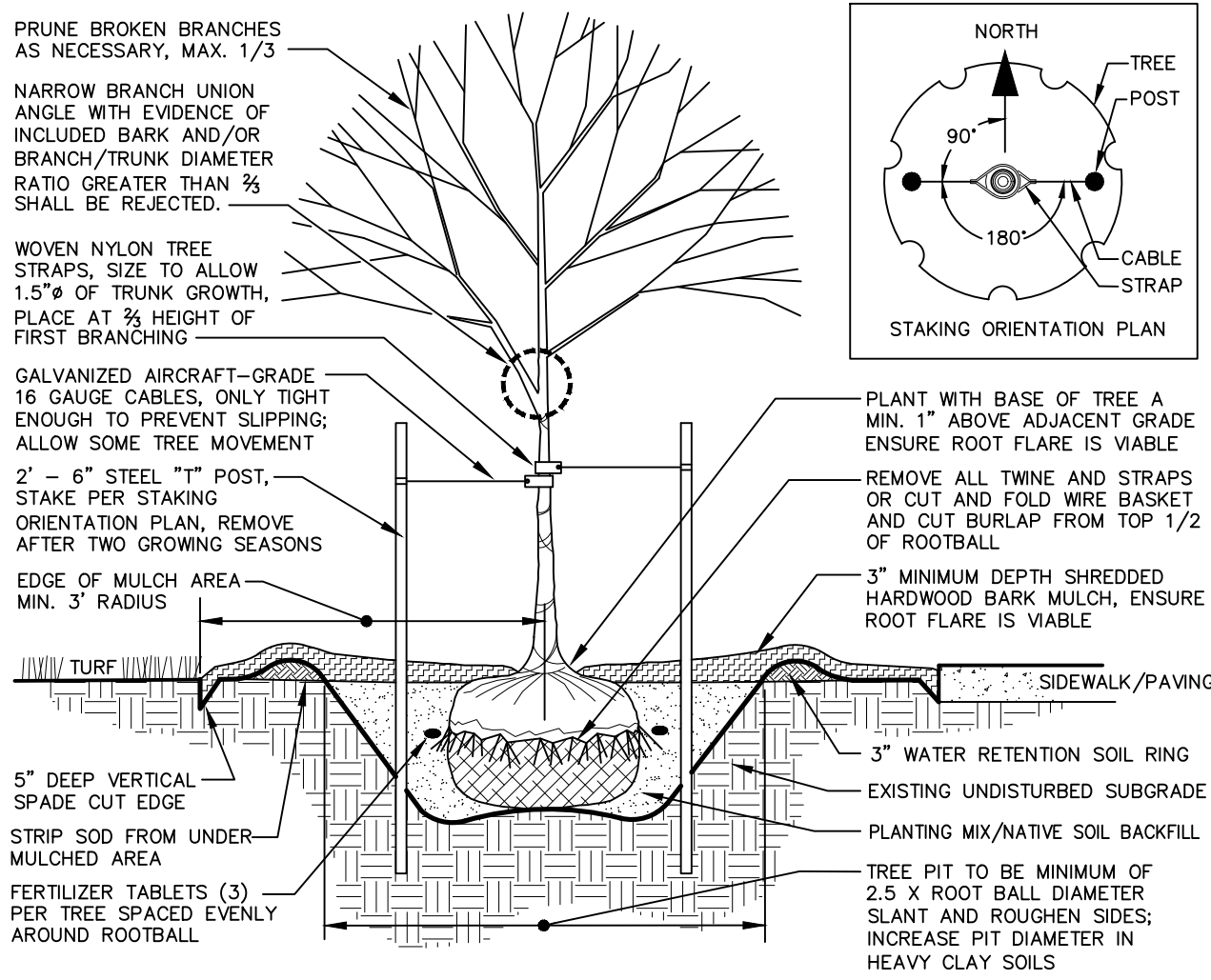
LANDSCAPING:  
1 TREE PER 1,500 SF OF OPEN SPACE (40% 1.5" - 2" CAL.)  
21,068.25 / 1,500 = 14 TREES REQUIRED  
1 SHRUB PER 1,000 SF OF OPEN SPACE  
21,068.25 / 1,000 = 21 SHRUBS REQUIRED

SCREENING:  
PARKING AREAS SHALL BE EFFECTIVELY SCREENED FROM GENERAL PUBLIC VIEW AND CONTAIN SHADE TREES WITHIN PARKING ISLANDS WHERE MULTIPLE AISLES OF PARKING EXIST.

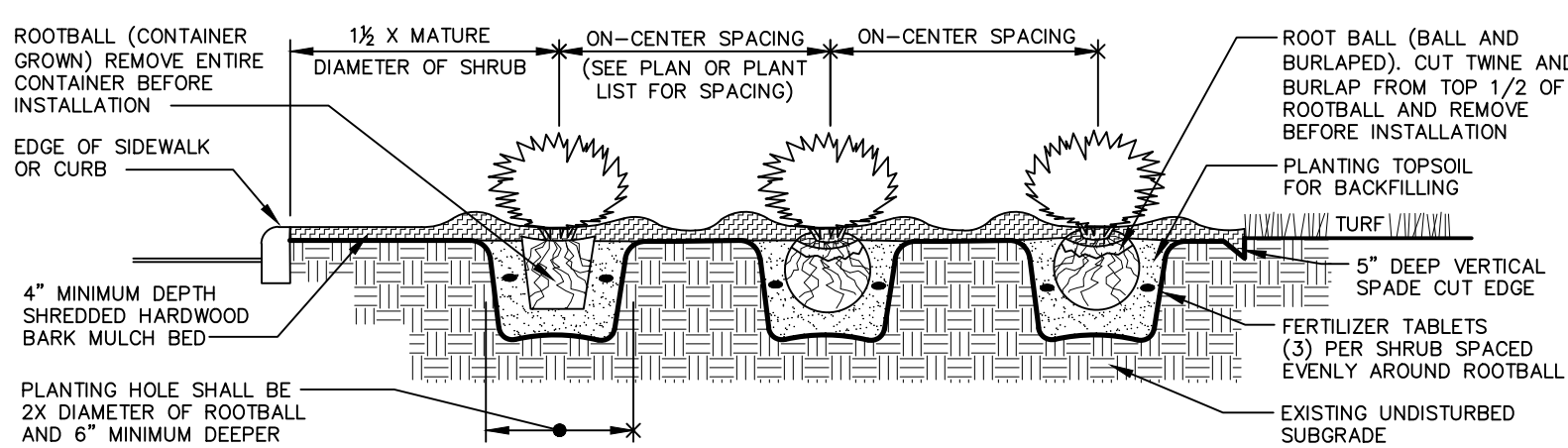
PLANT SCHEDULE

SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
	GB	3	Ginkgo biloba `Autumn Gold` TM	Autumn Gold Ginkgo Tree	2" Cal.	B#B	40' x 25'
	GH	3	Gleditsia triacanthos inermis `Harve` TM	Northern Acclaim Honey Locust	2" Cal.	B#B	40' x 30'
	LT	4	Linodendron tulipifera	Tulip Poplar	2" Cal.	B#B	60' x 30'
	QR	4	Quercus rubra	Red Oak	2" Cal.	B#B	50' x 50'
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
	CS	27	Cornus sencea `Bailadeline` TM	Firedance Red Twig Dogwood	24" Ht.	Container	4' x 5'
	VT	6	Viburnum trilobum `Bailey Compact`	Bailey's Compact American Cranberry Bush	24" Ht.	Container	6' x 5'
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
	JC	21	Juniperus chinensis `Sea Green`	Sea Green Juniper	24" Ht.	Container	4' x 6'
	TO	39	Thuja occidentalis `BaiJohn` TM	Technito Globe Arborvitae	24" Ht.	Container	6' x 2.5'

TYPICAL TREE PLANTING DETAIL  
N.T.S.



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)  
N.T.S.





CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision
05/09/22	PER CITY COMMENTS - MKF

GENERAL NOTES  
AND DETAILS

LOT 1 PARKSIDE HILLS  
SECOND ADDITION

WEST BRANCH  
CEDAR COUNTY  
IOWA

MMS CONSULTANTS, INC.

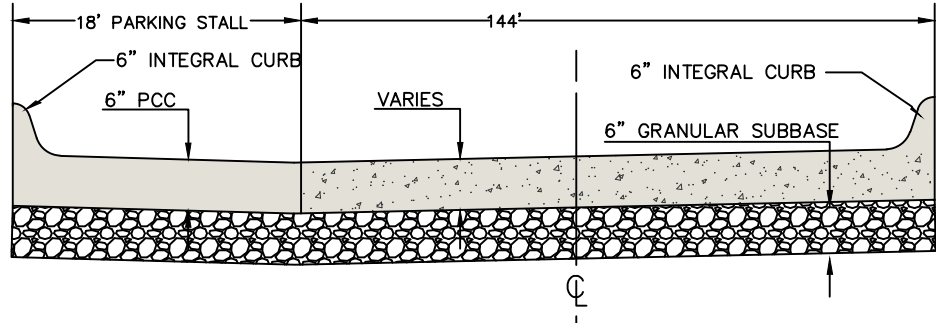
Date:	05/02/2022
Designed by:	Field Book No:
Drawn by:	Scale:
Checked by:	Sheet No:
Project No:	

C500

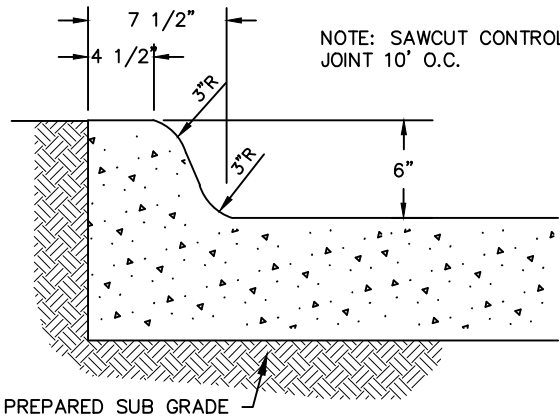
6992-381

SHEET INDEX
C120 SITE LAYOUT AND DIMENSION PLAN
C140 SITE GRADING AND EROSION CONTROL PLAN AND SWPPP
C141 GRADING PLAN
C160 UTILITY PLAN
L100 LANDSCAPE PLAN
C500 GENERAL NOTES & DETAILS

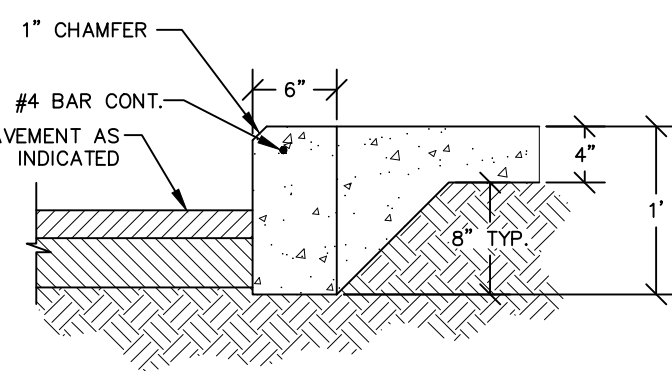
TYPICAL DRIVE/PARKING SECTION  
N.T.S.



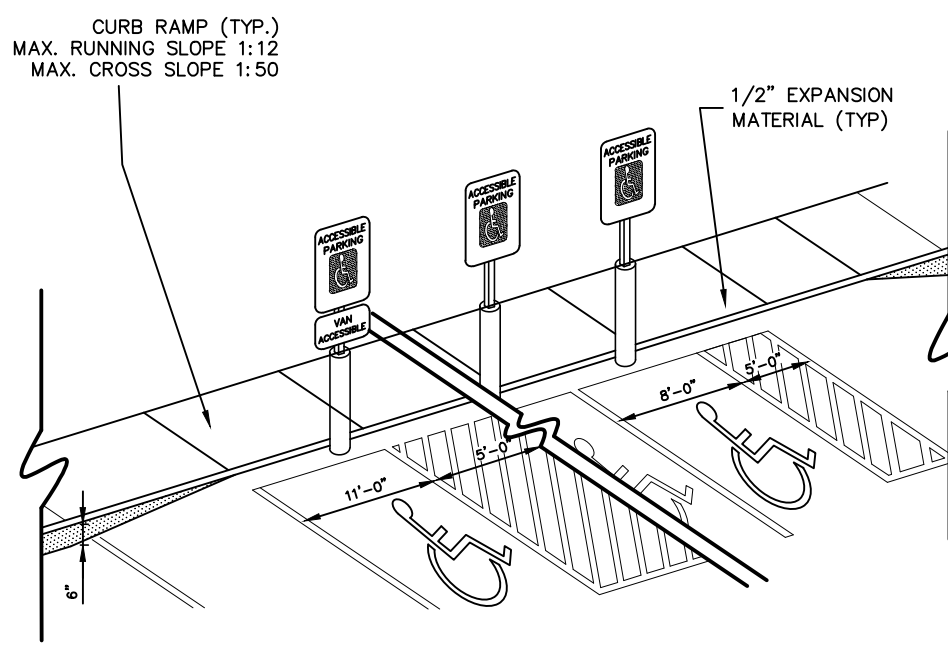
6" STANDARD CURB DETAIL  
N.T.S.



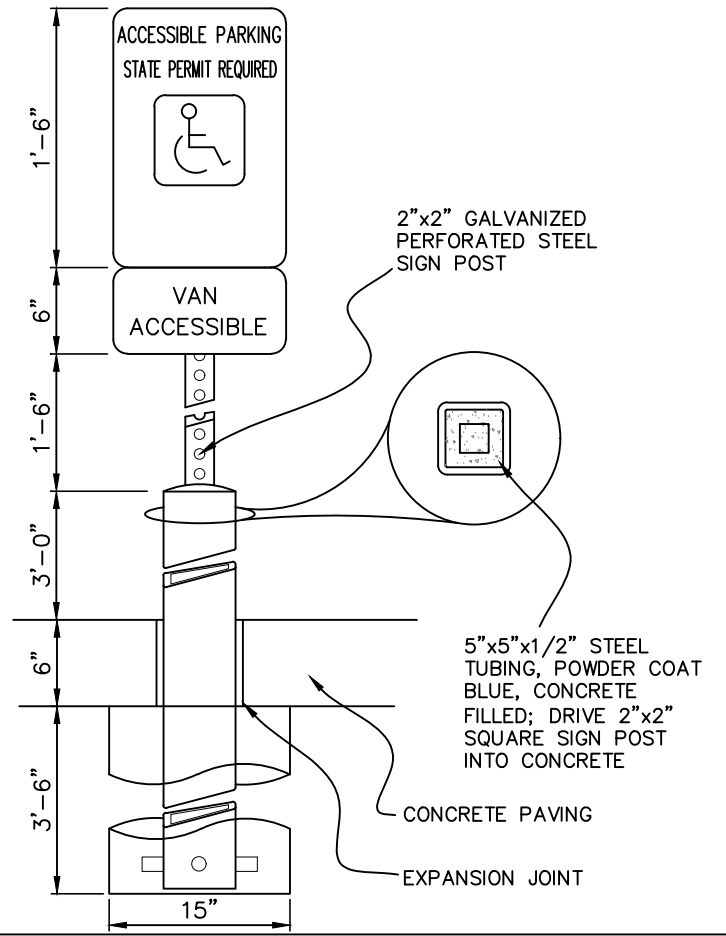
SIDEWALK THICKENED EDGE  
N.T.S.



ACCESSIBLE PARKING DETAIL  
N.T.S.



ACCESSIBLE SIGN DETAIL  
N.T.S.



STORM SEWER NOTES

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:  
A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 7) ALL STORM INTAKES SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

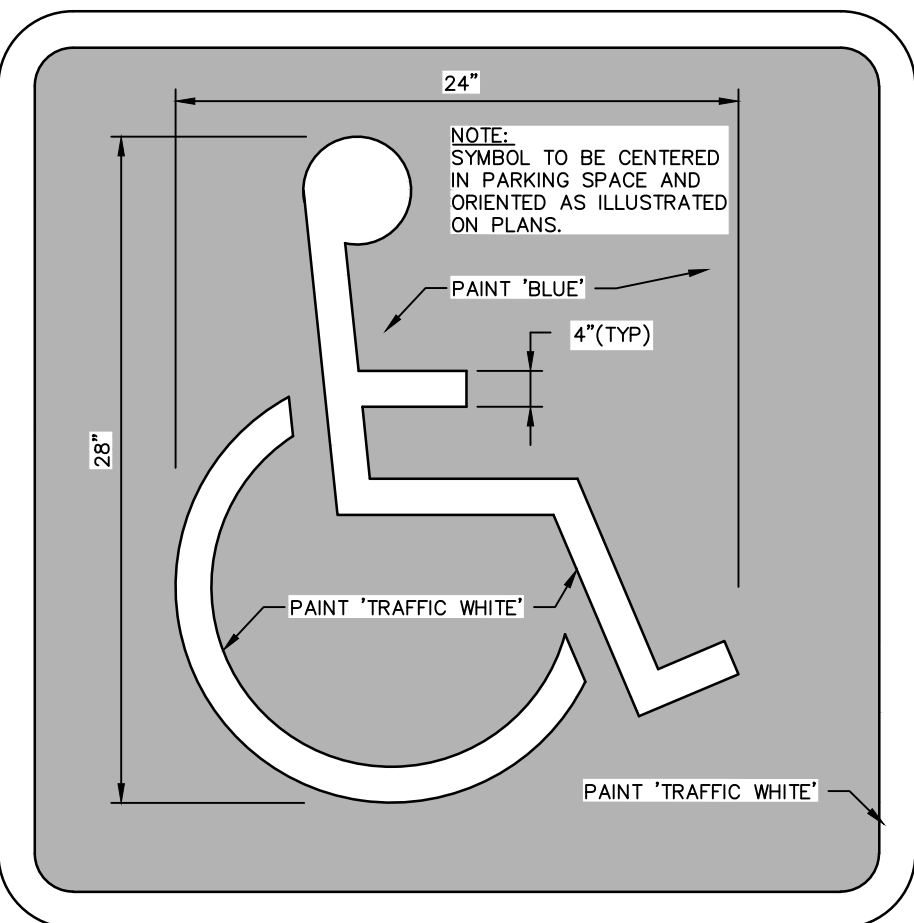
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

- NOTES:
1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
  2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
  3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
  4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
  5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bd.

ID INCHES	Bd FEET & INCHES
12	2-3
15	2-9
18	3-0
21	3-3
24	3-6
27	4-0
30	4-3
36	4-9
42	5-6
48	6-3

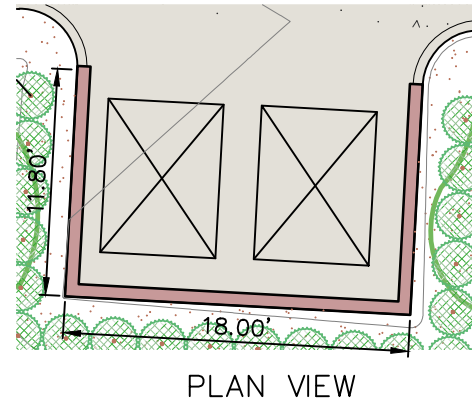
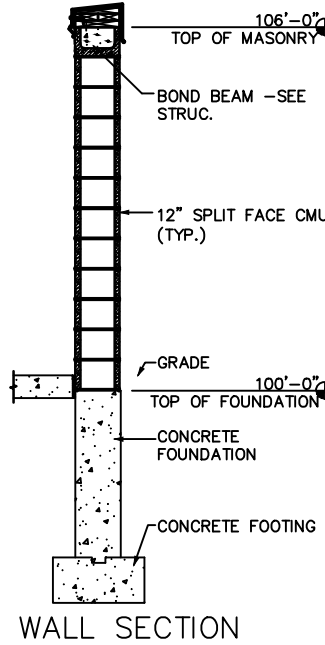
ACCESSIBLE PARKING SYMBOL  
N.T.S.

IOWA STANDARD ROAD PLAN  
DETAIL: PM-111 "WPSB"



TRASH ENCLOSURE DETAIL  
N.T.S.

NOTE: DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH ROOF/FACE BOOX (COLOR: GRANT/BLIND) MATERIALS CONSISTENT WITH THOSE USED ON THE BUILDINGS AND IN ACCORDANCE WITH CITY STANDARDS.



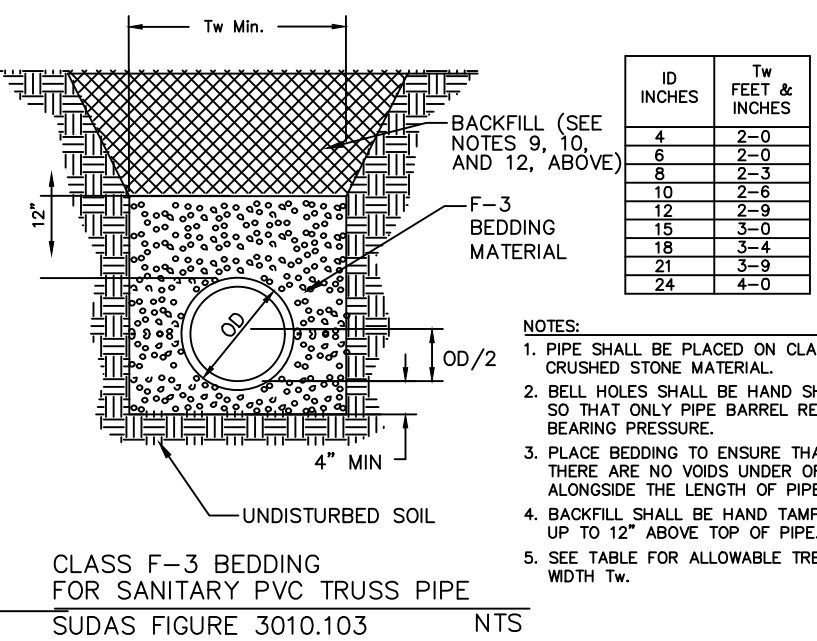
SANITARY SEWER AND WATERMAIN NOTES

- 1) SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2018) AS AMENDED.
- 2) SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.2.01E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- 3) WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- 4) CONTRACTOR TO PROVIDE FERNOCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- 5) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 6) ALL SANITARY SEWERS SHADED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN PAVING AREAS OR AREAS SUBJECT TO WATER FLOODATION SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:  
A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- 7) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- 8) CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- 9) ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- 10) ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:  
1) WILL NOT SHOW STEPS.  
2) WILL HAVE EXTERNAL CHIMNEY SEAL BY INFISHIELD UNIBAND, CRETEX, OR APPROVED EQUAL.  
3) WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.  
4) WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, IE: WOOD, BRICK, ROCKS, ETC.  
5) WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :
- 9) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
  - 10) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
  - 11) THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
  - 12) ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER FLOODATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING.

AIR TESTING

- NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.
- A. PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
- B. PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
- C. INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psf & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
- D. LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
- E. ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
- F. MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:
- | PIPE DIAMETER IN INCHES | TIME IN MINUTES |
|-------------------------|-----------------|
| 4                       | 2.0             |
| 6                       | 3.0             |
| 8                       | 4.0             |
| 10                      | 5.0             |
| 12                      | 5.5             |
| 15                      | 7.5             |
- G. IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.
- H. LOCATE, REPAIR AND RETEST LEAKS.
- I. AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
- ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:  
A) DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.  
B) DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.  
C) NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED :

- 14) WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- 15) WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- 16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- 17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
- 18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- 19) EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- 20) THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- 21) WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- 22) FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- 23) BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- 24) ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



City of West Branch  
110 N. Poplar Street  
West Branch, IA 52358

## SITE PLAN REVIEW CHECKLIST

Project Name	<u>Progressive Rehab</u>
Engineer	<u>Axiom Consultants</u>
Reviewer	<u>Dave Schechinger</u>
Reviewed Date	<u>5/16/2022</u>

1. SITE PLAN ☒

- A. Site plans shall only be required whenever any person proposes to place any structure for which a building permit is required under any other section of this Code, on any tract or parcel of and within any district of the West Branch Zoning Ordinance, and for any use, except one and two family dwellings.

2. DESIGN STANDARDS ☒

- A. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines nor increase the danger of erosion, flooding, landslide, or other endangerment of adjoining or surrounding property
- B. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illumination of required perimeter yards, refuse containers, and impairment of light and air.
- C. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets
- D. The proposed development shall conform to all applicable provisions of the Code of Iowa, as amended, Iowa Statewide Urban Design and Specifications (SUDAS), Iowa Stormwater Management Manual and all applicable provisions of the Code of Ordinances of the City of West Branch, as amended

Veenstra & Kimm, Inc.  
860 22<sup>nd</sup> Avenue, Suite 4  
Coralville, Iowa 52241  
319-466-1000



City of West Branch  
110 N. Poplar Street  
West Branch, IA 52358

SITE PLAN:

1. Prepared by a licensed Engineer or Land Surveyor ☒ YES ☐ NO
2. Date of preparation, North point and scale no smaller than 1"=100'.  
Comments: ☒ YES ☐ NO
3. Legal description and address of the property to be developed.  
Comments: ☒ YES ☐ NO
4. Name and address of the record property owner, the applicant, and the person or firm preparing the site plan  
Comments: ☒ YES ☐ NO
5. The existing topography with a maximum of two (2) foot contour intervals. Where existing ground is on a slope of less than two percent (2%), either one (1) foot contours or spot elevations where necessary but not more than fifty (50) feet apart in both directions, shall be indicated on site plan.  
Comments: ☒ YES ☐ NO
6. Existing and proposed utility lines and easements in accordance with Iowa Statewide Urban Design and Specifications (SUDAS) and City of West Branch Subdivision Regulations.  
Comments: ☒ YES ☐ NO
7. Structure Information:
  - a. Total number and type of dwelling units proposed ☒ YES ☐ NO
  - b. Proposed uses for all buildings ☒ YES ☐ NO
  - c. Total floor area of each building ☒ YES ☐ NO
  - d. Estimated number of employees for each proposed use where applicable ☐ YES ☐ NO
  - e. Any other information, including peak demand, which may be necessary to determine the number of off-street parking spaces and loading spaces. ☒ YES ☐ NO
8. Location, shape, and all exterior elevation views of all proposed buildings, for the purpose of understanding the structures and building materials to be used, the location of windows, doors, overhangs, projection height, etc. and the grade relationship to floor elevation, and the number of stories of each existing building to be retained and of each proposed building. ☒ YES ☐ NO
9. Property lines and all required yard setbacks. ☒ YES ☐ NO
10. Location, grade and dimensions of all existing and proposed paved surfaces and all abutting streets. ☒ YES ☐ NO

Veenstra & Kimm, Inc.  
860 22<sup>nd</sup> Avenue, Suite 4  
Coralville, Iowa 52241  
319-466-1000

11. Complete traffic circulation and parking plan, showing the location and dimensions of all existing and proposed parking stalls, loading areas, entrance and exit drives, sidewalks, dividers, planters, and other similar permanent improvements. ☒ YES ☐ NO
12. Location and type of existing or proposed signs and of any existing or proposed lighting on the property which illuminates any part of any required yard. ☒ YES ☐ NO
13. Location of existing trees six (6) inches or larger in diameter, landslide areas, springs and streams and other bodies of water, and any area subject to flooding by a one hundred (100) year storm on site and downstream off site. ☐ YES ☐ NO
14. Location, amount and type of any proposed landscaping. Location of proposed plantings, fences, walls, or other screening as required by the zoning regulations and the design standards set forth in Section 173.03. ☒ YES ☐ NO
15. A vicinity map at a scale of 1" = 500' or larger, showing the general location of the property, and the adjoining land uses and zoning. ☒ YES ☐ NO
16. Soil tests and similar information, if deemed necessary by the City Engineer, to determine the feasibility of the proposed development in relation to the design standards set forth in Section 173.03. N/A ☐ YES ☐ NO
17. Where possible ownership or boundary problems exist, as determined by the Zoning Administrator, a property survey by a licensed land surveyor may be required. N/A ☐ YES ☐ NO
18. Stormwater Pollution Prevention Plan. ☒ YES ☐ NO
19. Stormwater Management Plan. ☒ YES ☐ NO
20. Pre-Application Conference. ☒ YES ☐ NO
21. Provide 25% of open space
  - a. Said open space shall be unencumbered with any structure, or off-street parking or roadways and drives, and shall be landscaped and maintained with grass, trees and shrubbery. ☒ YES ☐ NO
  - b. Each principal structure of an apartment or office complex on same site shall be separated from any other principal structure in the complex by an open space of not less than sixteen (16) feet. ☒ YES ☐ NO
22. Landscaping Requirements
  - a. Minimum requirements at the time of planting - Two (2) trees minimum or one (1) tree of the following size per 1,500 square feet of open space, whichever is greater: 40 Percent 1½" - 2" caliper diameter. Balance 1" - 1½" caliper diameter. (Evergreen trees shall not be less than three (3) feet in height.) ☒ YES ☐ NO
  - b. Minimum requirements at the time of planting - 6 shrubs, or 1 shrub per 1,000 square feet of open space, whichever is greater. ☒ YES ☐ NO

23. Buffer Required

- a. Any other zoning district, other than an Agricultural A-1 District, that abuts any residential district shall require a buffer as described in this section. The buffer shall be provided by the non-residential use when adjoining a residential district. ☐ YES ☐ NO
- b. All Industrial Districts that abut any other district shall provide a buffer as required by this section. N/A  
☐ YES ☐ NO
- c. Any storage area, garbage storage, junk storage or loading docks, and loading areas, in any District shall be screened from public street view by a buffer ☒ YES ☐ NO

24. Buffers

- a. Buffer Wall: A buffer wall shall not be less than six (6) feet in height; constructed of a permanent low maintenance material such as concrete block, cinder block, brick, concrete, precast concrete or tile block; the permanent low-maintenance wall shall be designed by an architect or engineer for both structural adequacy and aesthetic quality. ☐ YES ☐ NO
- b. **Landscape Buffer:** A landscape buffer shall not be less than twenty-five (25) feet in width, designed and landscaped with earth berm and predominant plantings of evergreen type trees, shrubs and plants so as to assure year around effectiveness. ☐ YES ☐ NO

25. Surfacing Requirements.

- a. All off-street parking and loading areas and access roadways shall have a durable and dustless surface paved with asphaltic or Portland cement concrete pavement or pervious pavement. Off-street parking of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other mobile vehicles shall be on an asphaltic or Portland cement concrete paved off-street parking area and not parked or stored within the landscaped open space area of the front yard. All off-street parking areas and associated driveways, access roadways and frontage roads, except driveways for single family residences, shall be constructed with permanent, integrally attached 6" high curbing or curbing of alternate height. ☒ YES ☐ NO
- b. Portland Cement Concrete shall have a minimum thickness of five (5) inches. ☒ YES ☐ NO
- c. Asphaltic Cement Concrete shall have a minimum thickness of six (6) inches. ☐ YES ☐ NO N/A
- d. Material utilized in the subgrade shall be well drained and not susceptible to frost boils. Driveways for attached townhouse style residences shall be Portland cement concrete or asphaltic concrete with minimum thickness of five (5) inches and six (6) inches, with well-drained subgrade base and not greater than eighteen (18) feet in width. ☒ YES ☐ NO

26. Landscaping, Screening and Open Space Requirements.

- a. All parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their use. ☒ YES ☐ NO
- b. Parking areas shall be effectively screened from general public view and contain shade trees within parking islands where multiple aisles of parking exist. Not less than five (5) percent of the interior parking area shall be landscaped within parking islands. ☒ YES ☐ NO

27. Off-Street Parking Access to Public Streets and Internal Traffic Circulation.

- a. forward movement of the vehicle. ☒ YES ☐ NO
- b. Driveway approach returns shall not extend beyond the side lot line as extended. ☒ YES ☐ NO
- c. The number of ingress/egress access points to public streets from offstreet parking areas located to limit vehicular conflicts, preserve proper traffic safety. ☒ YES ☐ NO

28. Handicap Accessible Parking Requirements - comply with the parking space minimum requirements.

☒ YES ☐ NO

29. Traffic Analysis Requirements. Any project which contains 100 dwelling units or 1,000 average day trips.

☐ YES ☐ NO N/A

30. Architectural Standards - architectural plans for buildings shall be submitted for review and approval.

☒ YES ☐ NO

DRAWINGS FOR PROPOSED IMPROVEMENTS  
PROGRESSIVE REHAB  
SITE PLAN  
IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA

LEGAL DESCRIPTION

THE MEADOWS SUBDIVISION PART 4A LOT 1.

NOTE:  
THE PROPOSED IMPROVEMENTS INCLUDED IN THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH CITY OF WEST BRANCH REQUIREMENTS AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST ADDITION, UNLESS NOTED OTHERWISE ON THE PLANS.

THE FOLLOWING DESIGN EXCEPTIONS ARE REQUIRED:  
N/A

SITE INFORMATION

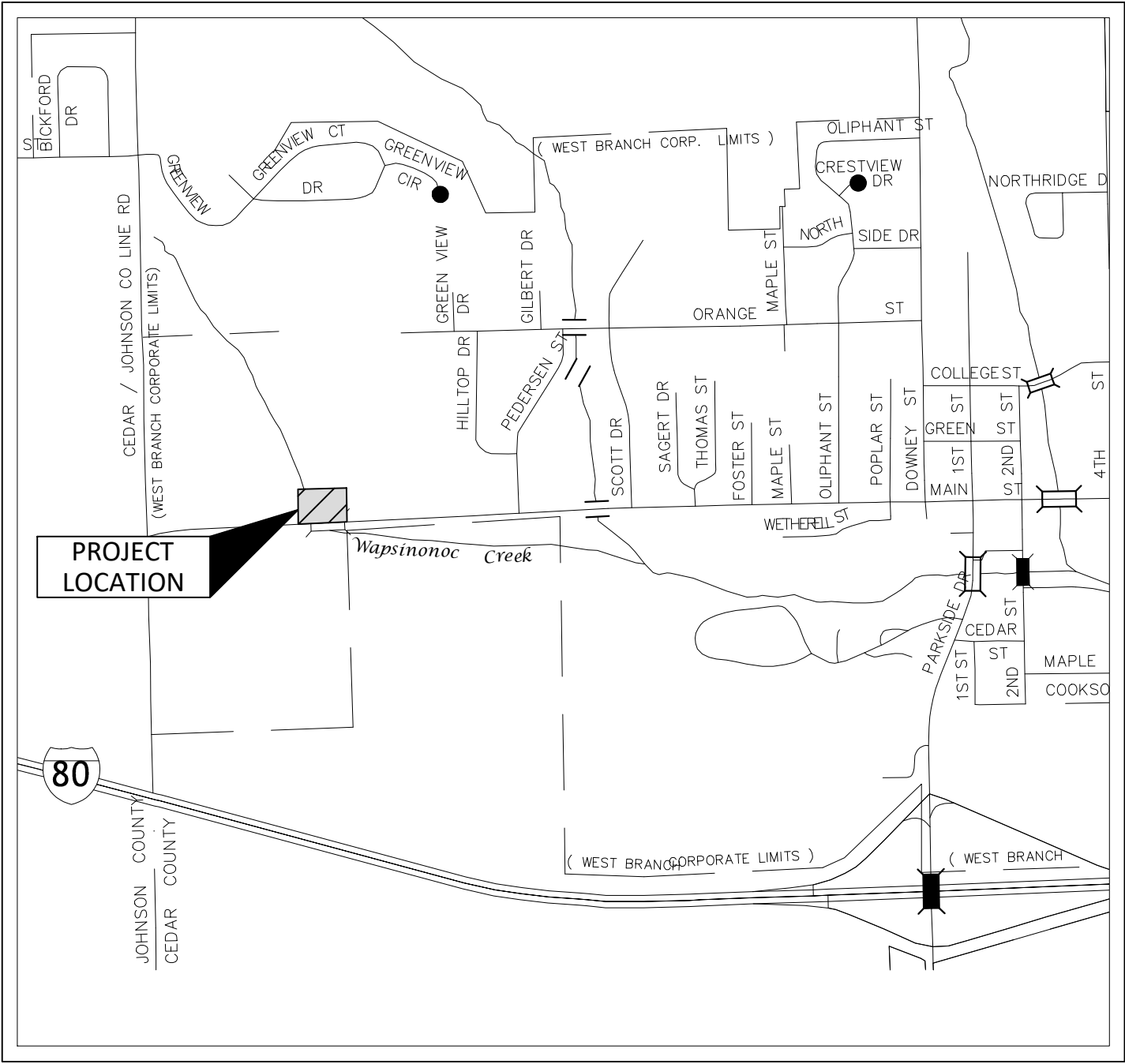
PURPOSE OF DEVELOPMENT  
PROPOSED PROGRESSIVE REHAB FACILITY

ZONING INFORMATION  
CURRENT ZONING      RB-1 (RESIDENCE/BUSINESS DISTRICT)

MINIMUM LOT REQUIREMENTS  
FRONT YARD SETBACK      25 FEET  
REAR YARD SETBACK      25 FEET, EXCEPT WHERE A COURT YARD OF EQUAL SQUARE FOOTAGE TO THAT PART OF THE REAR YARD REPLACED IS SUBSTITUTED, IN WHICH CASE THE STRUCTURE MAY BE NO CLOSER THAN 8 FEET FROM THE REAR LOT LINE WHERE THE LOT ABUTS A LOWER OR LESS RESTRICTIVE ZONING CLASSIFICATION ONLY.  
SIDE YARD SETBACK      NONE REQUIRED EXCEPT ADJOINING AN "R" DISTRICT, IN WHICH CASE NOT LESS THAN 10 FEET

SITE CHARACTERISTICS  
TOTAL LOT SIZE      14,375 SF      0.33 AC  
  
EXISTING:  
BUILDING AREA:      0 SF (0.00 AC)      0.0%  
PAVEMENT AREA:      0 SF (0.00 AC)      0.0%  
OPEN SPACE:      14,375 SF (0.33 AC)      100.0%  
PRE-DEVELOPMENT IMPERVIOUS AREA:      0.0% (0.00 AC)  
  
DEVELOPED:  
BUILDING AREA:      2,224 SF (0.05 AC)      15.5%  
PAVEMENT AREA:      7,495 SF (0.17 AC)      52.1%  
OPEN SPACE:      4,656 SF (0.11 AC)      32.4%  
POST DEVELOPMENT IMPERVIOUS AREA:      67.6% (0.22 AC)

PARKING REQUIREMENTS  
REQUIRED PARKING    = 3 STALLS PLUS 1 PER 400 SF OF BUILDING AREA OVER 1000 SF  
  
TOTAL REQUIRED STALLS =      9 STALLS  
TOTAL REQUIRED ADA STALLS =    1 ADA STALLS  
  
PROPOSED PARKING  
10 - STALLS PROVIDED (TOTAL)  
1 - ACCESSIBLE STALLS



CITY OF WEST BRANCH, IOWA

APPLICANT INFORMATION

OWNER/APPLICANT :  
SCOTT THOMA  
PROGRESSIVE REHAB ASSOCIATES  
1130 SCOTT BOULEVARD  
IOWA CITY, IA 52240

DEVELOPER'S ATTORNEY:  
TIMM KRUMM  
MEARDON, SUEPPEL, AND DOWNER P.L.C.  
122 S LINN STREET  
IOWA CITY, IA 52240

PROJECT INFORMATION

SCOPE OF WORK:  
PROPOSED PROGRESSIVE REHAB AND FITNESS CENTER.

CONTACT PERSON:  
BRIAN BOELK  
AXIOM CONSULTANTS, LLC  
60 E. COURT STREET, UNIT 3  
IOWA CITY, IOWA 52240-3833  
PHONE: 319-519-6220  
EMAIL: BBOELK@AXIOM-CON.COM

UTILITY CONTACTS

ALLIANT ENERGY  
CONTACT NAME : ALLIANT ENERGY FIELD ENGINEER  
CONTACT PHONE: 800-255-4268  
CONTACT EMAIL: LOCATE\_IPL@ALLIANTENERGY.COM

CITY OF WEST BRANCH  
CONTACT NAME : MATT GOODALE  
CONTACT PHONE: 319-643-588  
CONTACT EMAIL: WBCITY@NETINS.NET

LINN COUNTY REC  
CONTACT NAME : JOHNA NUNEMAKER  
CONTACT PHONE: 319-377-1587  
CONTACT EMAIL: NUNEMAKER@LINCOUNTYREC.COM

PEMBINA COCHIN LLC  
CONTACT NAME : LARRY RAIMANN  
CONTACT PHONE: 641-228-3021  
CONTACT EMAIL: LRAIMANN@PEMBINA.COM

MEDIACOM  
CONTACT NAME : CARL NORTON  
CONTACT PHONE: 319-594-6201  
CONTACT EMAIL: CNORTON@MEDIACOMC.COM

WINDSTREAM COMMUNICATIONS  
CONTACT NAME : LOCATE DESK  
CONTACT PHONE: 800-289-1901  
CONTACT EMAIL: LOCATE.DESK@WINDSTREAM.COM

LIBERTY COMMUNICATIONS  
CONTACT NAME : JERRY MELICK  
CONTACT PHONE: 319-627-2145  
CONTACT EMAIL: LIBERTY@CORP.LCOM.NET

ENTERPRISE PRODUCTS OPERATING  
CONTACT NAME : MIKE MCCLAUGHLIN  
CONTACT PHONE: 281-615-1827  
CONTACT EMAIL: MMCLAUGHLIN@EPROD.COM

CITY APPROVAL

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

LICENSED PROFESSIONAL ENGINEER  
BRIAN A. BOELK  
16503  
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
BRIAN A. BOELK, P.E.  
LICENSE NUMBER 16503.  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022.  
PAGES OR SHEETS COVERED BY THIS SEAL: ALL

ENGINEER:

DRAWING LOG		DATE		
DESCRIPTION OF CHANGES		05-11-2022		
REV		1		

PROJECT NAME:  
PROGRESSIVE REHAB

CLIENT NAME:  
WEST BRANCH, IA 52358

SHEET NAME:  
COVER SHEET

DESIGN PROFESSIONAL:  
BOELK

PROJECT NO.:  
210119

SHEET NUMBER:  
210119

C0.00

May 10, 2022 - 10:11am S:\PROJECTS\2021\210119\05 design\civil-survey\Sheets\210119-C0.00.dwg

LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	— ( CD ) —	— CD —
OVERHEAD LINE	— ( OH ) —	— OH —
ELECTRIC	— ( E ) —	— E —
FIBER OPTIC	— ( FD ) —	— FO —
GAS	— ( G ) —	— G —
SANITARY SEWER	— ( S ) —	— SS —
STORM	— ( ST ) —	— ST —
SUBDRAIN	— ( ST ) — ( ST ) —	— SD —
WATER: DOMESTIC	— ( W ) —	— W —
WATER: WELL	— ( WELL ) —	— WELL —
CHILLED WATER: SUPPLY	— ( CHWS ) —	— CHWS —
CHILLED WATER: RETURN	— ( CHWR ) —	— CHWR —
CONDENSATE	— ( CND ) —	— CND —
STEAM: HIGH PRESSURE	— ( HPS ) —	— HPS —
STEAM: LOW PRESSURE	— ( LPS ) —	— LPS —
COMMUNICATIONS HANDHOLE		
COMMUNICATIONS PEDESTAL		
COMMUNICATIONS MANHOLE		
GUY WIRE ANCHOR		
UTILITY POLE		
UTILITY POLE WITH LIGHT		
LIGHT POLE		
ELECTRIC MANHOLE		
ELECTRIC TRANSFORMER		
TRAFFIC HANDHOLE		
TRAFFIC MANHOLE		
FIBER OPTIC HANDHOLE		
FIBER OPTIC MANHOLE		
GAS MANHOLE		
GAS VALVE		
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
STORM SEWER MANHOLE		
STORM SEWER INTAKE		
HYDRANT		
WATER VALVE		
CURB STOP		
WATER MANHOLE		
POST INDICATOR VALVE		

SITE

	EXISTING	PROPOSED
CONTOUR - INDEX	— 100 —	— 100 —
CONTOUR - INTERMEDIATE	— 101 —	— 101 —
FENCE: BARB WIRE	— x — x — x — x —	— x — x — x — x —
FENCE: CHAIN LINK	— o — o — o — o —	— o — o — o — o —
FENCE: CONSTRUCTION	— + — + — + — + —	— + — + — + — + —
FENCE: VINYL	— // — // — // — // —	— // — // — // — // —
FENCE: WIRE	— — — — —	— — — — —
FENCE: WOOD	— □ — □ — □ — □ —	— □ — □ — □ — □ —
TREE LINE		
DELINEATED WETLAND	— W — W — W —	— W — W — W —
100-YEAR FLOODPLAIN	— 100Y — 100Y — 100Y —	— 100Y — 100Y — 100Y —
500-YEAR FLOODPLAIN	— 500Y — 500Y — 500Y —	— 500Y — 500Y — 500Y —
STREAM CENTERLINE		
BOLLARD		
FLAG POLE		
LANDSCAPE LIGHT		
SHRUBBERY		SEE LANDSCAPE PLAN
TREE: DECIDUOUS		SEE LANDSCAPE PLAN
TREE: CONIFEROUS		SEE LANDSCAPE PLAN
MAIL BOX		
POST		
SIGN		
PARKING METER		
FIRE DEPARTMENT CONNECTION		
WATER METER		
HOSE BIB		
YARD HYDRANT		
DRINKING FOUNTAIN		
MONITORING WELL		
WELL		

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT SHOWN ON THIS DRAWING.
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48 - 72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. THE CITY OF WEST BRANCH SHALL BE THE PUBLIC AGENCY RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION OF THE PUBLIC PORTIONS OF THE PROJECT.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

GRADING NOTES

- STRIP EXISTING VEGETATION WITHIN THE GRADING LIMITS AND AREAS TO RECEIVE FILL. STOCKPILE ON-SITE FOR REUSE IF SUITABLE.
- PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOFROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.
- REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT.
- SCARIFY EXISTING SUBGRADE TO A DEPTH OF 12 INCHES AND RECOMPACT TO 98% OF STANDARD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.
- DO NOT PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS AND DO NOT RESUME COMPACTION OPERATIONS UNTIL MOISTURE CONTENT AND DENSITY OF IN-PLACE FILL MATERIAL ARE WITHIN SPECIFIED LIMITS.
- PLACE FILL MATERIAL IN 9" MAXIMUM LIFTS.
- FILLS PLACED BELOW LAWN AREAS SHALL BE COMPACTED TO 90% OF MATERIALS MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D698).
- SCARIFY SUBGRADE TO DEPTH OF 3 INCHES WHERE TOPSOIL IS SCHEDULED. SCARIFY AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
- FILL MATERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OF 6 INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS SHALL BE LARGER THAN 2-1/2 INCHES IN GREATEST DIMENSION.
- SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS. REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT RESULTING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- FINISH CONTOURS SHOWN ARE TO TOP OF FINISHED GRADE OR TO TOP OF TOPSOIL.

SITE PREPARATION NOTES

- PROTECT ADJACENT PROPERTY DURING DEMOLITION.
- DEMOLITION LIMIT LINE IS THE EXISTING PROPERTY LINE UNLESS NOTED OTHERWISE.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAUL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
- KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
- DURING CONSTRUCTION, CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT THE CONTRACTOR'S OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER COST.
- REMOVE ALL DESIGNATED STREETS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- WHERE A SECTION OF PAVEMENT, CURB AND GUTTER OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
- SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING CONCRETE STRUCTURES ON THE SITE AS SHOWN ON THE PLANS. THE REMOVAL INCLUDES DRIVEWAYS, CURB AND GUTTER, SIDEWALK, AND BASEMENT FOUNDATION FOOTINGS, FLOOR AND WALLS. THE REMOVAL ALSO INCLUDES STORM SEWER INTAKES AND PIPE AS SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT TREES AND SHRUBS NOTED ON THE PLANS TO REMAIN IN PROJECT AREA FROM DAMAGE DUE TO CONSTRUCTION ACTIVITY. PROTECTION INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION FENCING AROUND THE DRIP LINE OF TREES AND PROHIBITING VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES.
- REMOVAL AND DISPOSAL OF EXISTING TREES AND SHRUBS WITHIN CONSTRUCTION LIMITS SHALL BE INCIDENTAL TO THE GRADING PORTION OF THE PROJECT. STUMPS ARE TO BE GROUND TO TWO FEET BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.

EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:

- CONNECT TILE TO THE NEAREST STORM SEWER.
- DAYLIGHT TO FINISHED GROUND.
- REPAIR TILE AND MAINTAIN SERVICE.

SURFACE RESTORATION NOTES

- ONLY DISTURBED AREAS NOT PAVED OR HARD SURFACED SHALL RECEIVE MINIMUM 4" TOPSOIL. SCARIFY AREAS TO RECEIVE TOPSOIL TO A MIN. DEPTH OF 4". REMOVE ALL STONES, WOOD AND DEBRIS LARGER THAN 2" FROM AREAS TO RECEIVE TOPSOIL. DO NOT COMPACT TOPSOIL.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SUDAS SECTION 9010.
- SEED ALL DISTURBED AREAS NOT TO BE HARD SURFACED, AND NOT TO HAVE TOPSOIL SPREAD, WITH TYPE 1 EROSION CONTROL MIXTURE PER SUDAS SECTION 9010.
- APPLY SEED AT THE RATES INDICATED IN THE PROJECT SPECIFICATIONS.
- MAINTAIN SEEDED AREAS UNTIL AN ADEQUATE STAND OF GRASS HAS BEEN ESTABLISHED. RESEED ANY AREAS AS NECESSARY TO STABILIZE SOIL PER PROJECT SPECIFICATIONS.
- EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT ARE TO REMAIN AND DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL INCORPORATE ALL EROSION CONTROL FEATURES INTO THE PROJECT PRIOR TO DISTURBING THE SOIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES A MINIMUM OF ONCE PER WEEK. IF A CONTROL MEASURE HAS BEEN REDUCED IN CAPACITY BY 50% OR MORE, THE CONTRACTOR SHALL RESTORE SUCH FEATURES TO THEIR ORIGINAL CONDITION IMMEDIATELY, WEATHER PERMITTING.
- ERECT SILT FENCE AS SHOWN ON THE PLANS TO LIMIT LOSS OF MATERIAL FROM THE SITE. DEVICES TO REMAIN IN PLACE AND TO BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.
- MINIMIZE SOIL EROSION BY MAINTAINING ALL EXISTING VEGETATIVE GROWTH WITHIN THE GRADING LIMITS FOR AS LONG AS PRACTICAL.
- INSTALL A SILT FENCE AROUND ALL STOCKPILED TOPSOIL.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SEEDING FOR ALL AREAS THAT ARE DISTURBED AND OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED IN LESS THAN 14 DAYS.
- SEQUENCE OF EROSION AND SEDIMENT CONTROL EVENTS:
  - INSTALL INLET PROTECTION AROUND EXISTING INTAKES AS INDICATED ON THE SITE CONSTRUCTION PLAN. USE THESE LOW AREAS AS SEDIMENT BASINS DURING CONSTRUCTION.
  - INSTALL PERIMETER SILT FENCE AS INDICATED ON THE SITE CONSTRUCTION PLAN.
  - INSTALL SILT FENCE AROUND ANY TOPSOIL OR EXCESS SOIL STOCKPILES. APPLY TEMPORARY SEEDING TO ALL TOPSOIL OR EXCESS SOIL STOCKPILES.
  - INSTALL STONE SUBBASE ON STREET AREAS FOLLOWING COMPLETION OF GRADING.
  - APPLY TEMPORARY SEEDING TO ALL DENUDED AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR 14 DAYS OR MORE. FERTILIZE AND LIME IF NEEDED. APPLY MULCH ON SLOPES GREATER THAN 4:1 (HORIZONTAL:VERTICAL).
  - DESTROY TEMPORARY SEEDING AND APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS NOT TO BE HARD SURFACED. FERTILIZE AND MULCH PERMANENT SEEDING AS REQUIRED. APPLY MULCH AT 1.5 TO 2.0 TONS PER ACRE ON SLOPES GREATER THAN 4:1.
  - WHEN CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH PERMANENT SEEDING, REMOVE ACCUMULATED SEDIMENT FROM ANY SEDIMENT BASINS, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVALS.

STORM SEWER NOTES

- RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
- RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-2 BEDDING PER SUDAS FIGURE 3010.102 (IDOT STANDARD ROAD PLAN SW-102). STORM SEWERS MAY BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
- HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORRUGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
- HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS F-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
- STORM SEWER LINES SHALL BE A MINIMUM OF 10' FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
- ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25', 50' AND THEN EVERY 100' BETWEEN MANHOLES.
- THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

STORMWATER POLLUTION PREVENTION:

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES FROM THE DATE CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION. THE CONTRACTOR SHALL MAINTAIN THE SWPPP PER THE REQUIREMENTS OF GENERAL PERMIT NO. 2. ALL OPERATORS/CONTRACTORS WORKING ONSITE MUST SIGN THE CERTIFICATION STATEMENT PROVIDED AND WILL BECOME CO-PERMITTEES ON THE NPDES GENERAL PERMIT NO. 2 FOR THIS SITE. ALL OPERATORS/SUBCONTRACTORS WORKING ONSITE SHALL BE SUPPLIED A COPY OF THE SWPPP BY THE CONTRACTOR AND MUST BE FAMILIAR WITH ITS CONTENTS. THE SWPPP MUST BE PERIODICALLY UPDATED TO SHOW CURRENT EROSION CONTROL PRACTICES PER THE REQUIREMENTS OF THE GENERAL PERMIT #2. UPDATED VERSIONS OF THE SWPPP WILL BE PROVIDED TO ALL OF THE OPERATORS/SUBCONTRACTORS WHOM ARE AFFECTED BY THE CHANGES MADE TO THE SWPPP. IT WILL BE THE DUTY OF THE CONTRACTOR TO SEE THAT THESE REQUIREMENTS ARE MET.

ENGINEER:

PROJECT NAME: PROGRESSIVE REHAB

PROJECT NO.: 210119

CLIENT NAME: WEST BRANCH, IA 52358

DESIGN PROFESSIONAL: BOELK

DATE: 05-11-2022

DESCRIPTION OF CHANGES: FIRST SUBMITTAL

REV: 1

NOT FOR CONSTRUCTION

LEGEND & GENERAL NOTES

AXIOM CONSULTANTS

WWW.AXIOM-CON.COM | (319) 519-6220

PCC PAVEMENT NOTES

1.

PCC PAVING THICKNESS SHALL BE 6-INCH ON 6-INCH GRANULAR SUBBASE, UNLESS STATED OTHERWISE.
2.

MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
3.

MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5% COARSE AGGREGATE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
4.

CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.
5.

FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
6.

PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
7.

CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE.
8.

PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE 4 INCHES THICK. PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT LESS THAN 12 FEET WIDE SHALL BE 6 INCHES THICK. SIDEWALK THICKNESS AT ALL DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT DRIVEWAY. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE PLACED A MAXIMUM OF 5 FEET ON CENTER. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT LESS THAN 12 FEET WIDE SHALL BE PLACED A MAXIMUM OF 8 FEET ON CENTER. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% DRAINING TOWARDS BACK OF CURB, UNLESS OTHERWISE NOTED.
9.

ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
10.

CONSTRUCT 1" EXPANSION JOINTS ON PCC CURB AT ALL ENDS OF RETURN RADII.

PAVEMENT GENERAL NOTES

1.

ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2.

ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
3.

REMOVE AND REPLACE OR RESTORE ALL STREET SIGNS, PAVEMENT MARKINGS, SIDEWALK LAMPS, SIDEWALKS, STEPS, LANDSCAPE STRUCTURES, CURB AND GUTTER, STREETS, DRIVES AND ALL OTHER SURFACE STRUCTURES REMOVED OR OTHERWISE DAMAGED DURING THE COURSE OF THE WORK. SIDEWALKS SHALL BE REMOVED AND REPLACED TO NEAREST JOINT BEYOND CONSTRUCTION AREA.
4.

COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
5.

GRANULAR SUBBASE FOR PAVEMENTS SHALL MEET THE LIMITS OF GRADUATION NO. 14 (MODIFIED SUBBASE) PER IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4123.
6.

PROOF-ROLL SUBGRADE PER SECTION 2115. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.
7.

ALL CURB AND GUTTER IS 6" STANDARD CURB UNLESS STATED OTHERWISE.

DESIGN STANDARDS AND REFERENCE DRAWINGS

THE FOLLOWING SUDAS FIGURES ARE INCLUDED BY REFERENCE:		
FIGURE	TITLE	
3010.101	TRENCH BEDDING AND BACKFILL ZONES	
3010.102	RIGID GRAVITY PIPE TRENCH BEDDING	
3010.103	FLEXIBLE GRAVITY PIPE TRENCH BEDDING	
6010.602	CASTINGS FOR STORM SEWER MANHOLES	
7010.101	JOINTS	
7030.101	CONCRETE DRIVEWAY, TYPE A	
9030.101	PLANTING PIT	
9030.102	TREE STAKING, GUYING, AND WRAPPING	
9040.102	FILTER BERM AND FILTER SOCK	
9040.119	SILT FENCE	
9040.120	STABILIZED CONSTRUCTION ENTRANCE	

WATER MAIN & SERVICES NOTES

- ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.
1.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS, GENERAL SUPPLEMENTAL SPECIFICATIONS, AND SUPPLEMENTAL SPECIFICATIONS.
2.

ALL FITTINGS SHALL BE RESTRAINED.
3.

ALL PIPE JOINTS TO BE RESTRAINED AS ANNOTATED ON THE PLAN SET.
4.

MAINTAIN ALL MINIMUM CLEARANCES BETWEEN UTILITIES.
5.

CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE WITH THE CITY OF IOWA CITY.
6.

CONTRACTOR RESPONSIBLE FOR COORDINATING ON SITE INSPECTION OF WATER MAIN INSTALLATION WITH THE MUNICIPAL UTILITY.
7.

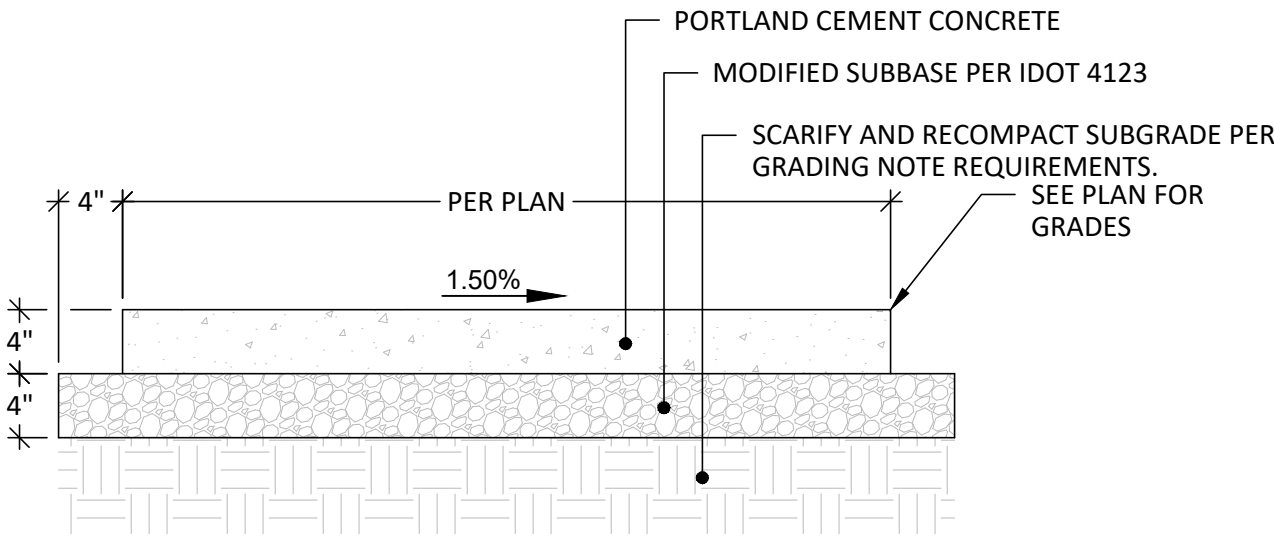
VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
8.

THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN AS-BUILTS REGARDING ASPECTS OF THE PROJECT WHICH DIFFER FROM THE CONTRACT DOCUMENTS. THIS INCLUDES BOTH EXISTING FACILITIES ENCOUNTERED AND PROPOSED FACILITIES CONSTRUCTED. THE INFORMATION SHALL INCLUDE LOCATION, DIMENSION AND MATERIAL DATA. THE LOCATION OF UNDERGROUND FACILITIES SHALL BE NOTED IF THEY DIFFER FROM THE PLANS BY MORE THAN 2 FEET HORIZONTALLY AND 0.5 FEET VERTICALLY OR ARE NOT SHOWN. FACILITIES CONSTRUCTED OR ENCOUNTERED ABOVE GROUND SHALL BE NOTED IF THEY DIFFER FROM THE PLANS BY MORE THAN 1 FOOT HORIZONTALLY AND 0.25 FEET VERTICALLY.
9.

PIPE LENGTHS FOR ALL UTILITIES ARE GIVEN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS FOR WATER MAIN ARE MEASURED BETWEEN ELBOWS, CROSSES, OR TEES (INCLUDING FH TEES).
10.

CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY OF IOWA CITY FOR ANY VARIANCE FROM THE APPROVED PLAN.
11.

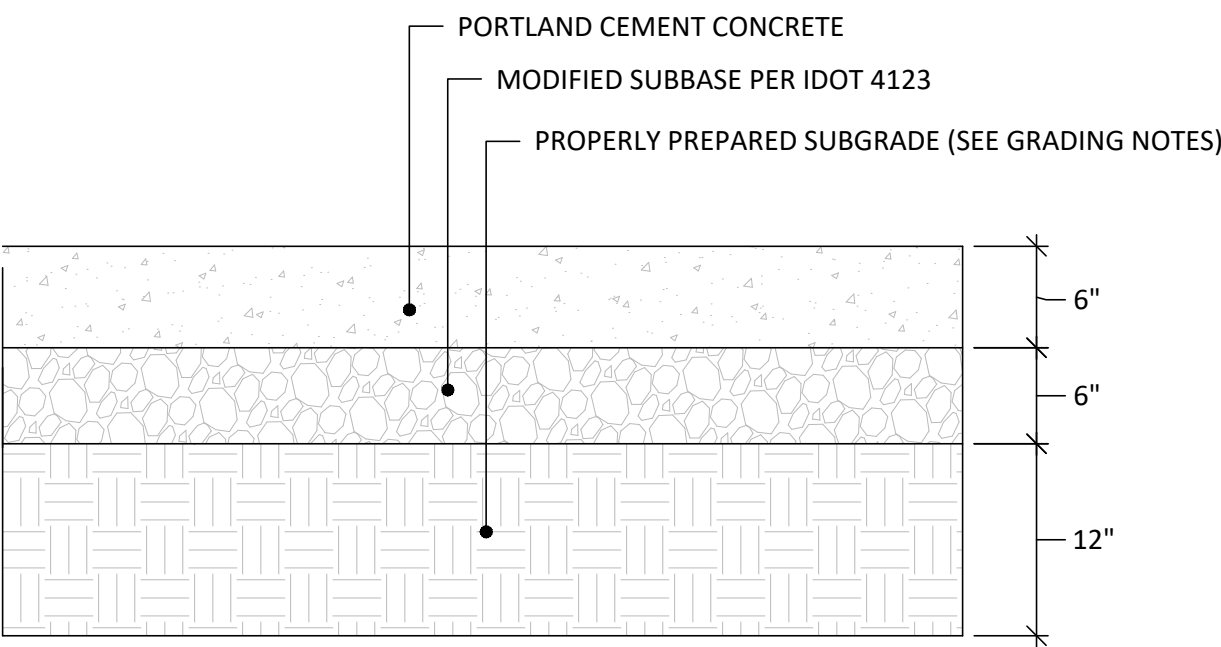
EXISTING SITE IS LOCATED IN A KNOWN LUST AREA. CONTRACTOR TO USE NITRILE GASKETS IN KNOWN AREAS.



TYPICAL SIDEWALK

NOT TO SCALE

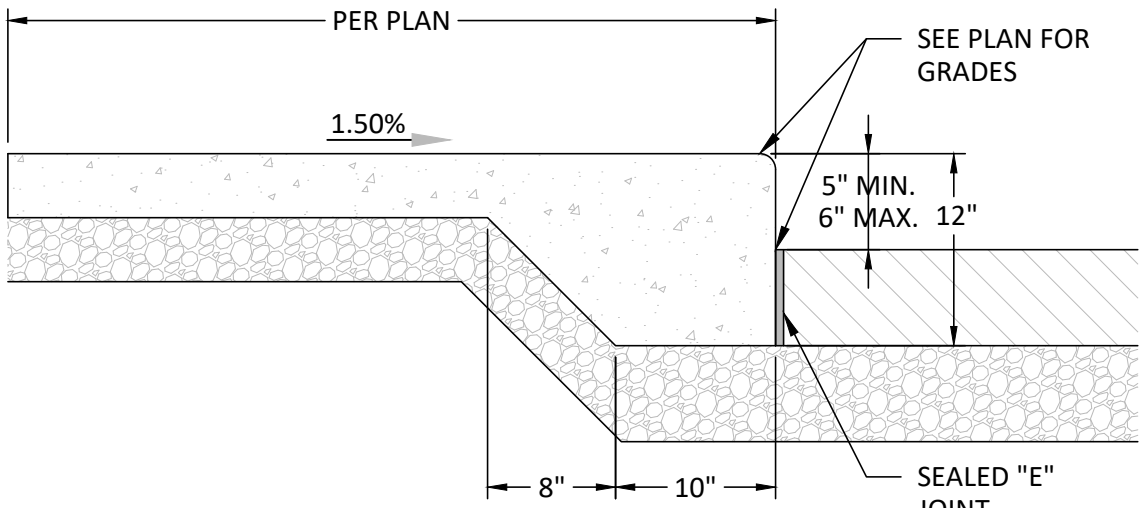
1



STANDARD DUTY PAVEMENT SECTION

NOT TO SCALE

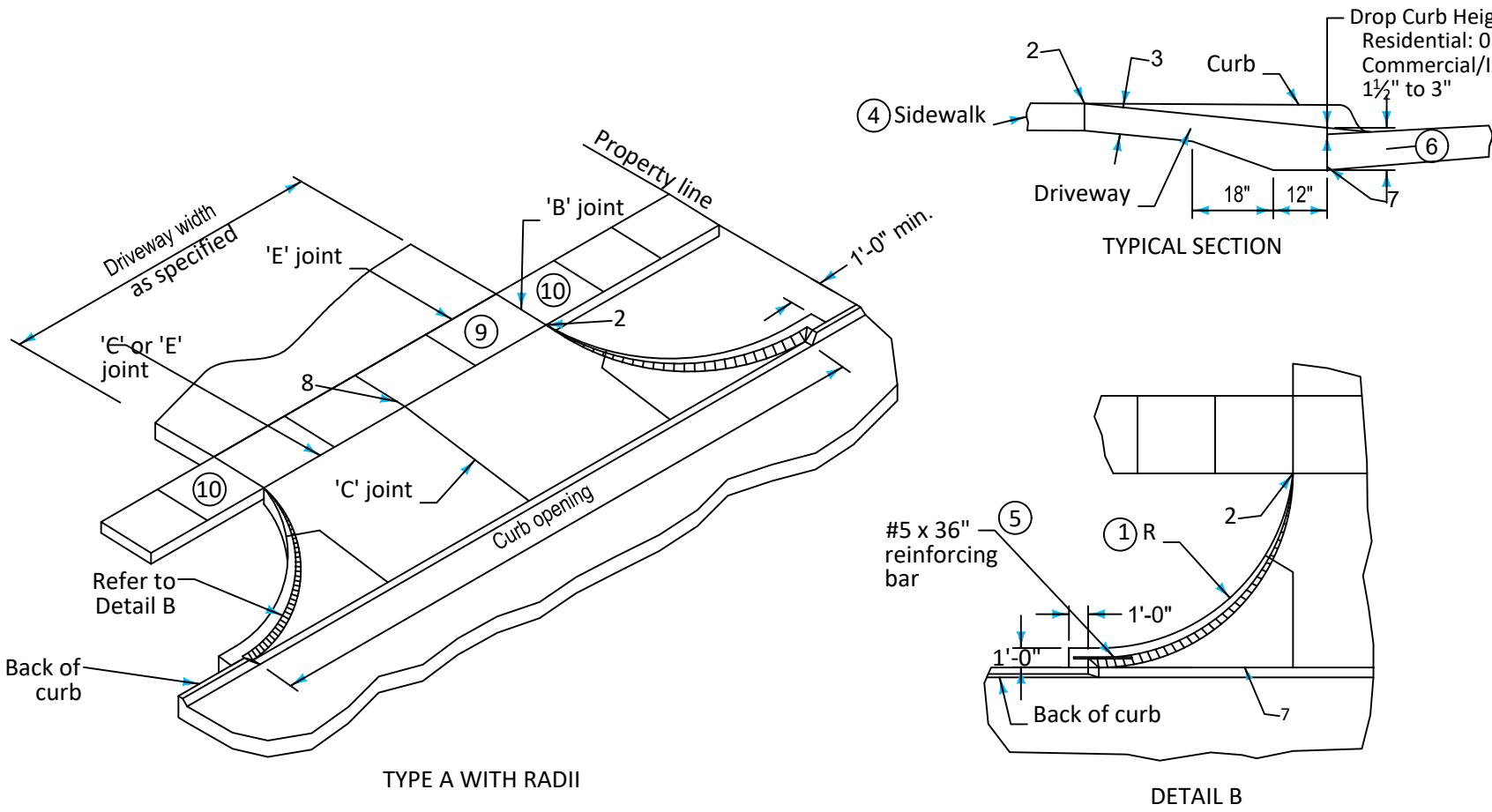
2



SIDEWALK WITH INTEGRAL CURB

NOT TO SCALE

3



CONCRETE DRIVEWAY, TYPE A 7030.101

NOT TO SCALE

4

- 1

Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- 2

Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb across sidewalk.
- 3

Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4

Sidewalk thickness through driveway to match thickness of driveway.
- 5

Center reinforcing bar vertically in the pavement.
- 6

Match thickness of adjacent roadway, 8 inches minimum.
- 7


Provide 'E' joint at back of curb unless 'B' joint is specified.
- 8

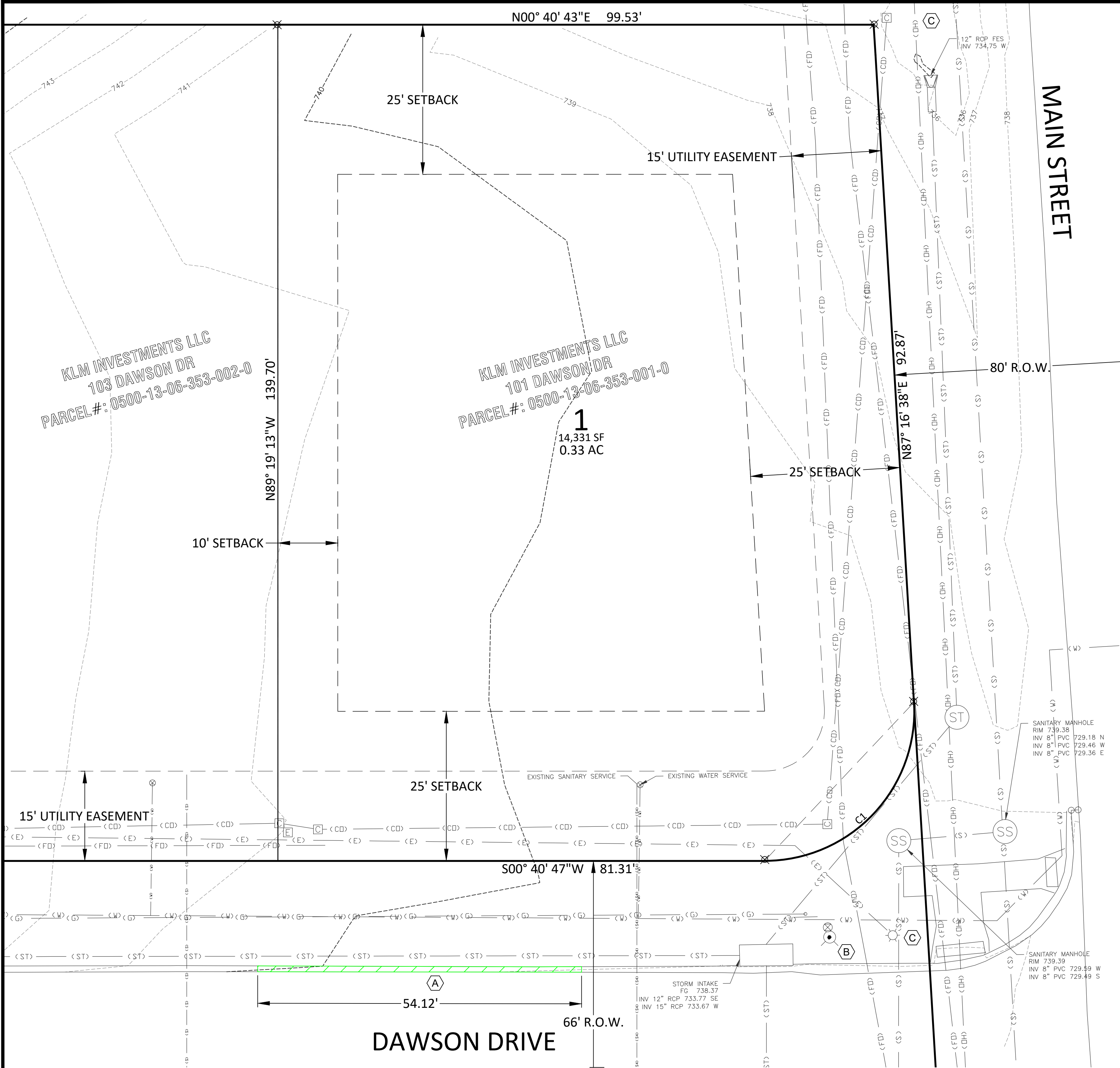
For alleys, invert the pavement crown 2% toward center of alley.
- 9

Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- 10

If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with Figure 7030.205; verify need for detectable warning panel with Engineer.

NOT FOR CONSTRUCTION

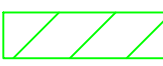
ENGINEER:				WWW.AXIOM-CON.COM   (319) 519-6220	



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.
C1	30.01	25.00	68°46'32"	S33° 42' 29"E	28.24

DEMOLITION NOTES:

- (A) PAVING REMOVAL AREA. FULL DEPTH SAWCUTS ALONG ALL AREAS WHERE ADJACENT PAVEMENT REMAINS.
- (B) EXISTING FIRE HYDRANT
- (C) EXISTING UTILITY/LIGHT POLE TO REMAIN.



NOT FOR CONSTRUCTION

ENGINEER:  
  
WWW.AXIOM-CON.COM | (319) 519-6220

0 5 10

DRAWING LOG		PROJECT NAME:	
REV	DATE	PROGRESSIVE REHAB	
		WEST BRANCH, IA 52358	
		CLIENT NAME:	

PROJECT NAME:		PROJECT NO.:	
TOPOGRAPHIC SURVEY & EXISTING CONDITIONS		210119	
DESIGN PROFESSIONAL:		BOELK	

SHEET NUMBER:

C1.00



SITE & UTILITY KEYNOTES:

- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER SERVICE ± 63 LF. COORDINATE WITH MEP PLANS FOR FINAL SIZE OF SERVICE. CONNECT TO EXISTING SANITARY SEWER STUB.
- PROVIDE ± 67 LF OF 2" PROPOSED WATER SERVICE TO BUILDING. CONTRACTOR TO PROVIDE CURB STOP WITHIN EXISTING UTILITY EASEMENT ALONG RIGHT OF WAY.
- PROPOSED SUDAS CONCRETE DRIVEWAY, TYPE A. SUDAS 7030.101
- PROPOSED SUDAS CLASS B SIDEWALK. SUDAS 7030.201 WITH INTEGRAL CURB. SEE DETAIL C0.02
- PROPOSED STANDARD DUTY PAVEMENT. SEE DETAIL C0.02
- BEGIN STANDARD CURB.
- PROPOSED LIGHTING FIXTURE. SEE LIGHTING SITE PLAN E1.00.

STORM SEWER STRUCTURES				
STRUCTURE ID	TYPE	RIM / FG	INFLOW PIPE IE	OUTFLOW PIPE IE
412	SW-509	739.10	12" IE: -0.50 E	
412.1	SW-511	739.51		12" IE: -0.50 W

STORM SEWER PIPE TABLE								
PIPE ID	STRUCTURE US	STRUCTURE DS	INVERT US	INVERT DS	LENGTH (FEET)	SLOPE	SIZE (IN)	NOTES
412.1	412.1	412	-0.50	-0.50	23	0.00%	12	RCP

LEGEND	
	SIDEWALK PCC PAVEMENT
	STANDARD DUTY PCC PAVEMENT
	SIDEWALK RAMP

NOT FOR CONSTRUCTION

ENGINEER:

DRAWING LOG

REV	DESCRIPTION OF CHANGES	DATE
1	FIRST SUBMITTAL	05-10-2022

PROJECT NAME:  
PROGRESSIVE REHAB

WEST BRANCH, IA 52358

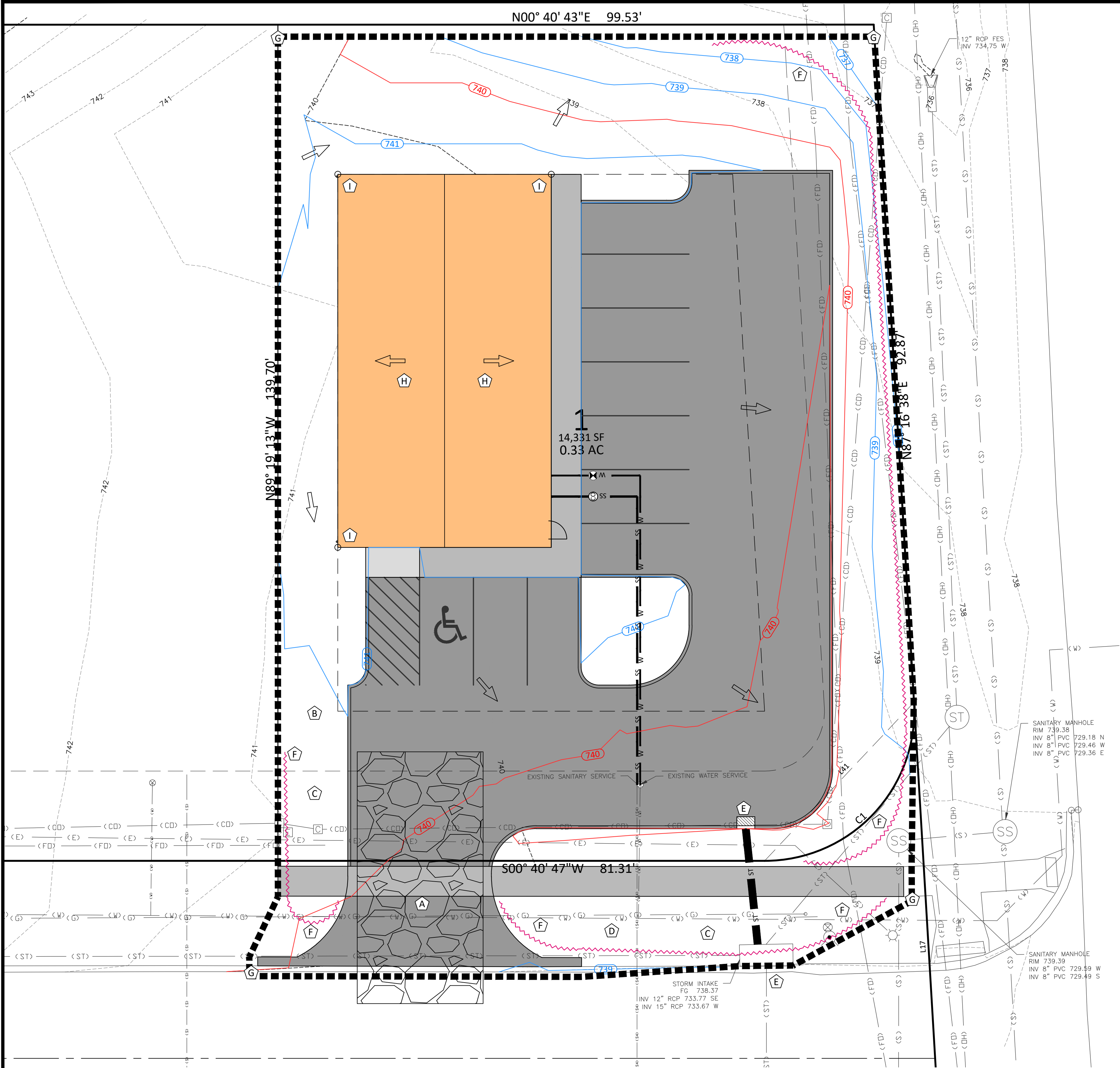
CLIENT NAME:

SHEET NO.:  
210119

DESIGN PROFESSIONAL:  
BOELK

SHEET NUMBER:

C2.00



SWPPP PLAN KEYNOTES:

- A** INSTALL STABILIZED CONSTRUCTION ENTRANCE. 50'X25'
- B** PROVIDE SANITATION FACILITY (PORTABLE RESTROOM.)
- C** PROVIDE CONCRETE WASHOUT.
- D** PROVIDE ENCLOSURE FOR STORAGE OF DOCUMENTS (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- E** PROVIDE INLET PROTECTION PRIOR TO GRADING ACTIVITIES. MAINTAIN THROUGHOUT CONSTRUCTION. REMOVE UPON FINAL STABILIZATION.
- F** INSTALL PERIMETER MEASURES PRIOR TO STARTING CONSTRUCTION.
- G** CONSTRUCTION LIMITS. ■■■■■■
- H** ROOF DIRECTION.
- I** DOWN SPOUT.

NOTES

- CONTRACTOR TO PROVIDE STOCKPILE TEMPORARY EXCAVATION SPOILS ON SITE AND PROVIDE PERIMETER MEASURES ON DOWN-SLOPE SIDE OF PILE TO CONTAIN RUNOFF AND PREVENT SEDIMENT TRANSPORTATION.
- FINAL RESTORATION OF ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND MULCHED WITH TYPE 1 LAWN MIXTURE UNLESS SHOWN OTHERWISE.
- CONTRACTOR TO PROVIDE APPROPRIATE TRAFFIC CONTROL WHEN NECESSARY. TRAFFIC CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- STORM WATER MANAGEMENT FOR THIS SITE HAS BEEN ACCOUNTED FOR WITH THE ORIGINAL DEVELOPMENT OFFSITE.
- ALL SEEDED AREAS ARE TO BE MULCHED AND SLOPES OF GREATER THAN 4:1 ARE TO BE SEEDED AND MATTED.

LEGEND:

- SILT FENCE OR FILTER SOCK
- SURFACE FLOW DIRECTION

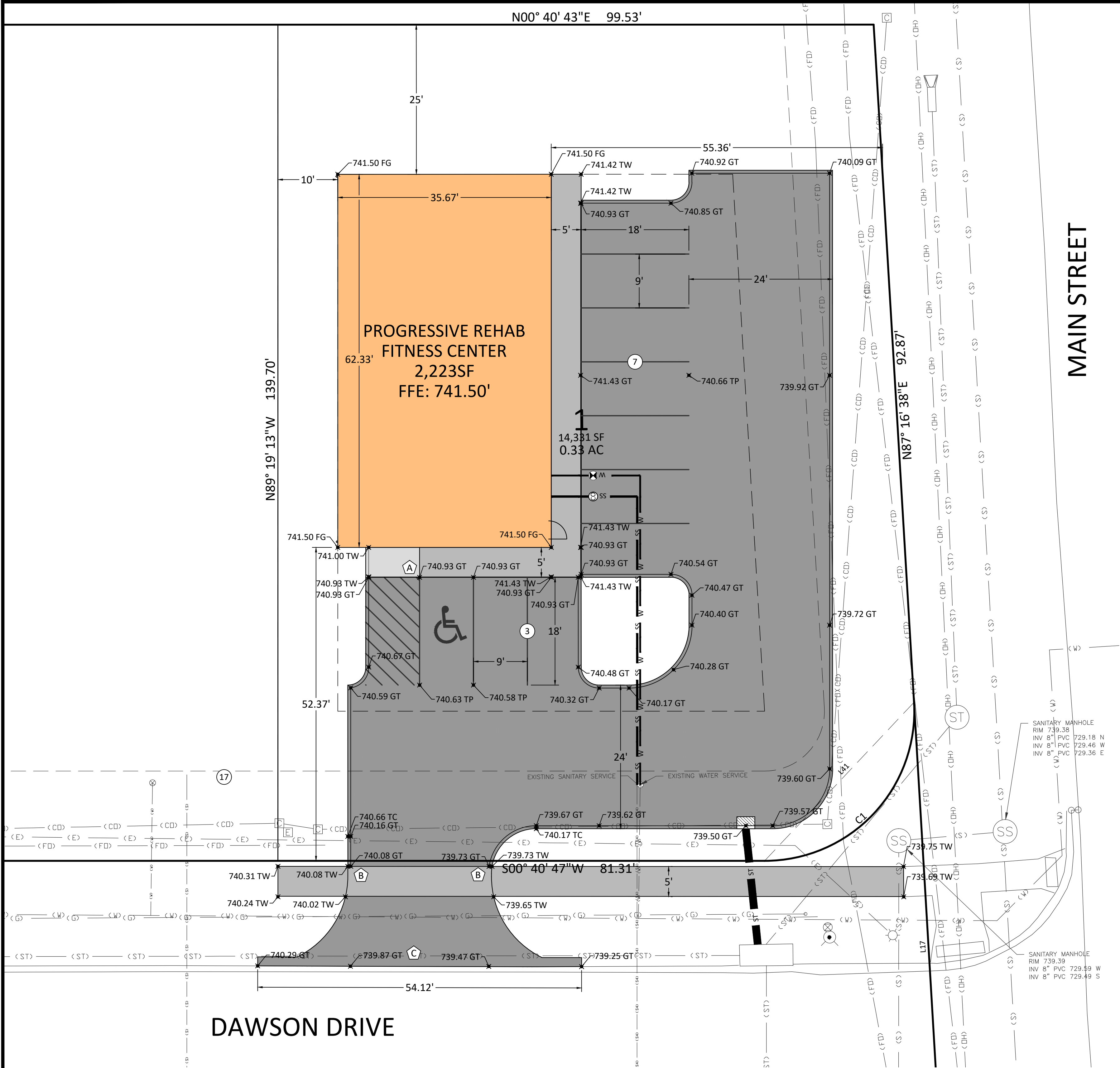
STORMWATER POLLUTION PREVENTION:

SITE AREA: THE SITE IS APPROXIMATELY 0.33 ACRES OF WHICH 0.33 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

RECEIVING WATERS: THE DEVELOPMENT SITE WILL DRAIN A TRIBUTARY OF HOOVER CREEK TO HOOVER CREEK AND ULTIMATELY TO THE CEDAR RIVER.

NOT FOR CONSTRUCTION

ENGINEER: 		DRAWING LOG		PROJECT NAME: PROGRESSIVE REHAB		SHEET NAME: EROSION CONTROL PLAN	
		DESCRIPTION OF CHANGES		DATE 05-11-2022		CLIENT NAME: WEST BRANCH, IA 52358	
REV 1		FIRST SUBMITTAL				DESIGN PROFESSIONAL: BOELK	
						PROJECT NO.: 210119	
						SHEET NUMBER: C3.00	



ENGINEER:

AXIOM

CONSULTANTS

WWW.AXIOM-CON.COM | (319) 519-6220

0

5

10

0

5

10

DATE

05-11-2022

DESCRIPTION OF CHANGES

FIRST SUBMITTAL

REV

1

PROJECT NAME:

PROGRESSIVE REHAB

PROJECT NO.:

210119

CLIENT NAME:

WEST BRANCH, IA 52358

DESIGN PROFESSIONAL:

BOELK

SHEET NUMBER:

C4.00

PROJECT NAME:

PROGRESSIVE REHAB

PROJECT NO.:

210119

CLIENT NAME:

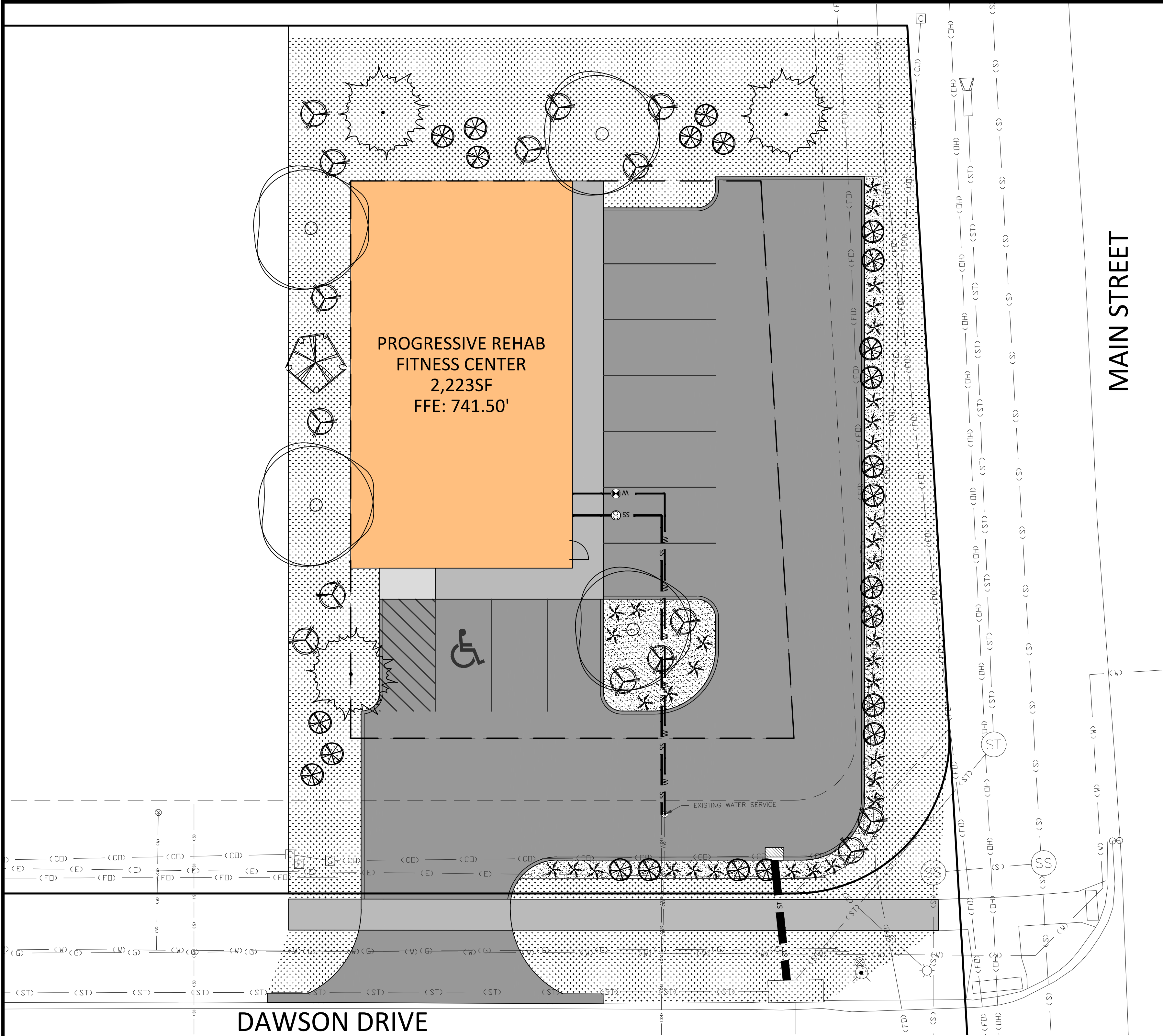
WEST BRANCH, IA 52358

DESIGN PROFESSIONAL:

BOELK

SHEET NUMBER:

C4.00



MAIN STREET

LANDSCAPE LEGEND

PLANTS:

SR

PROPOSED DECIDUOUS LARGE TREE

SKF

PROPOSED EVERGREEN LARGE TREE

LT

PROPOSED DECIDUOUS SMALL TREE

SJ

DECIDUOUS SHRUB

JXP

EVERGREEN SHRUB

SSS

ORNAMENTAL GRASSES

GROUND COVER:

ROCK MULCH WITH STEEL EDGING OR APPROVED ALTERNATIVE/EQUAL

TYPE 1 SEED, FERTILIZE, AND MULCH

ID	QTY.	BOTANICAL/COMMON NAME	MAT. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
SR	4	Syringa Reticulata JAPANESE TREE LILAC	25' H X 20' W	BB	SEE PLAN	MIN. OF 1.5" TRUNK DIAMETER AT 6" ABOVE GRADE
LT	1	Liriodendron Tulipifera TUPLIP TREE	60' H X 40' W	BB	SEE PLAN	MIN. OF 1.5" TRUNK DIAMETER AT 6" ABOVE GRADE
DECIDUOUS SHRUBS						
SJ	23	Spirea Japonica 'Walburna' MAGIC CARPET SPIREA	2' H X 2' W	BB	SEE PLAN	MIN. OF 12" HEIGHT WHEN PLANTED
EVERGREEN TREES						
SKF	3	Abies Koreana 'Silberlocke' SILVER KOREAN FIR	12' H X 8' W	BB	SEE PLAN	MIN. OF 36" HEIGHT WHEN PLANTED
EVERGREEN SHRUBS						
JXP	15	Juniperus x Pfitzeriana 'Mint Julep' MINT JUPEL CHINESE JUNIPER	4-5' H X 4-8' W	2 GAL.	SEE PLAN	MIN. OF 24" HEIGHT WHEN PLANTED
ORNAMENTAL PLANTS AND GRASSES						
SSS	33	Schizachyrum Scoparium 'Standing Ovation' PP#25, 202 STANDING OVATION LITTLE BLUE STEM	2-3' H X 1-2' W	2GAL.	SEE PLAN	MIN. OF 24" HEIGHT WHEN PLANTED
ALL PLANTS NURSERY MATCHED, QUALITY SPECIMEN; PLANS SHALL SUPERCEDE PLANT COUNTS						

NOT FOR CONSTRUCTION

ENGINEER:  
  
WWW.AXIOM-CON.COM | (319) 519-6220

0 5 10

DRAWING LOG		DATE	
REV	DESCRIPTION OF CHANGES	05-11-2022	
1	FIRST SUBMITTAL		

PROJECT NAME:  
PROGRESSIVE REHAB

WEST BRANCH, IA 52358

CLIENT NAME:

SHEET NAME:  
LANDSCAPE PLAN

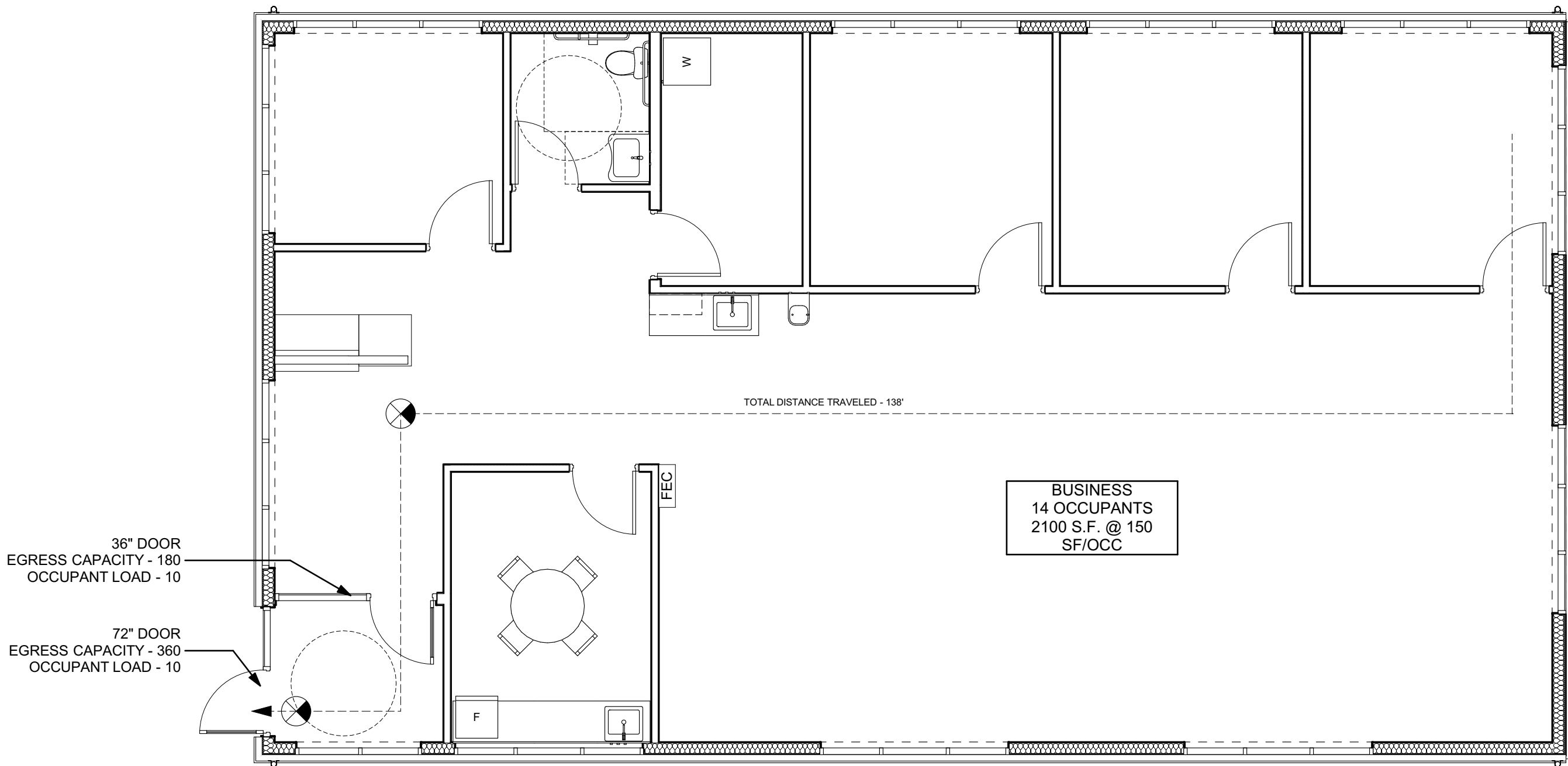
PROJECT NO.:  
210119

DESIGN PROFESSIONAL:  
BOELK

SHEET NUMBER:

L1.00

# DAWSON PLAZA



## LIFE SAFETY LEGEND

EXIT TRAVEL PATH AND DISTANCE (250' MAX)  
EGRESS COMPONENT CAPACITY  
FIRE EXTINGUISHER CABINET  
EXIT SIGN  
1 HR RATED PARTITION  
2 HR RATED PARTITION

TOTAL DISTANCE TRAVELED - XXX'

XX' STAIR  
EGRESS CAPACITY - XX  
OCCUPANT LOAD - X

FEC



## GRAPHIC SYMBOLS

### WINDOW MARKER

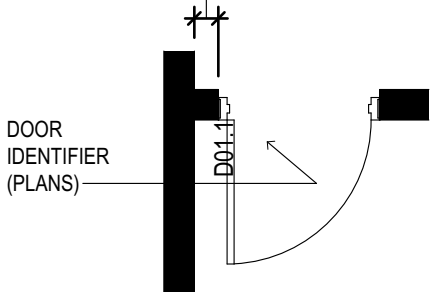
W01

### SKYLIGHT MARKER

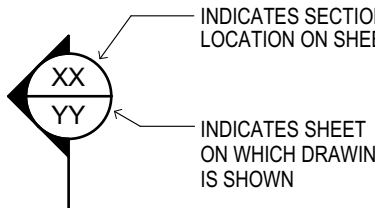
S01

### DOOR IDENTIFIERS

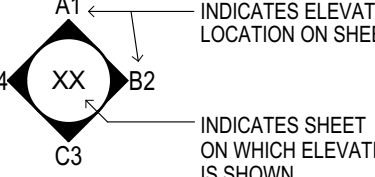
DOOR IDENTIFIER (ELEVATIONS/SECTIONS)  
6" TYPICAL, UNLESS OTHERWISE NOTED



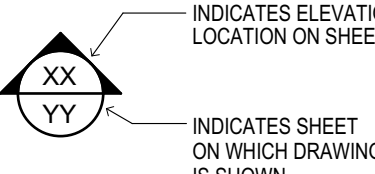
### SECTION / DETAIL MARKER



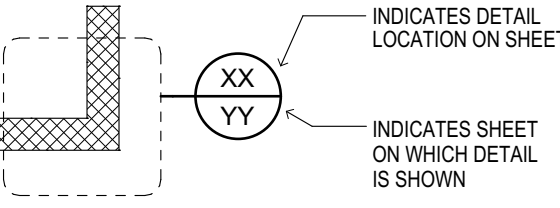
### INTERIOR ELEVATION MARKER



### ELEVATION / SECTION MARKER



### DETAIL / ENLARGED PLAN MARKER



### SPACE DESIGNATION

OFFICE  
SPACE NAME  
SPACE NUMBER  
ENLARGED PLAN REFERENCE

### WALL TYPE MARKER

(SEE PARTITION LEGEND)

### KEYNOTE IDENTIFIER

KEYNOTE: SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT  
ALTERNATE KEYNOTE: SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT

## ABBREVIATIONS

A.D. AREA DRAIN  
ADA ACCESSIBLE / AMERICANS  
ADJ. ADJUSTABLE  
A.O.R. AREA OF REFUGE  
ALUM. ALUMINUM  
ALT. ALTERNATE  
A.F.F. ABOVE FINISHED FLOOR  
AC. ACOUSTIC / ACOUSTICAL  
A.F. ALUMINUM FACE  
APPX. APPROXIMATE / APPROXIMATELY  
BD. BOARD  
BLK. BLOCK / BLOCKING  
BLDG. BUILDING  
B.O. BOTTOM OF  
B.O.S. BOTTOM OF STEEL  
C.A.B. CABINET  
C.C. CENTER-TO-CENTER  
CLG. CEILING  
CLOS. CLOSURE  
C.M.U. CONCRETE MASONRY UNIT  
C.J. CONTROL JOINT  
CONC. CONCRETE  
CORR. CORROSION  
COL. COLUMN  
CONT. CONTINUE / CONTINUOUS  
CONTR. CONTRACTOR  
DIA. DIAMETER  
DTL. DETAIL  
DN. DOWN  
DWG. DRAWING  
DEPT. DEPARTMENT  
DBL. DOUBLE  
DIM. DIMENSION  
DR. DOOR  
EXIST. EXISTING  
EQ. EQUAL  
E.C. ELECTRICAL CONTRACTOR  
EL. ELEVATION  
ELEV. ELEVATOR  
ELEC. ELECTRIC / ELECTRICAL  
EXP. EXPANSION  
EXT. EXTERIOR  
EA. EACH  
F.D. FLOOR DRAIN  
F.E. FIRE EXTINGUISHER  
F.E.C. FIRE EXTINGUISHER CABINET  
FIN. FINISH / FINISHED  
FLR. FLOOR  
F.O. FACE OF  
FT. FEET / FOOT  
FLUOR. FLUORESCENT  
GYP. GYPSUM  
GALV. GALVANIZED  
GA. GAUGE  
G.C. GENERAL CONTRACTOR  
HR. HOUR  
H.P. HIGH POINT  
HVAC HEAT, VENTILATION, AIR-CONDITIONING  
HORIZ. HORIZONTAL  
HT. HEIGHT  
INSUL. INSULATION / INSULATING  
I.D. INSIDE DIAMETER  
INCAND. INCANDESCENT  
JAN. JANITOR  
JOINT. JOINT  
LBS. POUNDS  
LAV. LAVATORY  
LAM. LAMINATE  
RAD. RADIUS  
MAX. MAXIMUM  
MFR. MANUFACTURER / MANUFACTURED  
MTL. METAL  
MIN. MINIMUM  
MIRR. MIRROR  
MTD. MOUNTED  
M.O. MASONRY OPENING  
MISC. MISCELLANEOUS  
MECH. MECHANICAL  
N.I.C. NOT IN CONTRACT  
NO. NUMBER  
N.T.S. NOT TO SCALE  
O.C. ON CENTER  
O.D. OUTSIDE DIAMETER  
OPR. OPPOSITE  
OPG. OPENING  
P.C. PLUMBING CONTRACTOR  
P.F. PANEL FACE  
PR. PAIR  
P.T. PRESSURE TREATED  
PL. LAM  
QTY. QUANTITY  
R. RISER  
R.W.C. RAIN WATER CONDUCTOR  
REIN. REINFORCING / REINFORCED  
REQ. REQUIRED  
R.O. ROUGH OPENING  
REV. REVISED / REVISION  
REFL. REFLECTED  
REC. RECESSED  
RAD. RADIUS  
S.S. STAINLESS STEEL  
ST. STREET  
SIM. SIMILAR  
STL. STEEL  
SQ. SQUARE  
SUSP. SUSPENDED  
STD. STANDARD  
SPEC. SPECIFICATION  
TEL. TELEPHONE  
T.O. TOP OF  
T.O.S. TOP OF STEEL  
T.O.W. TOP OF WALL  
TOIL. TOILET  
TYP. TYPICAL  
THK. THICK  
TMP. TEMPERED  
TEMPERED SAFETY  
T.S.G. TENSILE STRENGTH  
U.O.N. UNLESS OTHERWISE NOTED  
U.L. UNDERWRITERS  
LABORATORIES  
VEST. VESTIBULE  
V.C.T. VINYL COMPOSITION  
W. WITH  
W.C. WATER CLOSET  
WD. WOOD  
& AND  
@ AT  
+ PLUS OR MINUS  
- MINUS  
° DEGREE  
∠ ANGLE  
| CHANNEL  
# NUMBER  
□ SQUARE  
∅ ROUND / DIAMETER  
|| CENTER LINE  
// PLATE  
U-BAR  
LEG-BAR

### VERIFY SCALE

BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

IF BAR IS NOT ONE (1) INCH LONG, ADJUST SCALE ACCORDINGLY

## PROJECT DIRECTORY

### OWNER

### ARCHITECT

HORIZON ARCHITECTURE  
3116 ALPINE COURT IOWA CITY IA 52245  
PHONE: (563) 506-4965  
CONTACT: MICHAEL NOLAN, AIA  
EMAIL: MICHAEL@HORIZON-ARCHITECTURE.COM

### CIVIL AND STRUCTURAL ENGINEER

AXIOM CONSULTANTS  
60 EAST COURT STREET #3  
IOWA CITY, IA 52240  
CONTACT: BRIAN BOELK  
PHONE: (391) 519-6222  
EMAIL: bboelk@axiom-con.com

## SHEET INDEX

ID	Name
C-101	COVER SHEET
A-101	FLOOR PLANS
A-102	ROOF PLAN AND RCP
A-201	ELEVATIONS
A-301	SECTIONS
A-302	TYPICAL EXTERIOR WALL SECTIONS
A-401	ENLARGED PLANS AND DETAILS
A-501	TYPICAL DETAILS
A-601	DOORS AND WINDOWS

## BUILDING CODE SUMMARY

### APPLICABLE CODES AND ORDINANCES

2018 IBC: ALL APPLICABLE CHAPTERS  
ANSI 117.1, 2009 EDITION: ALL APPLICABLE CHAPTERS

### PROJECT SCOPE: NEW CONSTRUCTION

NEW BUILDING FOR PHYSICAL THERAPY

### BUILDING AND PROJECT DATA

BUILDING DESCRIPTION AND USE 1 STORY BLDG. A-3 ASSEMBLY, A-2 ASSEMBLY, B BUSINESS, M MERCANTILE

	IBC 2018	REQUIRED/ALLOWED	PROVIDED
USE AND OCCUPANCY	CHAPTER 3		B
CONSTRUCTION TYPE	SECTION 602 AND TABLE 601		VB
AUTOMATIC SPRINKLER AND FIRE ALARM SYSTEM	NOT REQUIRED BY IBC		NO
BUILDING HEIGHT	TABLE 504.3	50' MAX.	APPX. 15'-0"
BUILDING STORIES ABOVE GRADE	TABLE 504.4	2	1
GROSS BUILDING AREA			2,100 SQ. FT.
LARGEST FLOOR AREA / STORY	TABLE 506.2	9,000 SQ. FT. MAX.	2,100 SQ. FT.
SEPARATED OCCUPANCIES	TABLE 508.4	NOT REQUIRED	N/A

OCCUPANCY CALCS	AREA	REQUIRED	OCCUPANT LOAD
BUSINESS	2,100 SQ. FT. (GROSS)	150 SQ. FT. / PERSON (GROSS)	14

FIRE RESISTANCE RATINGS	IBC 2009	REQUIRED	PROVIDED
PRIMARY STRUCTURAL FRAME	TABLE 601 AND SECTION 704	0 HOUR	0 HOUR
BEARING WALLS			
EXTERIOR	TABLE 601, 602 & SECTION 705	0 HOUR	0 HOUR
INTERIOR	TABLE 601	0 HOUR	0 HOUR
NONBEARING WALLS AND PARTITIONS			
EXTERIOR	TABLE 601, 602 & SECTION 705	0 HOURS	0 HOURS
INTERIOR	TABLE 601	0 HOURS	0 HOURS
FLOOR CONSTRUCTION	TABLE 601	0 HOUR	0 HOUR
ROOF CONSTRUCTION	TABLE 601	0 HOUR	0 HOUR
EXTERIOR WALL OPENINGS			
UNPROTECTED	TABLE 705.8.3	NOT REQUIRED	NOT REQUIRED
PROTECTED	TABLE 705.8.2	NOT REQUIRED	NOT REQUIRED

### Code Analysis Notes

#### Chapter 3 - Use and Occupancy Classification

Business (B) - Clinic, Outpatient (Physical Therapy)

#### Chapter 6 - Types of Construction

Type VB, greater than 30' separation from adjacent structures

#### Chapter 8 - Interior Finishes

Interior Wall and Ceiling Finishes  
Rooms and Enclosed Spaces  
B

Class C - Flame spread index 76-200; smoke developed index 0-450.

#### Chapter 9 - Fire Protection and Life Safety Systems

906.3 - 1 Fire extinguisher for every 3,000 s.f. (2-A Min); 75' max travel distance  
907 - Manual Fire Alarm and Automatic Smoke Detection not required.

#### Chapter 10 - Means of Egress

Occupancy

Business - 150 s.f./Occupant

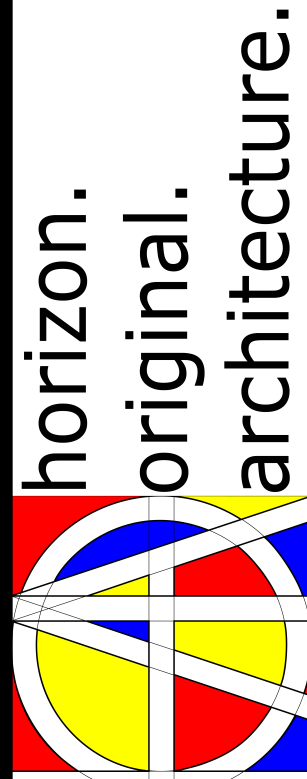
Table 1006.2.1.1 - Single exit from rehab clinic (less than 49 total occupants)

#### Chapter 11 - Accessibility

1104 - Accessible route provided onsite from parking to units.

#### Chapter 29 - Plumbing Systems

	Male Water Closets	Female Water Closets	Lavatories	Drinking Fountains	Service Sink
Business	1 per 25	1 per 40	1 per 100	1	
Required	1	1	1	1	
Provided	1	1	1	1	



MICHAEL@HORIZON-ARCHITECTURE.COM  
PH 1 (563) 506-4965  
WWW.HORIZON-ARCHITECTURE.COM

## DAWSON PLAZA

101 DAWSON DRIVE  
WEST BRANCH, IA 52358

CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION

PROJECT NO: #PIn

DATE: 4/12/2022

DRAWN BY: MSN

COPYRIGHT

### SHEET TITLE

COVER SHEET

C-101

FINISH SCHEDULE						
IDENTIFICATION		FINISH				NOTES
ROOM NUMBER	ROOM NAME	WALL	FLOOR	CEILING	BASEBOARD	
PROGRESSIVE REHAB CENTER						
001	FOYER	PNT GWB	PCF	ACT	VWB	
002	RECEPTION/WAITING	PNT GWB	CPT	ACT	VWB	
003	ADMIN DESK	PNT GWB	CPT	ACT	VWB	
004	BATHROOM	CT/PNT GWB	LVT	ACT	CT	TILE WAINSCOT TO 36"
005	STAFF/BREAK ROOM	PNT GWB	CPT	ACT	VWB	
006	CIRCULATION	PNT GWB	CPT	ACT	VWB	
007	REHAB AREA	PNT GWB	CPT	ACT	VWB	
008	EXAM ROOM	PNT GWB	CPT	ACT	VWB	
009	EXAM ROOM	PNT GWB	CPT	ACT	VWB	
010	STORAGE/MECHANICAL	PNT GWB	CF	OTS	VWB	

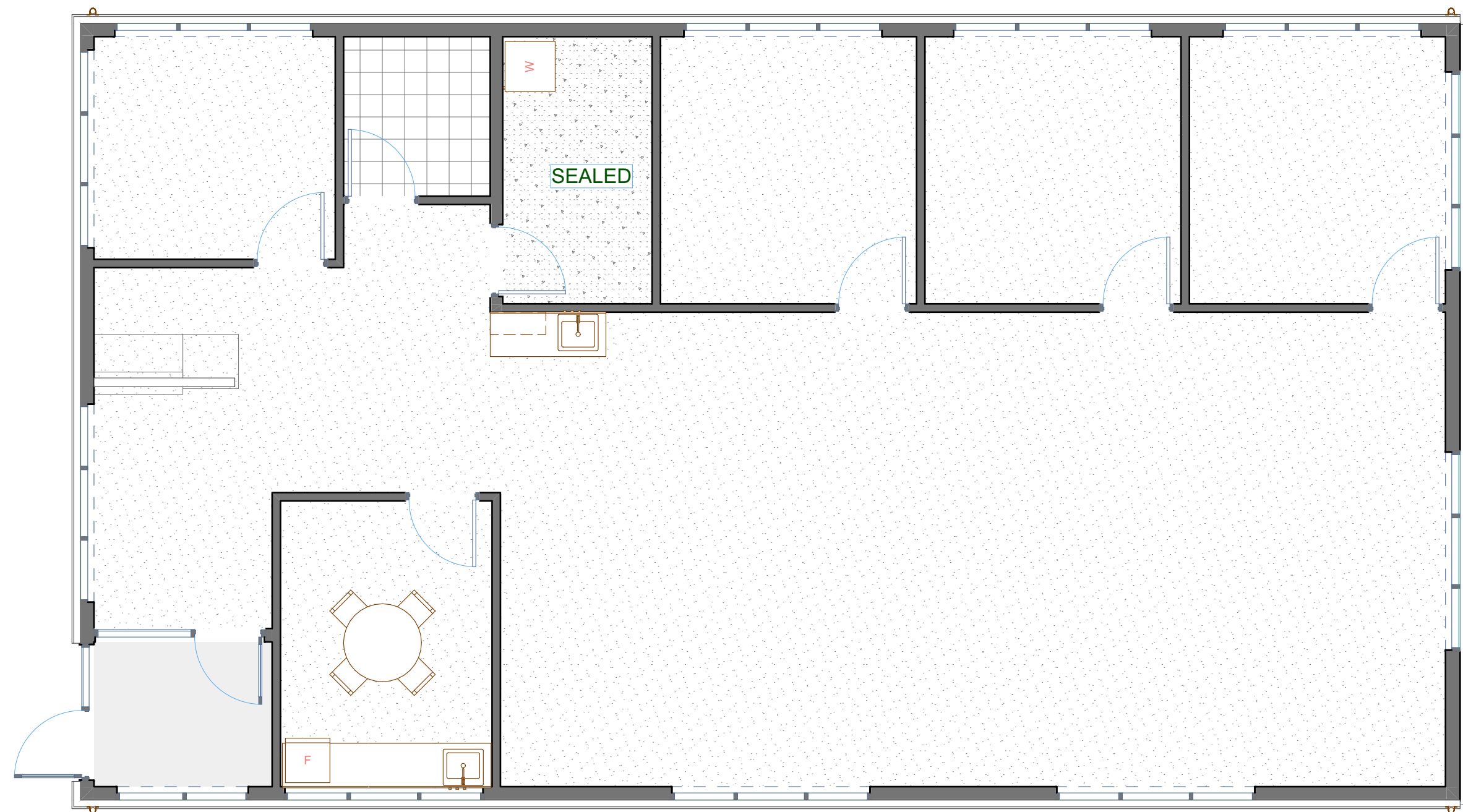
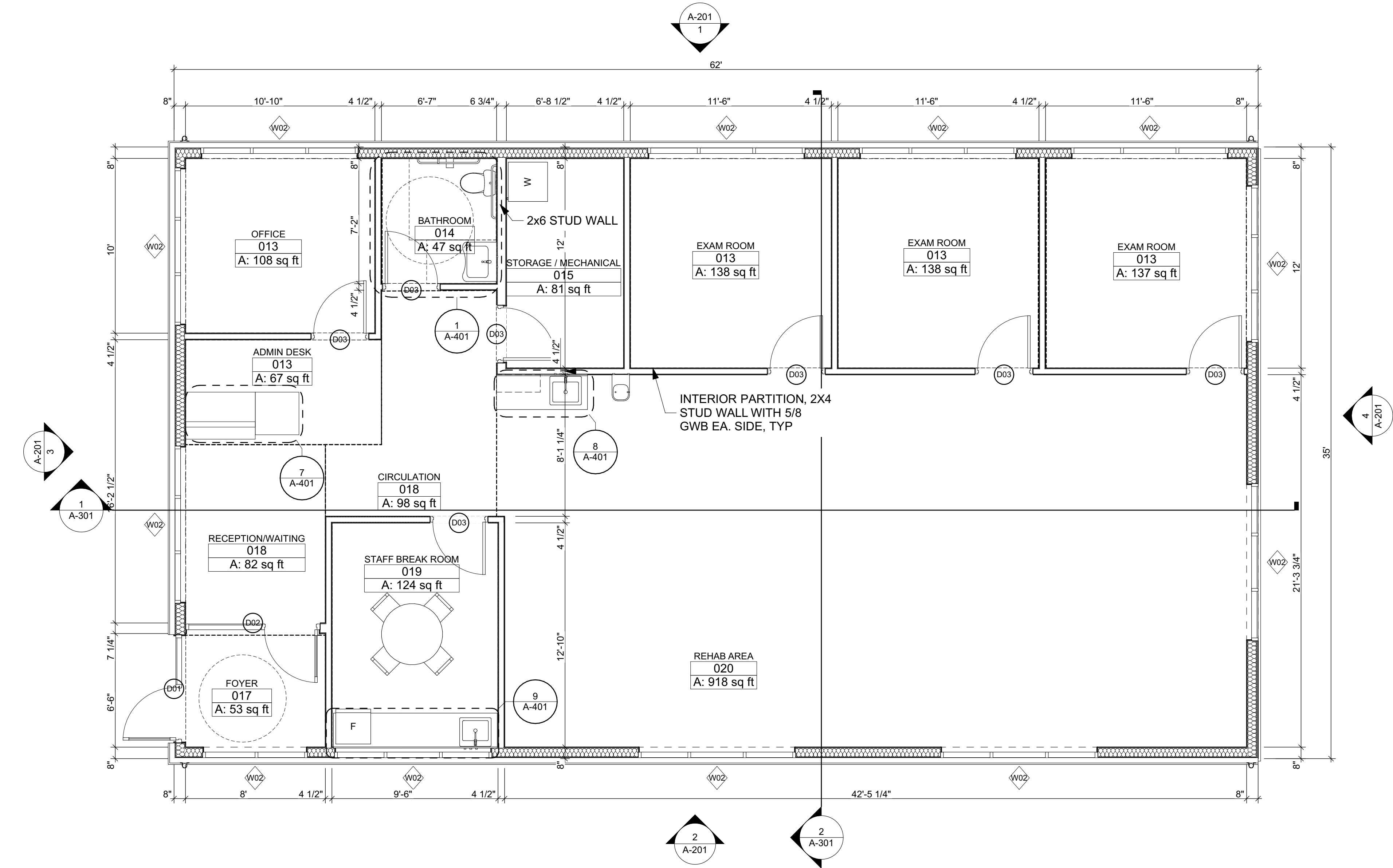
KEY

ACT - ACOUSTIC CEILING TILE  
CT - CERAMIC TILE  
CPT - CARPET  
LVT - LUXURY VINYL TILE  
PCF - POLISHED CONCRETE FLOOR  
RRF - RECYCLED RUBBER FLOORING  
CF - CONCRETE FLOOR  
PNT GWB - PAINTED GYPSUM WALLBOARD  
VWB - VINYL WALL BASE (4")

FLOOR FINISH LEGEND

RUBBER ATHLETIC FLOORING  
POLISHED CONCRETE  
LUXURY VINYL PLANK  
CARPET  
LUXURY VINYL TILE  
CONCRETE

1 1st FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 FLOOR FINISH KEY PLAN  
SCALE: 3/16" = 1'-0"

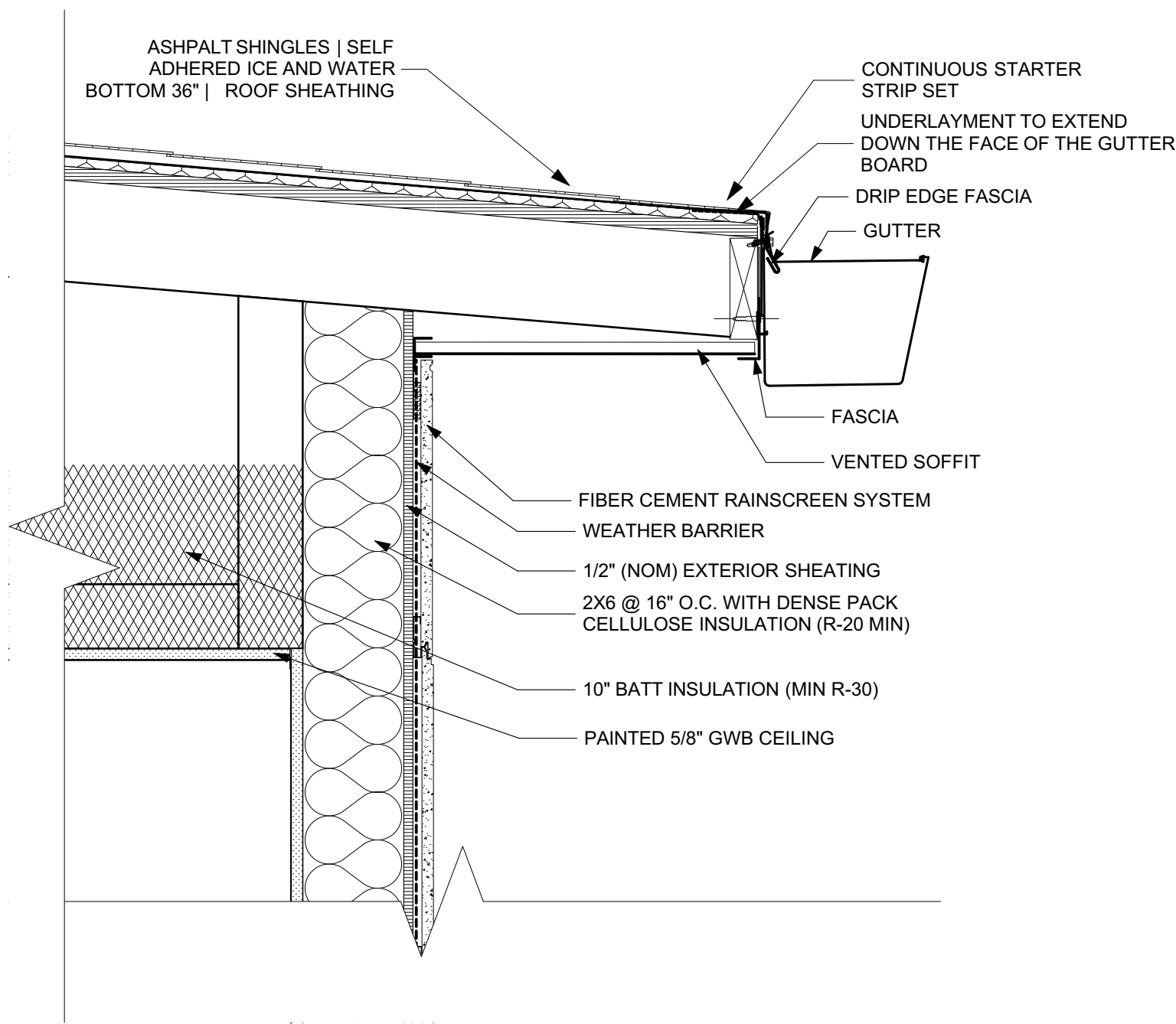


CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION

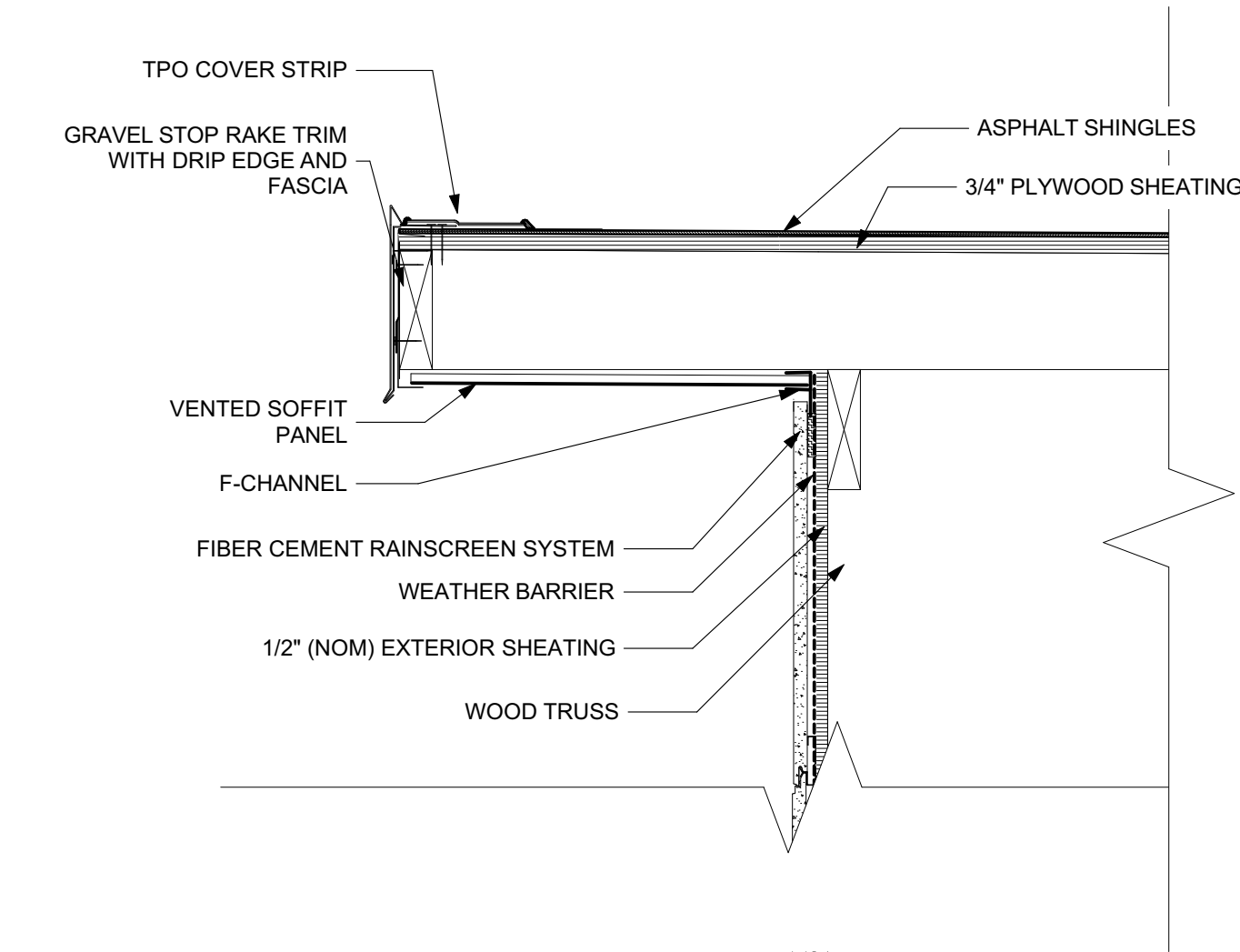
MARK	DATE	DESCRIPTION

PROJECT NO: #PIn  
DATE: 4/12/2022  
DRAWN BY: MSN  
COPYRIGHT

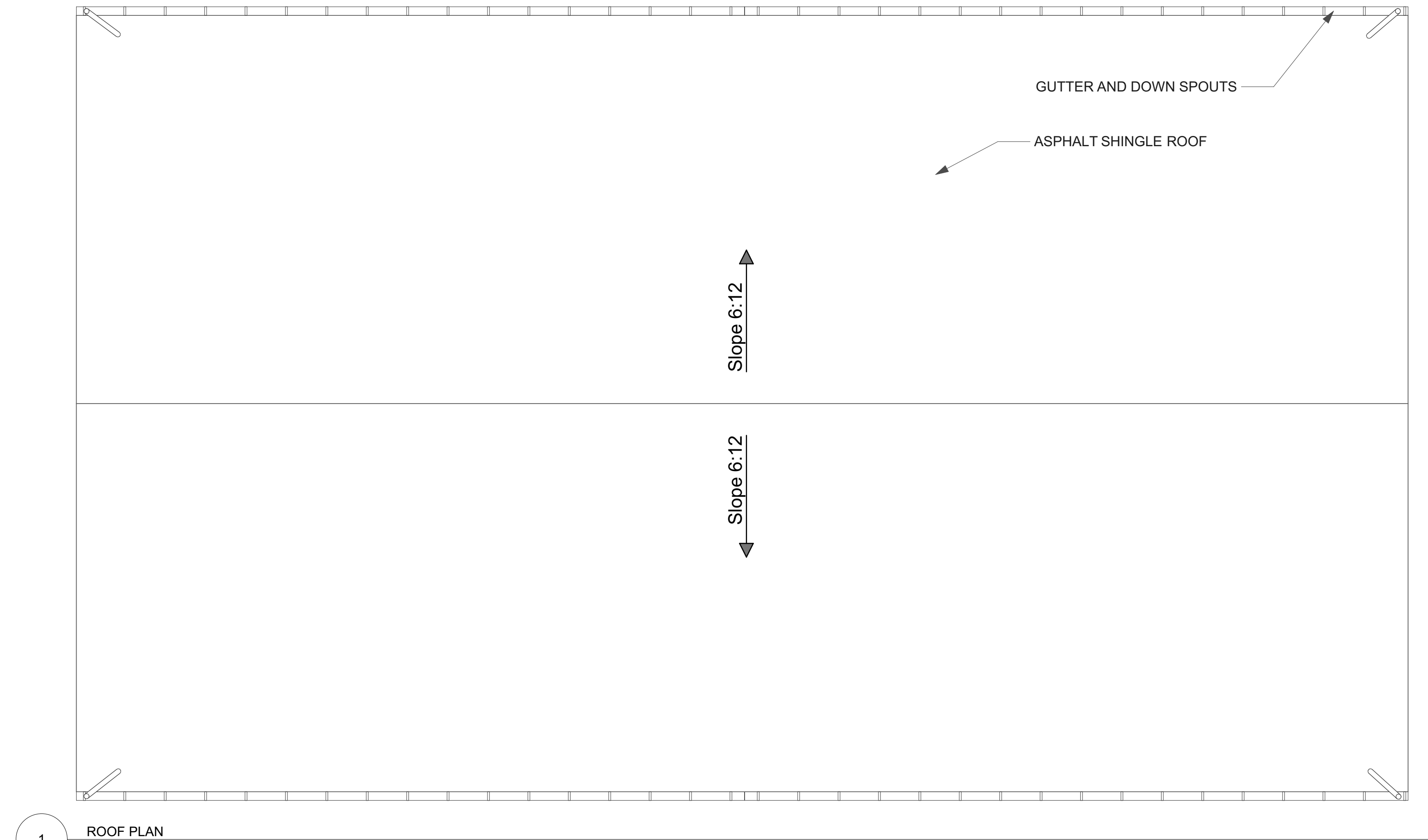
SHEET TITLE  
FLOOR PLANS



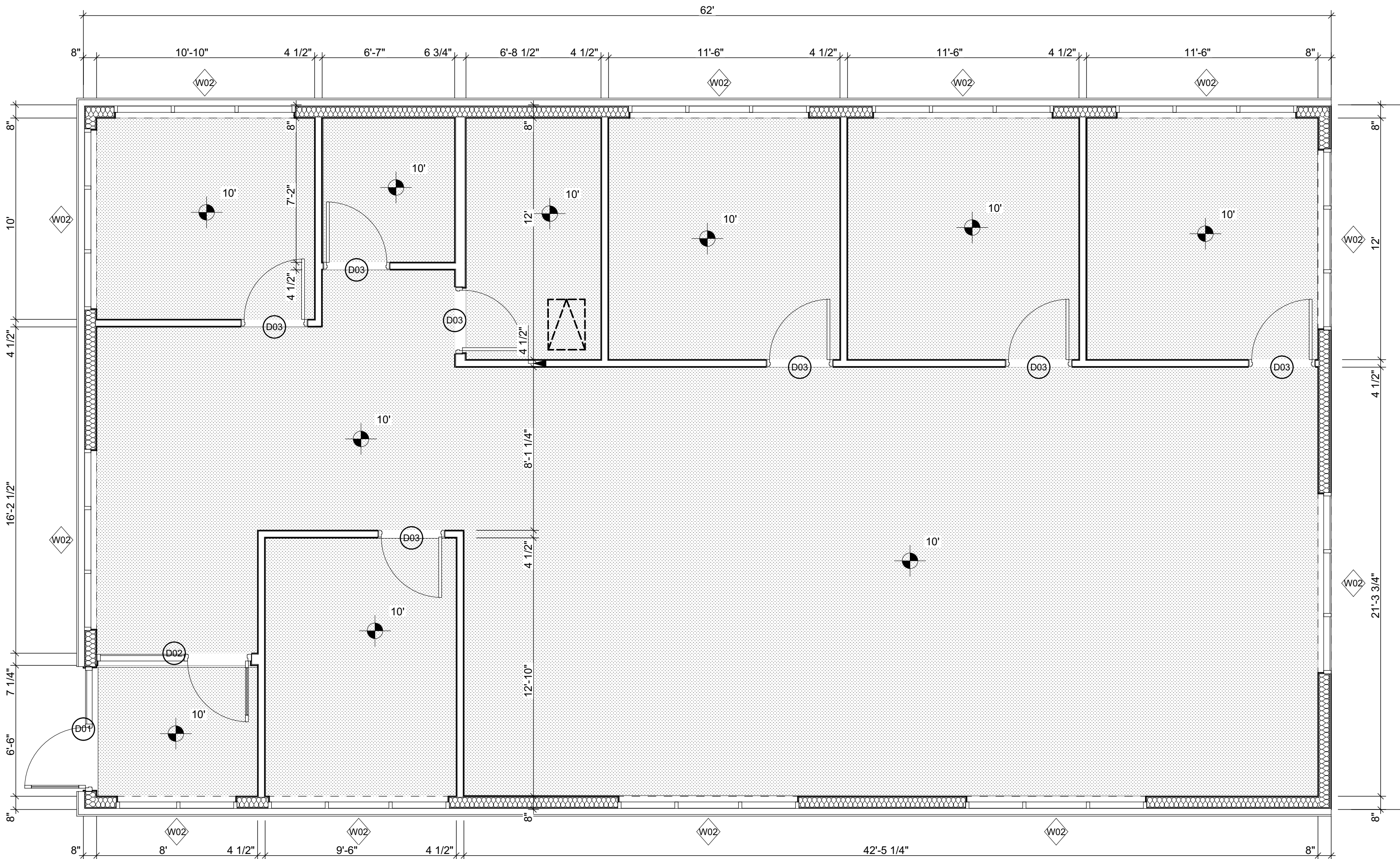
3 ROOF GUTTER DETAIL  
SCALE: 1 1/2"= 1'-0"



4 RAKE DETAIL  
SCALE: 1 1/2"= 1'-0"



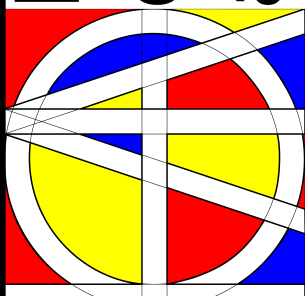
1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



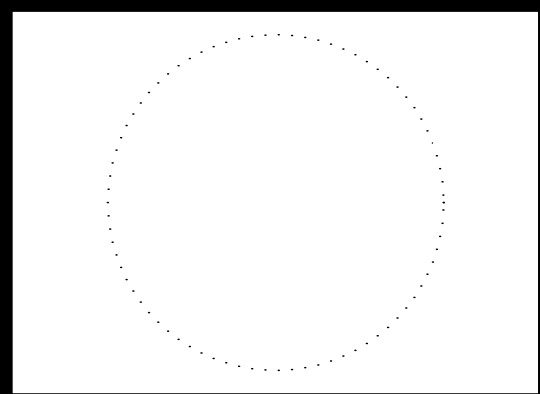
2 1st FLOOR RCP  
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION

horizon.  
original.  
architecture.



MICHAEL@HORIZON-ARCHITECTURE.COM  
PH 1 (563) 506-4965  
WWW.HORIZON-ARCHITECTURE.COM



DAWSON PLAZA

101 DAWSON DRIVE  
WEST BRANCH, IA 52358

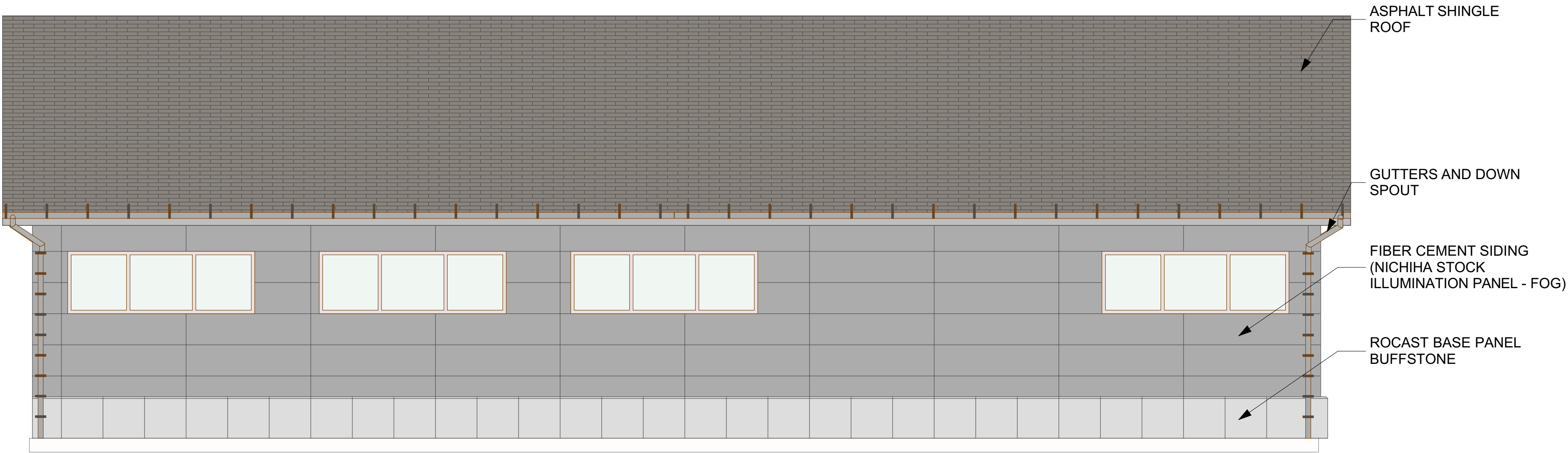
MARK	DATE	DESCRIPTION

PROJECT NO: **#Pln**  
DATE: **4/12/2022**  
DRAWN BY: **MSN**  
COPYRIGHT

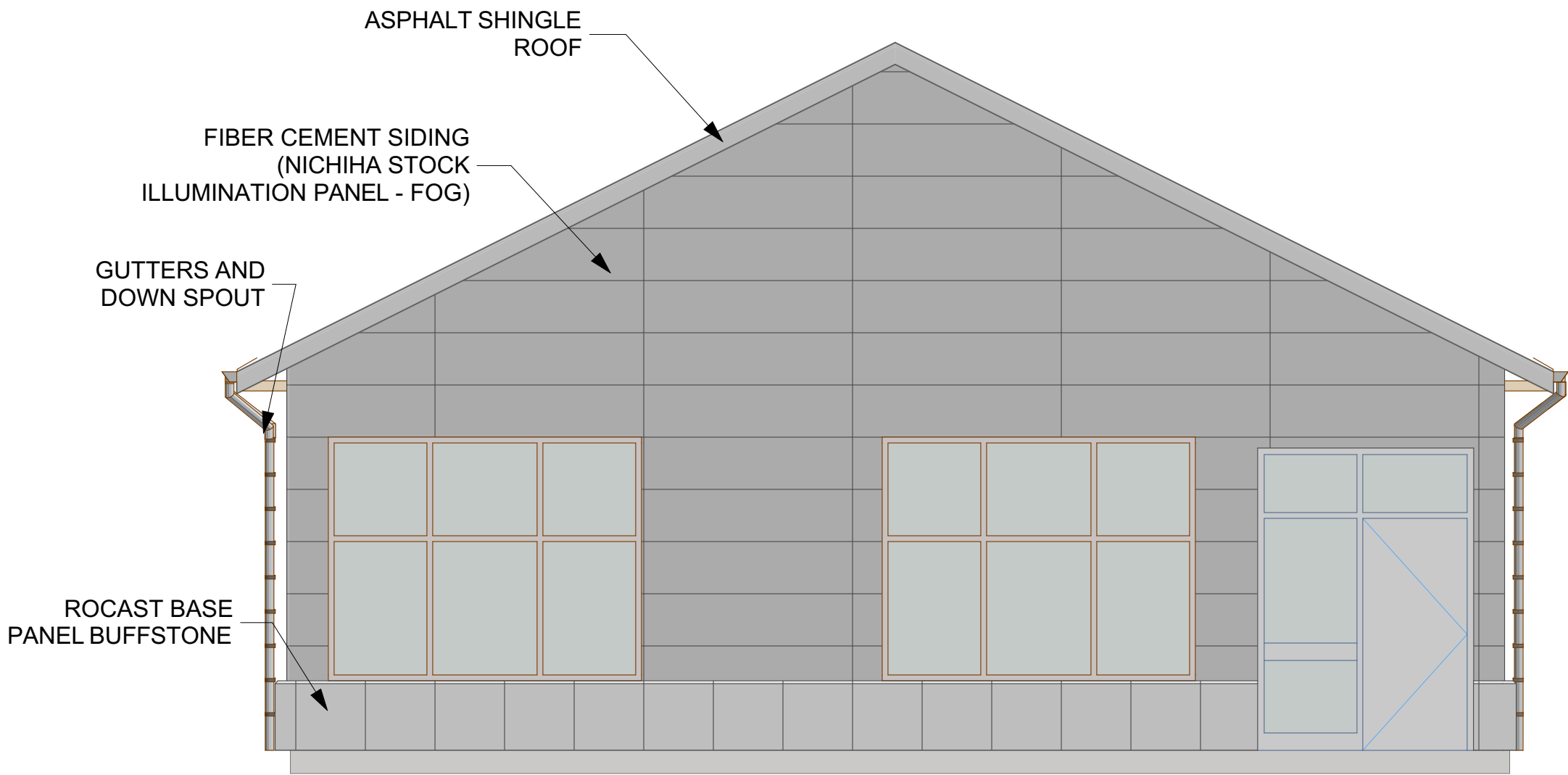
SHEET TITLE  
**ROOF PLAN  
AND RCP**

**A-102**

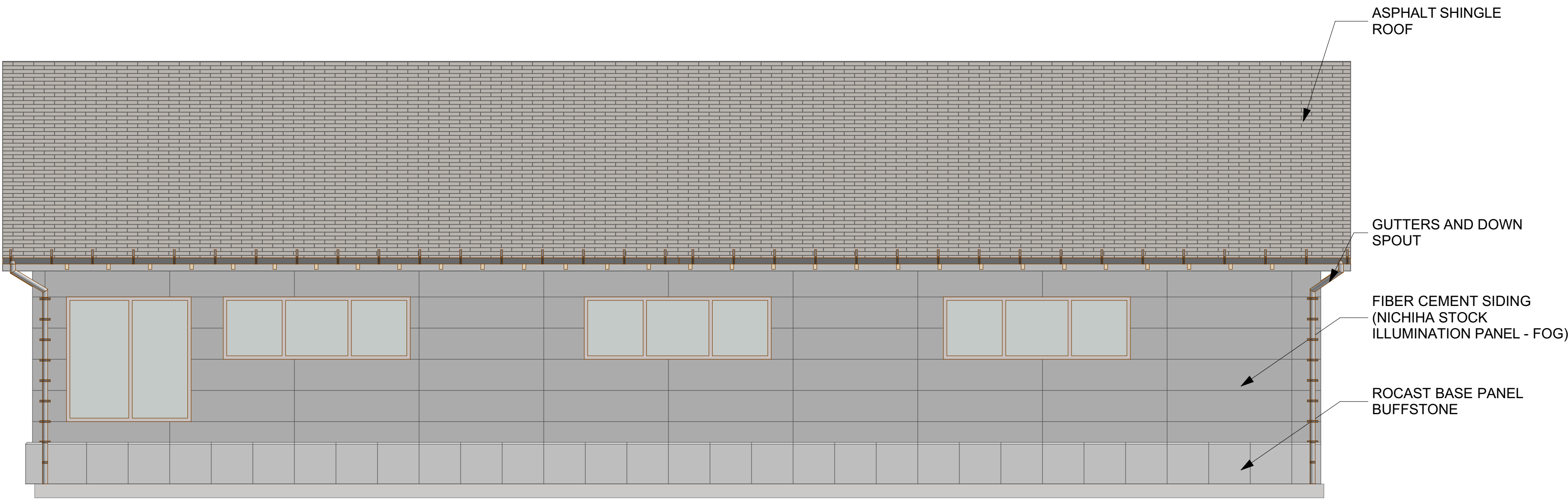
BIMcloud: horizonarchitecture - BIMcloud as a Service/Progressive Rehab Facility No Track



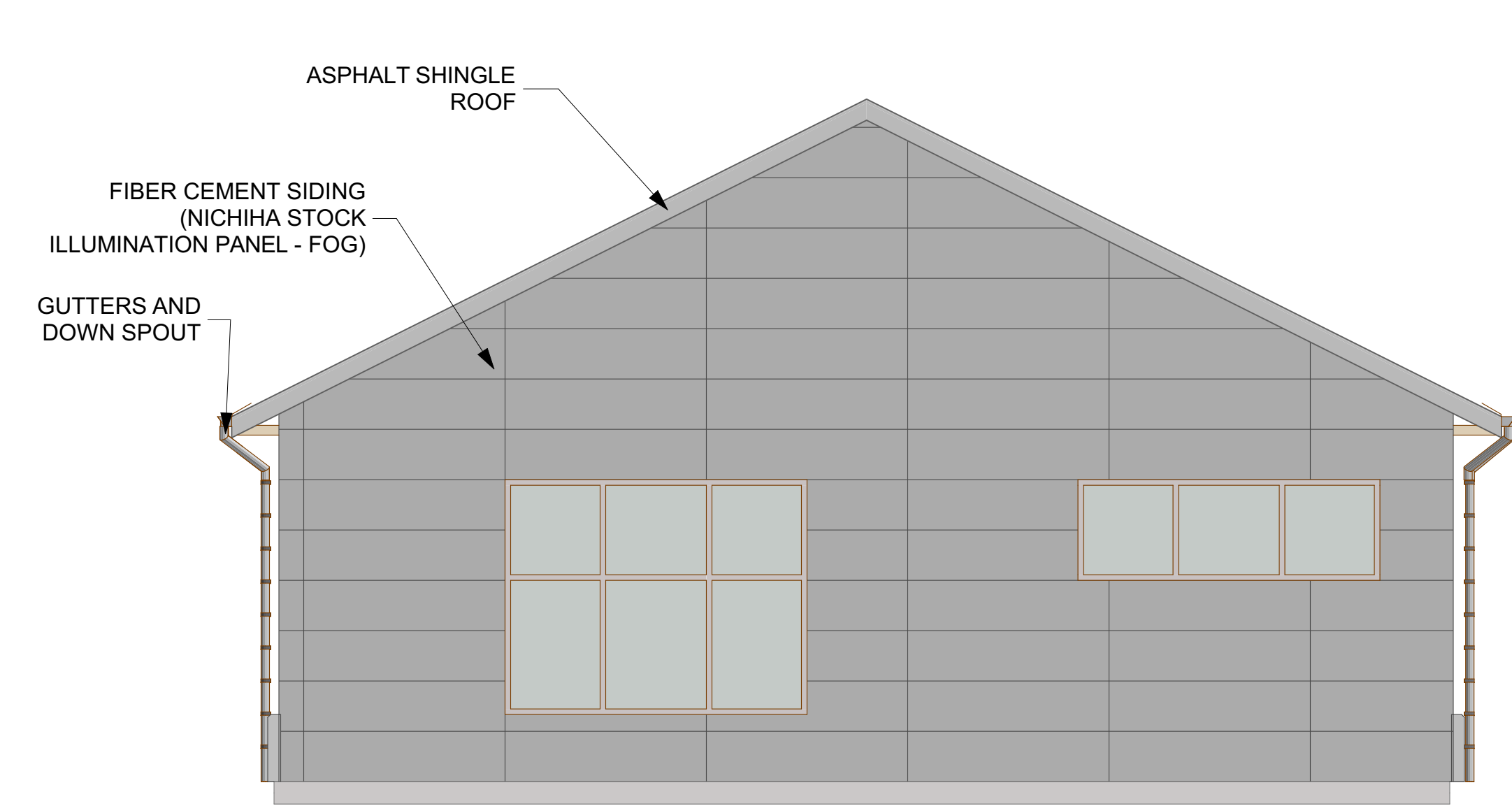
1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

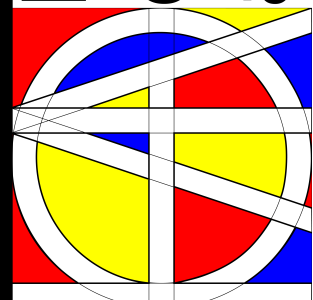


2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



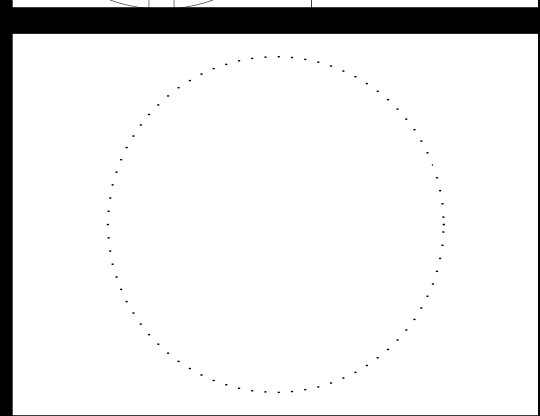
4 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION



horizon.  
original.  
architecture.

MICHAEL@HORIZON-ARCHITECTURE.COM  
PH 1 (563) 506-4965  
WWW.HORIZON-ARCHITECTURE.COM



DAWSON PLAZA

101 DAWSON DRIVE  
WEST BRANCH, IA 52358

MARK	DATE	DESCRIPTION

PROJECT NO: **#Pln**

DATE: **4/12/2022**

DRAWN BY: **MSN**

COPYRIGHT

SHEET TITLE

ELEVATIONS

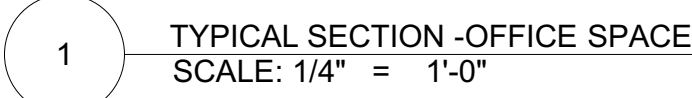
A-201

101 DAWSON DRIVE  
WEST BRANCH, IA 52358

PROJECT NO:	#Pln
DATE:	4/12/2022
DRAWN BY:	MSN
COPYRIGHT	

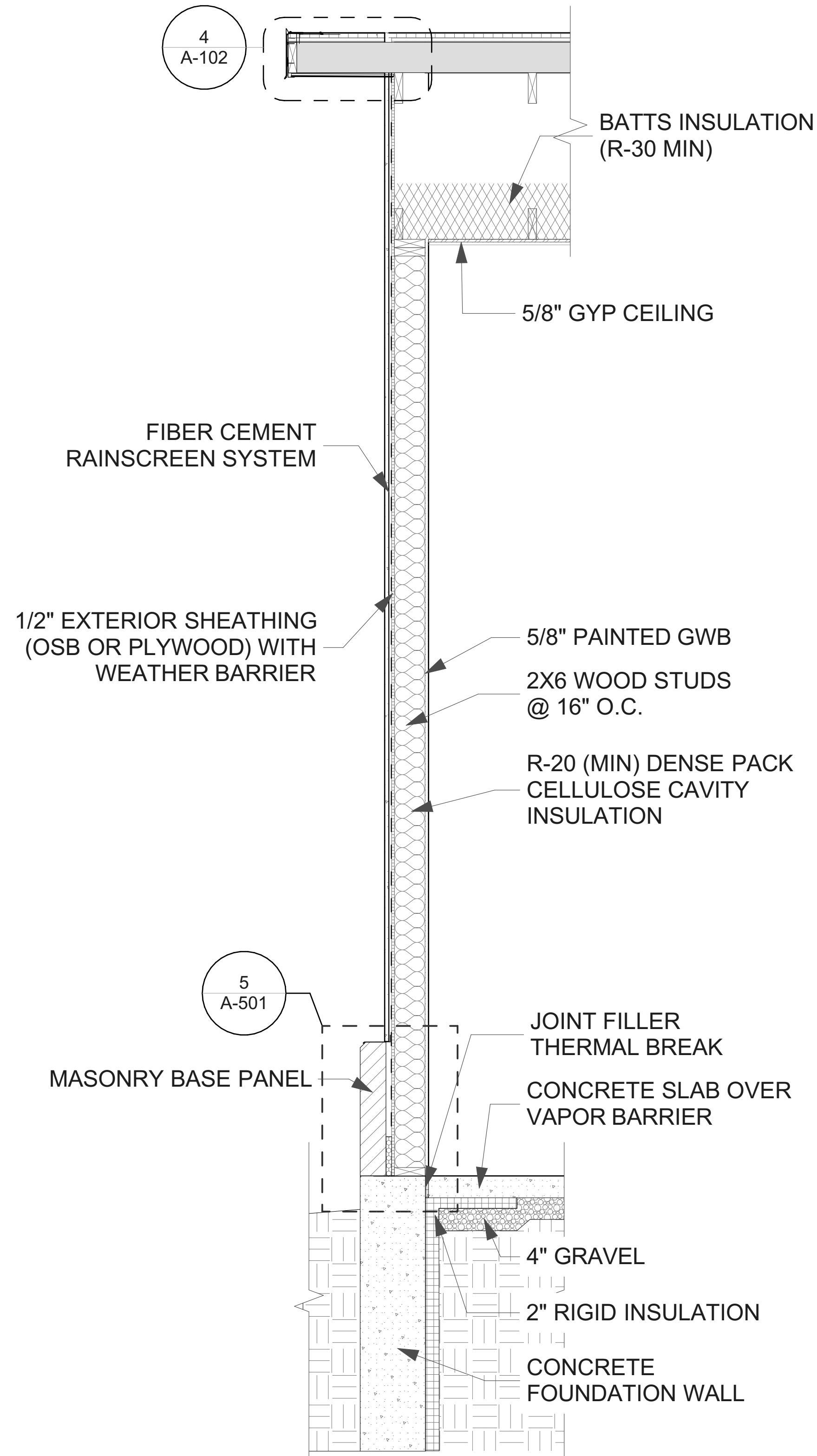
A-301

2 RAKE DETAIL  
SCALE: 1/4" = 1'-0"

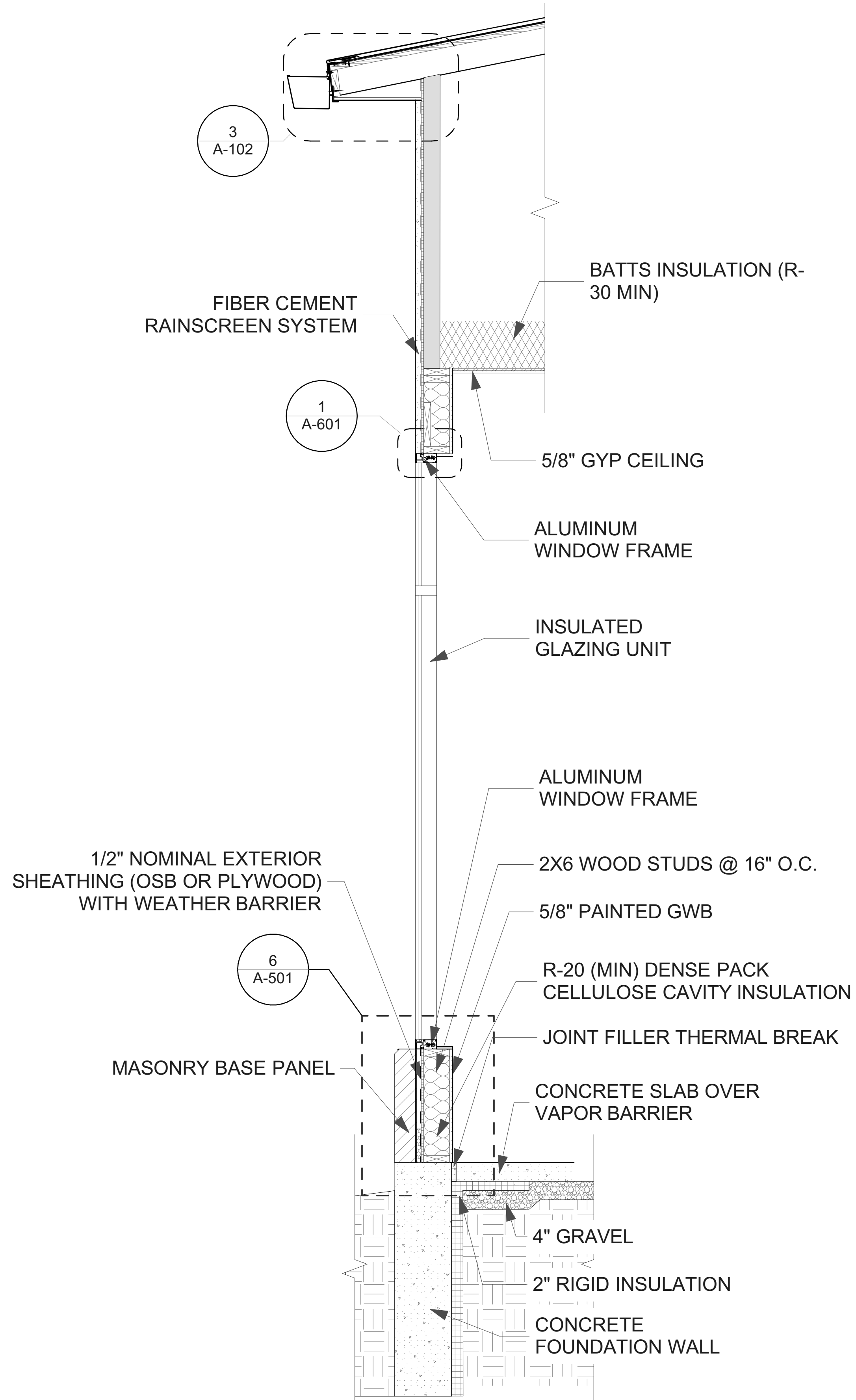


BIMcloud: horizonarchitecture - BIMcloud as a Service/Progressive Rehab Facility No Track

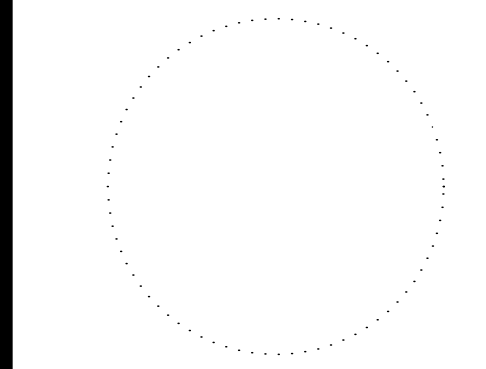
1 WALL SECTION GYM  
SCALE: 3/4" = 1'-0"



2 WALL SECTION FRONT WALL  
SCALE: 3/4" = 1'-0"



CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION



**DAWSON PLAZA**  
101 DAWSON DRIVE  
WEST BRANCH, IA 52358

MARK	DATE	DESCRIPTION

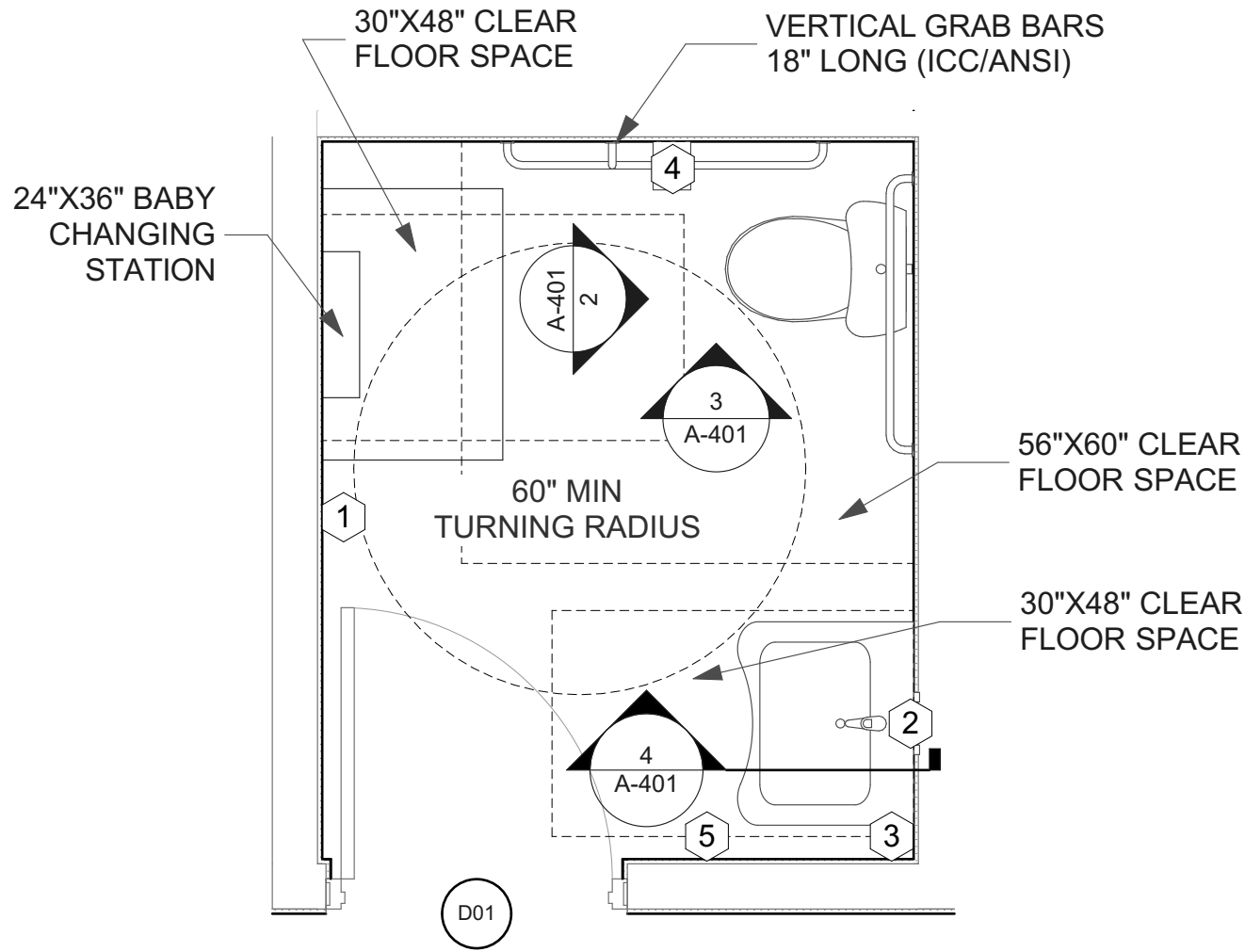
PROJECT NO: #Pln  
DATE: 4/12/2022  
DRAWN BY: MSN  
COPYRIGHT

SHEET TITLE  
**TYPICAL  
EXTERIOR  
WALL  
SECTIONS**

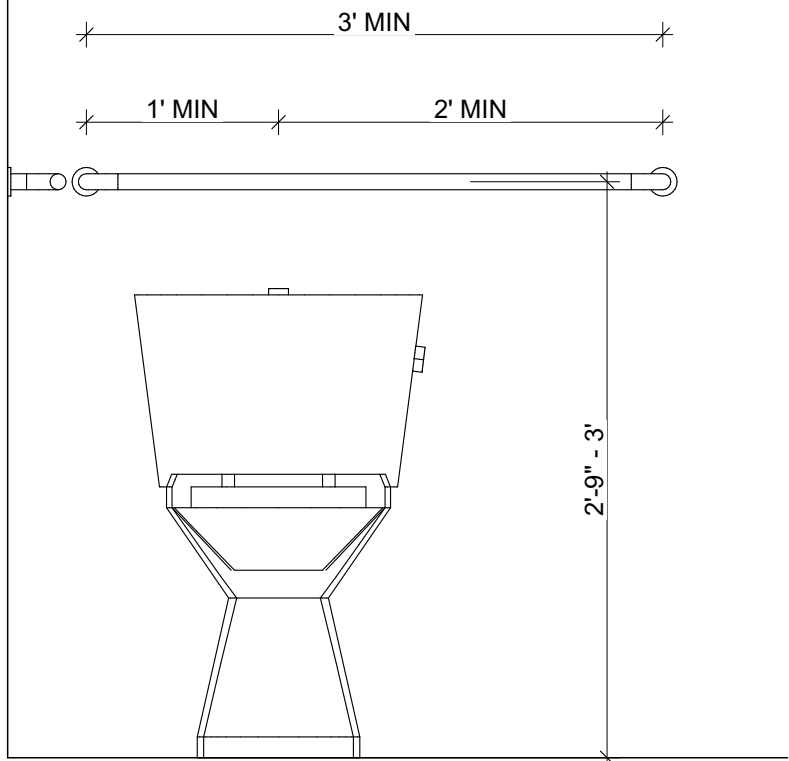
**A-302**

TOILET ACCESSORY KEY

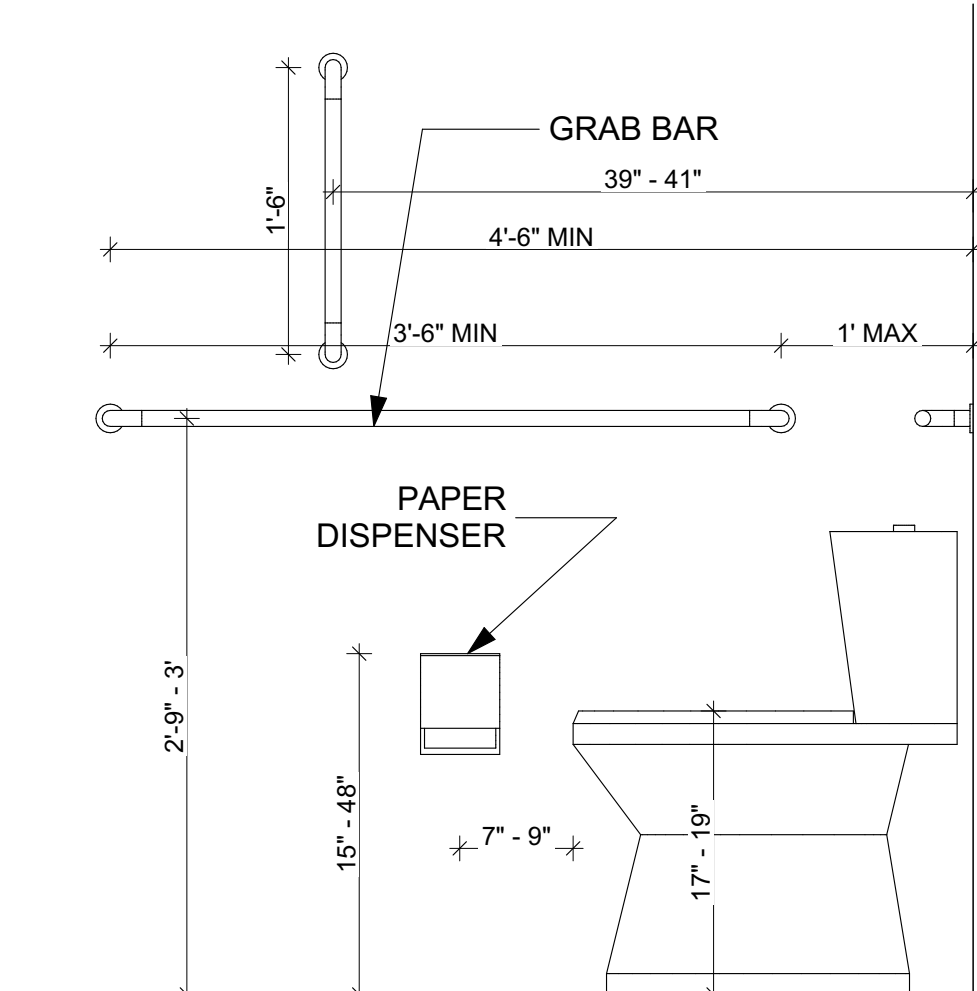
- 1 COAT HOOK (MOUNT AT 48" AFF)
- 2 MIRROR - 24"x48" (BOTTOM OF MIRROR 40" AFF MAX)
- 3 SOAP DISPENSER (MOUNT 44" - 48" AFF)
- 4 TOILET PAPER DISPENSER (MOUNT 18" AFF MIN)
- 5 PAPER TOWEL DISPENSER (DISCHARGE 44" - 48" AFF)



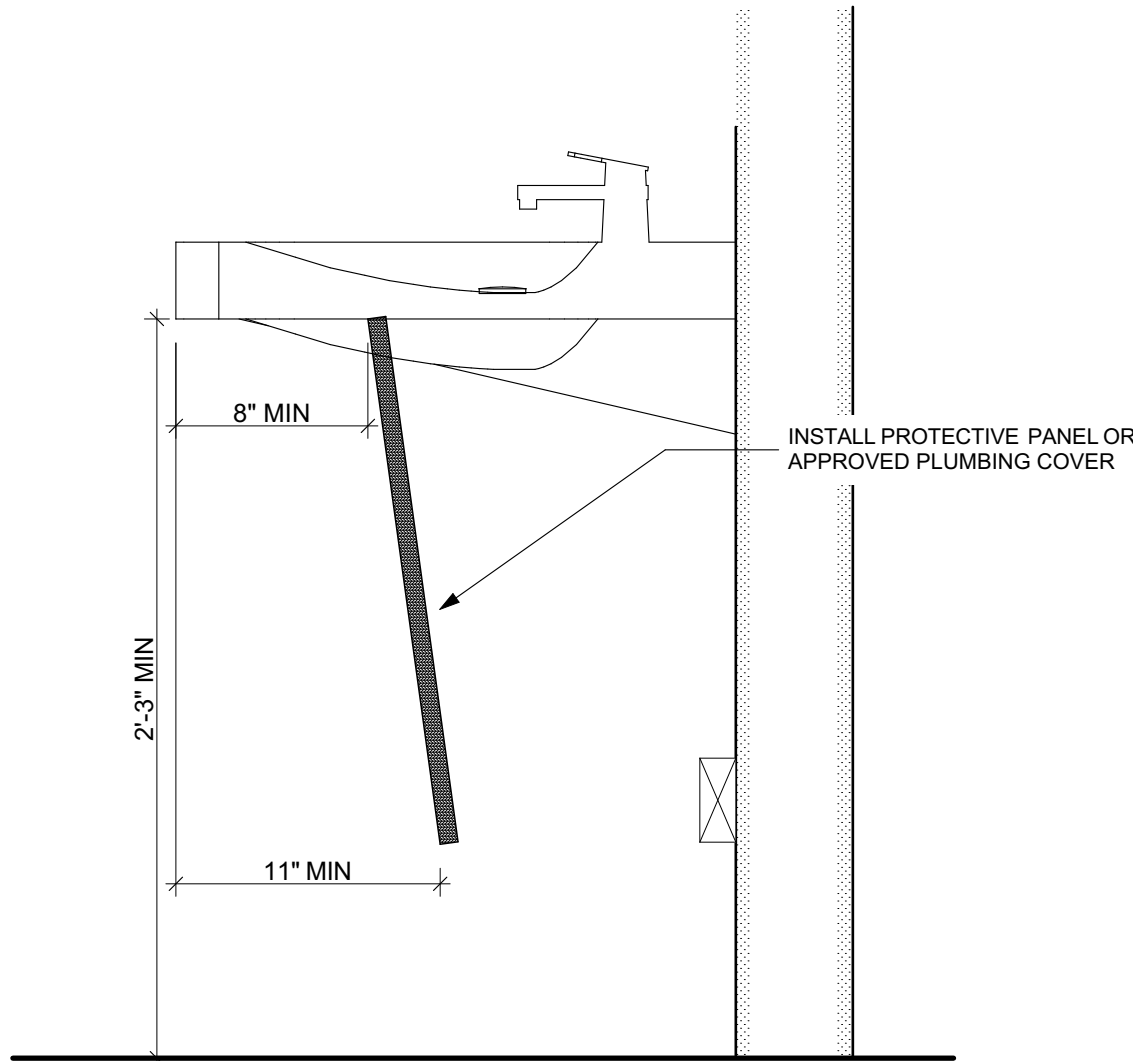
1 RESTROOM  
SCALE: 1/2" = 1'-0"



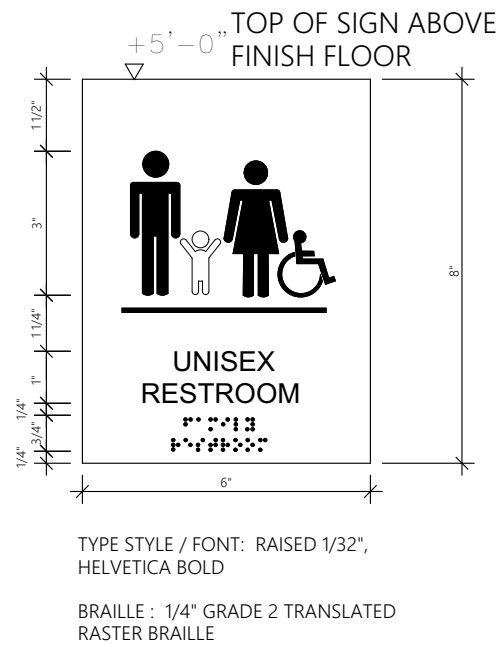
2 TOILET ELEVATION BACK WALL  
SCALE: 1" = 1'-0"



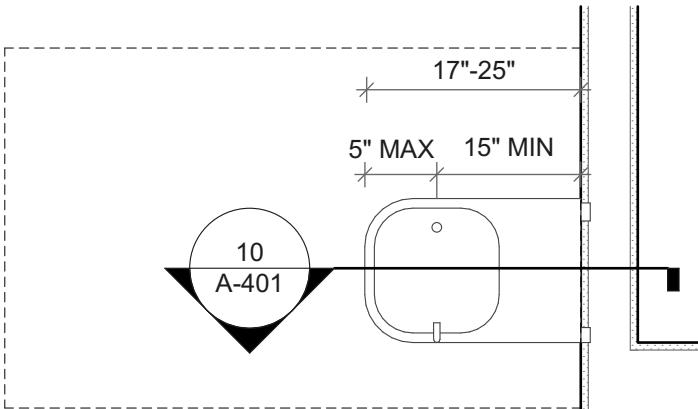
3 TOILET ELEVATION SIDE WALL  
SCALE: 1" = 1'-0"



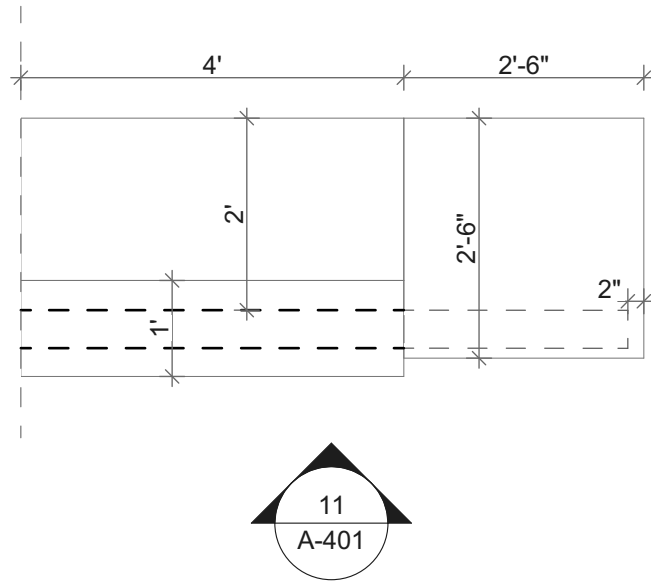
4 ADA SINK SECTION  
SCALE: 1 1/2" = 1'-0"



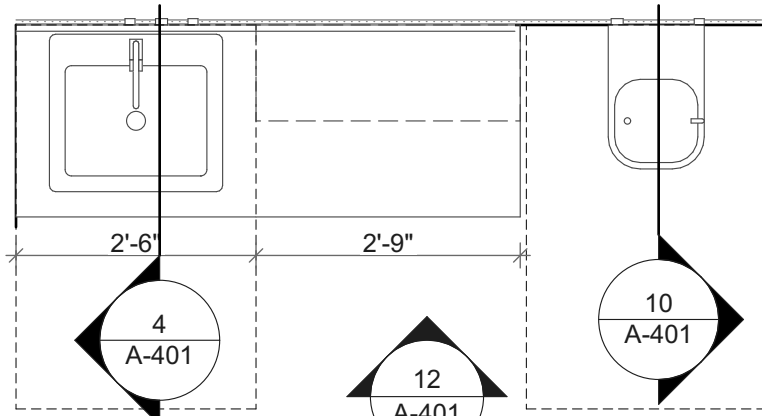
5 BATHROOM SIGNAGE  
SCALE: 3" = 1'-0"



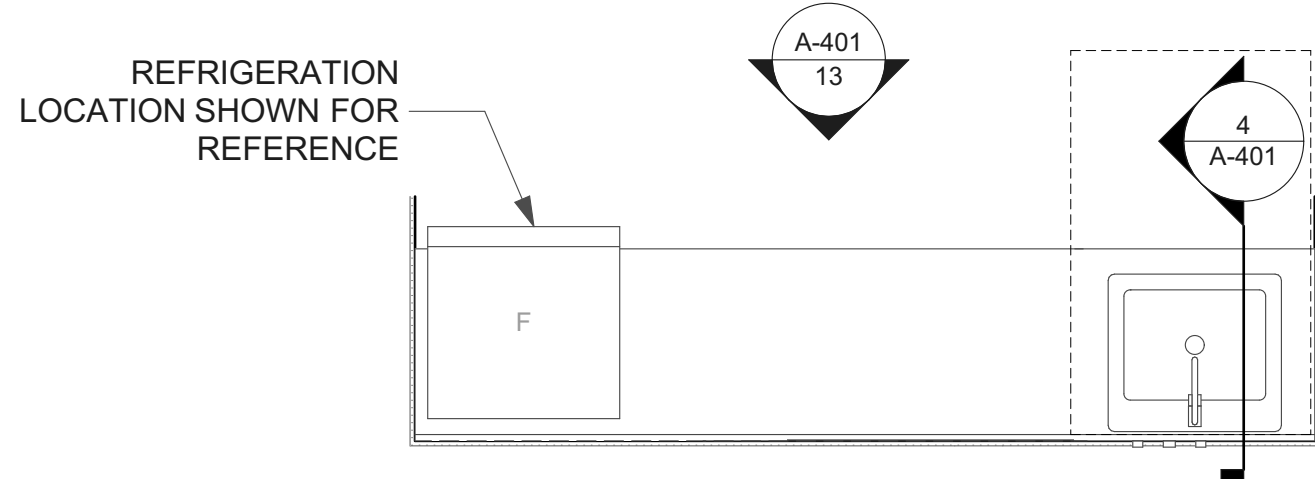
6 WATER FOUNTAIN  
SCALE: 3/4" = 1'-0"



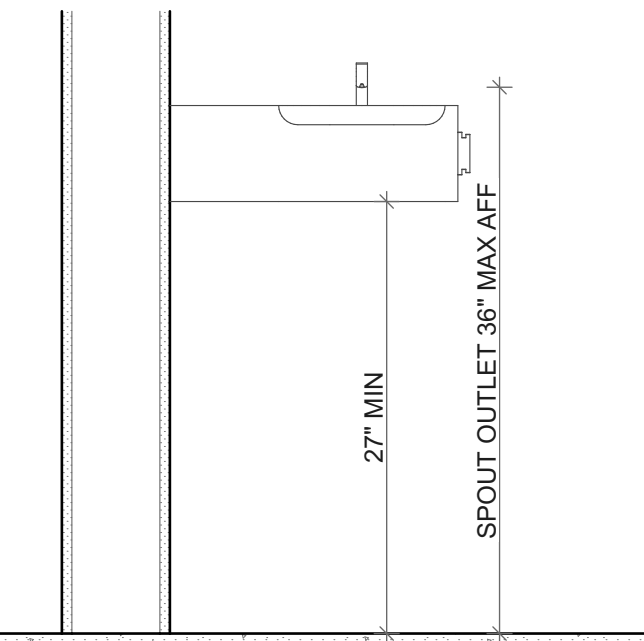
7 ADMIN DESK CASEWORK  
SCALE: 1/2" = 1'-0"



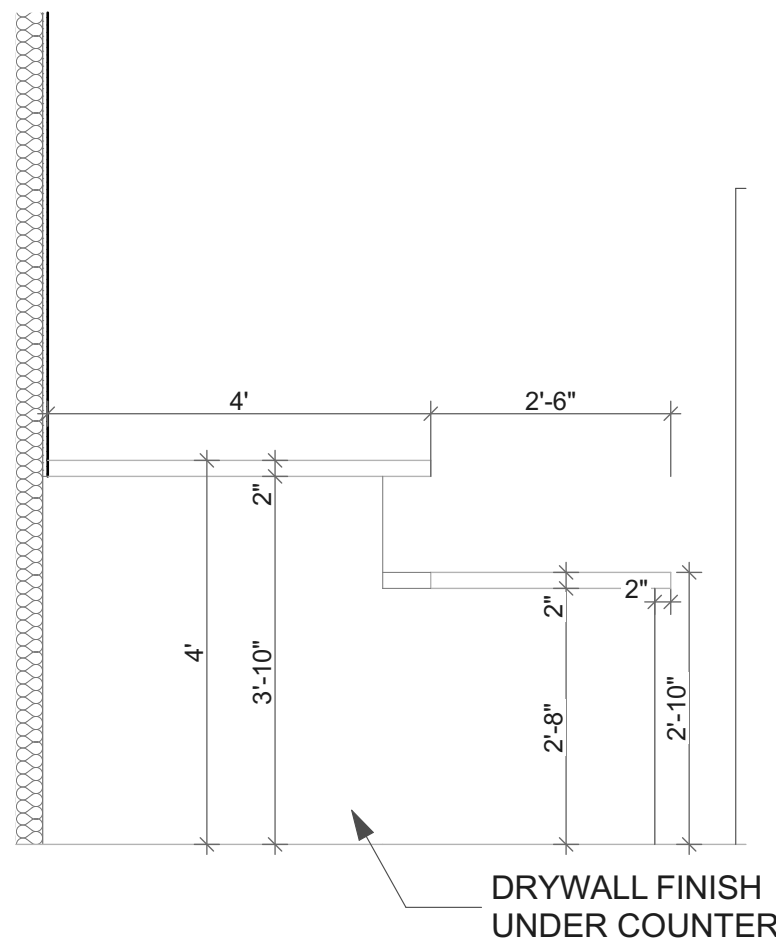
8 REHAB AREA CASEWORK  
SCALE: 1/2" = 1'-0"



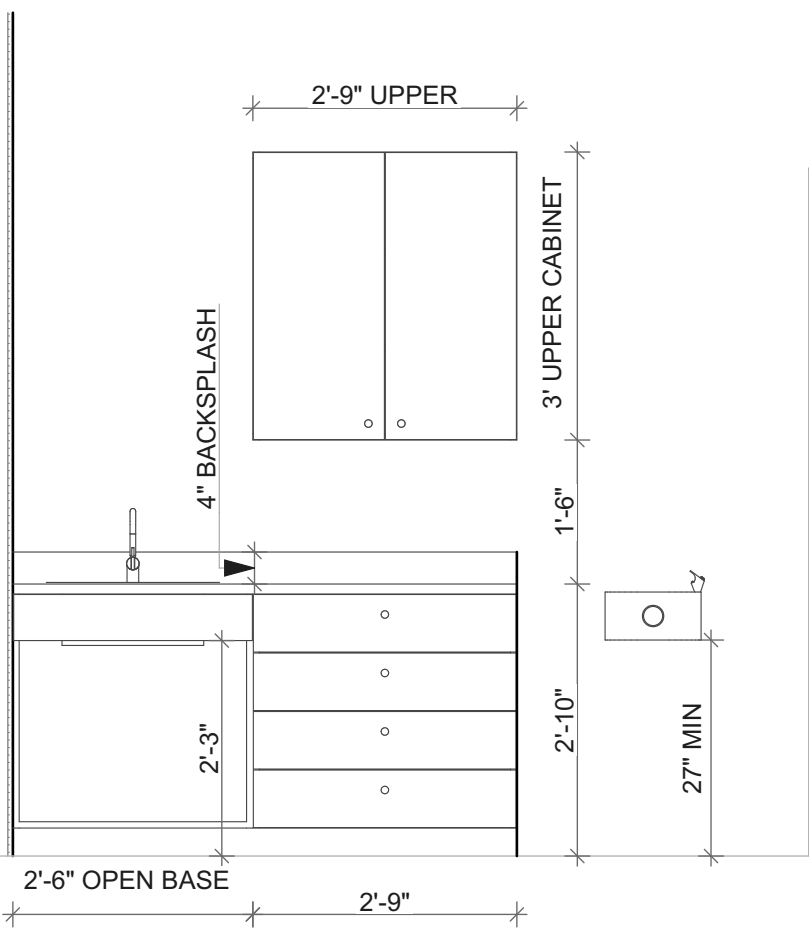
9 BREAK ROOM CASEWORK  
SCALE: 1/2" = 1'-0"



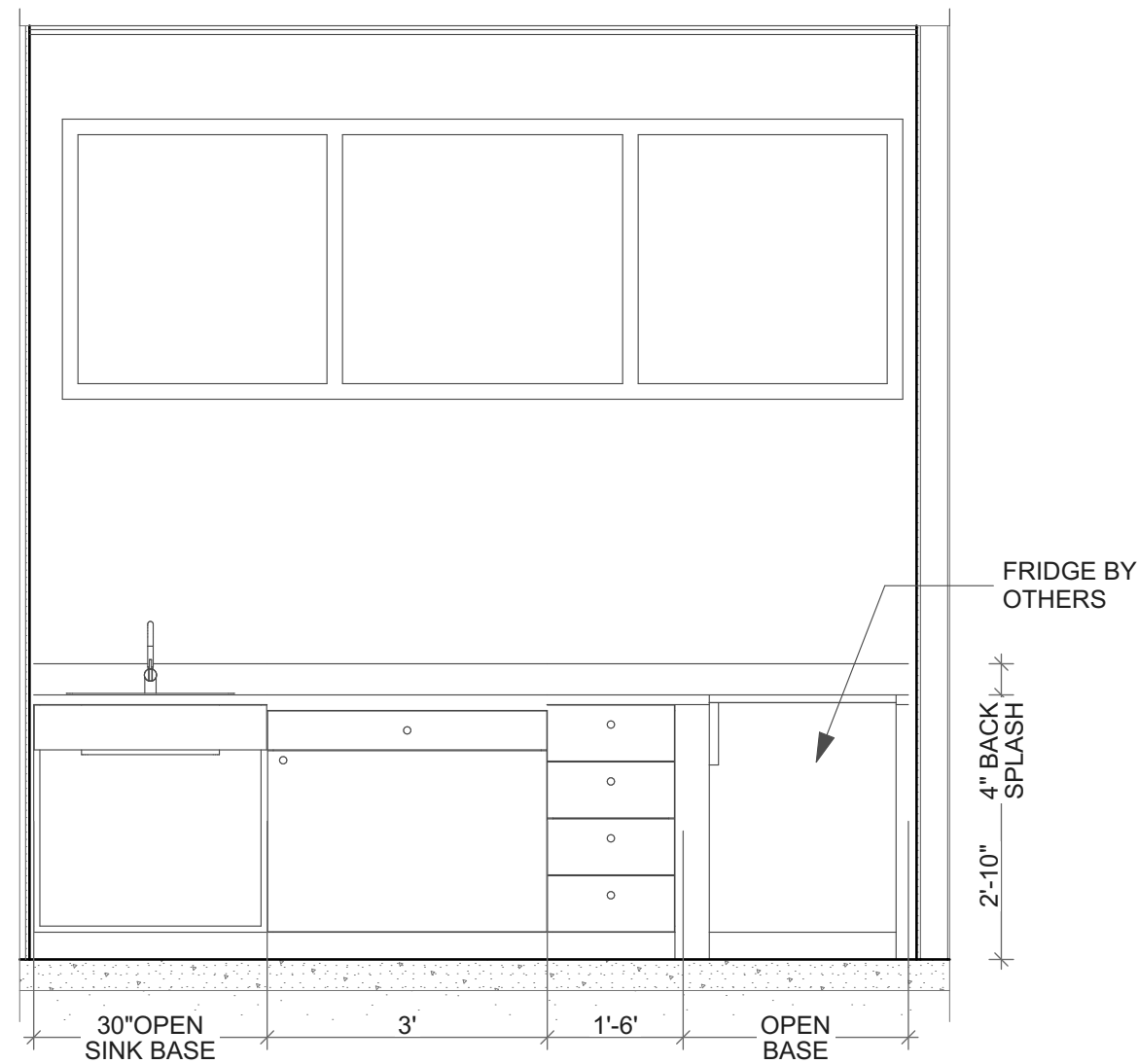
10 WATER FOUNTAIN  
SCALE: 1" = 1'-0"



11 ADMIN DESK ELEVATION  
SCALE: 1/2" = 1'-0"

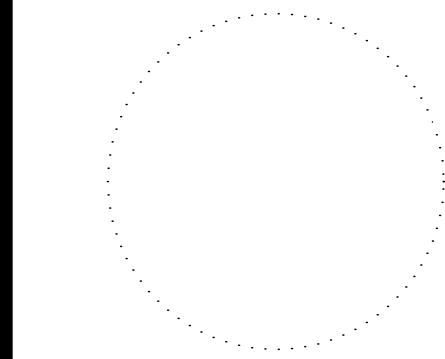


12 REHAB AREA ELEVATION  
SCALE: 1/2" = 1'-0"



13 BREAK ROOM CASEWORK ELEVATION  
SCALE: 1/2" = 1'-0"

CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION

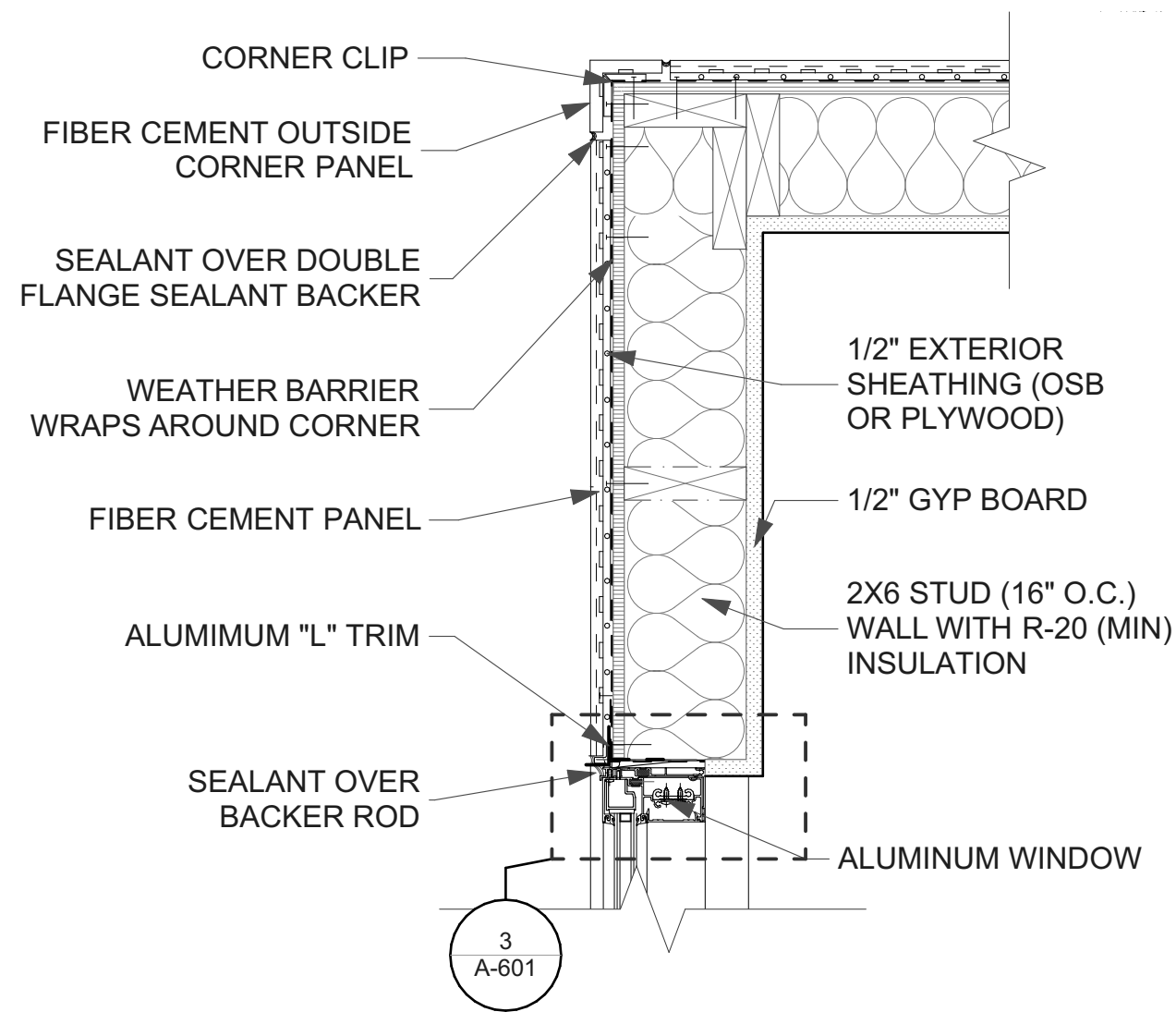


MARK	DATE	DESCRIPTION

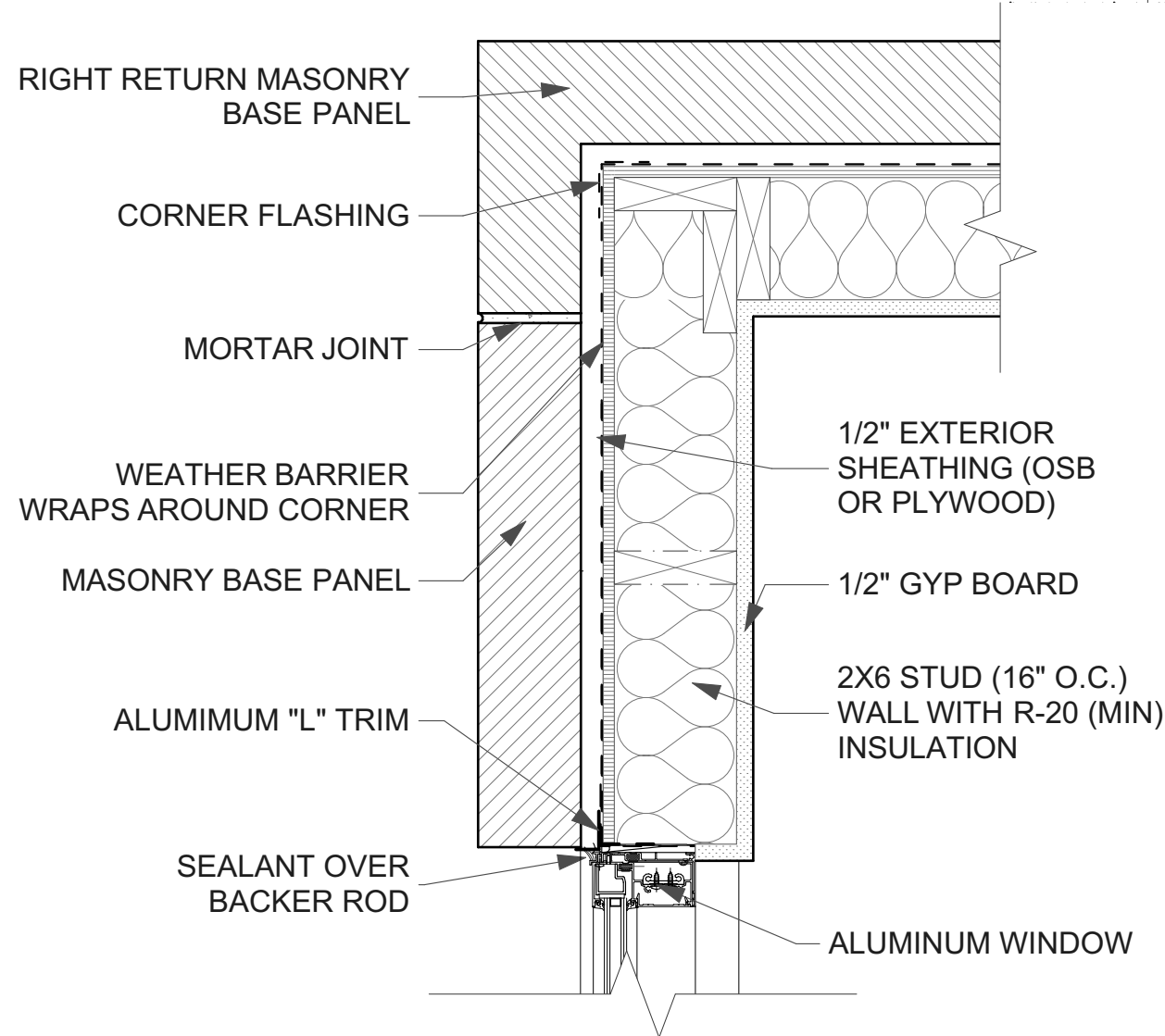
PROJECT NO: #Pln  
DATE: 4/12/2022  
DRAWN BY: MSN  
COPYRIGHT

SHEET TITLE  
ENLARGED  
PLANS AND  
DETAILS

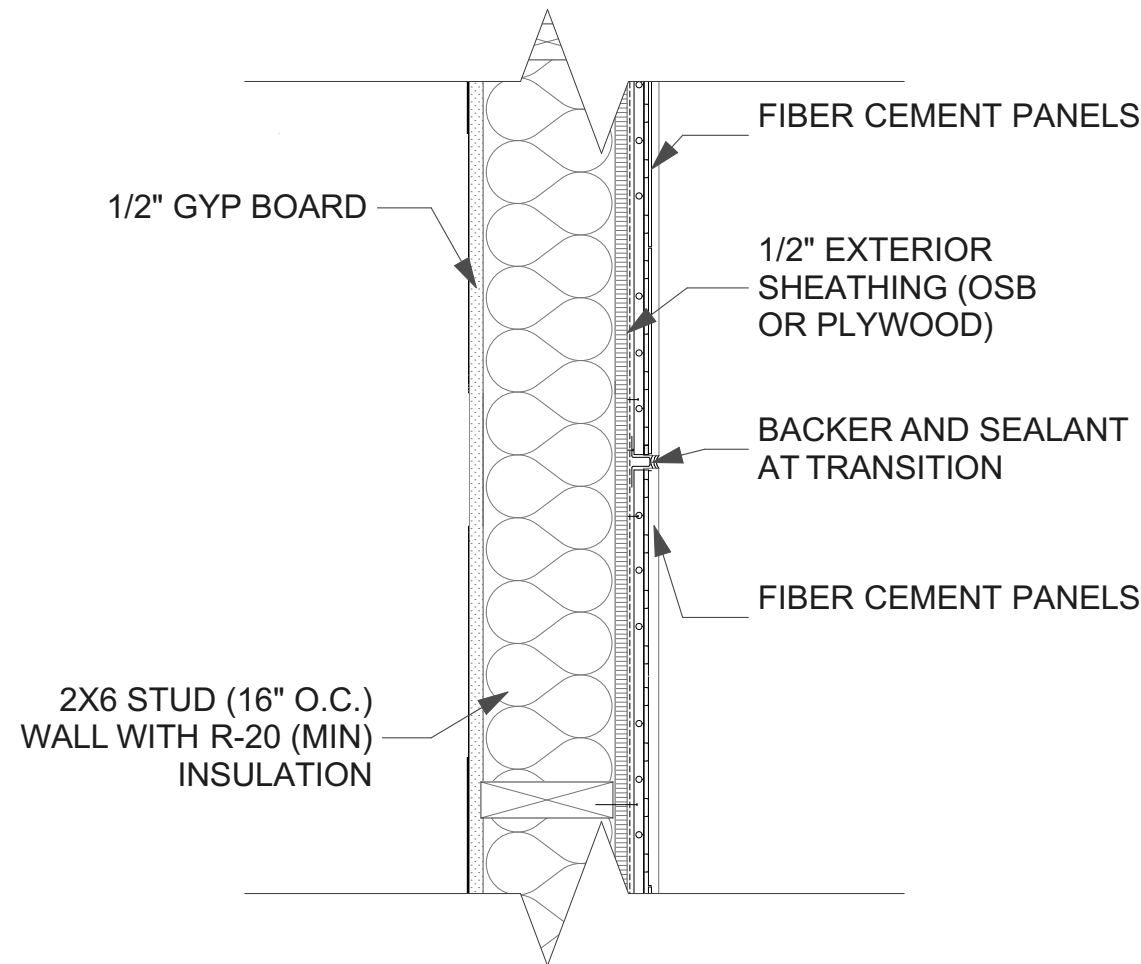
BIMcloud: horizonarchitecture - BIMcloud as a Service/Progressive Rehab Facility No Track



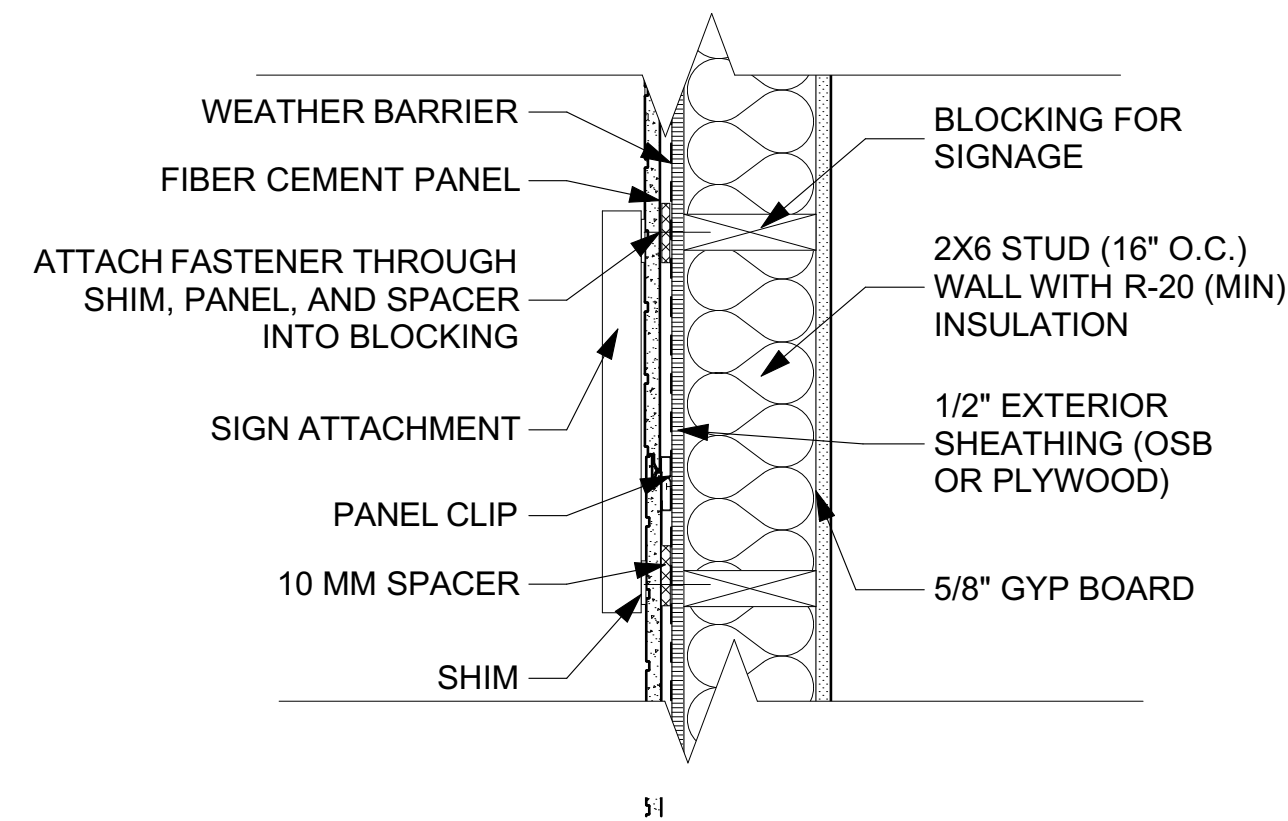
1 CORNERS AT FIBER CEMENT PANELS  
SCALE: 1 1/2"= 1'-0"



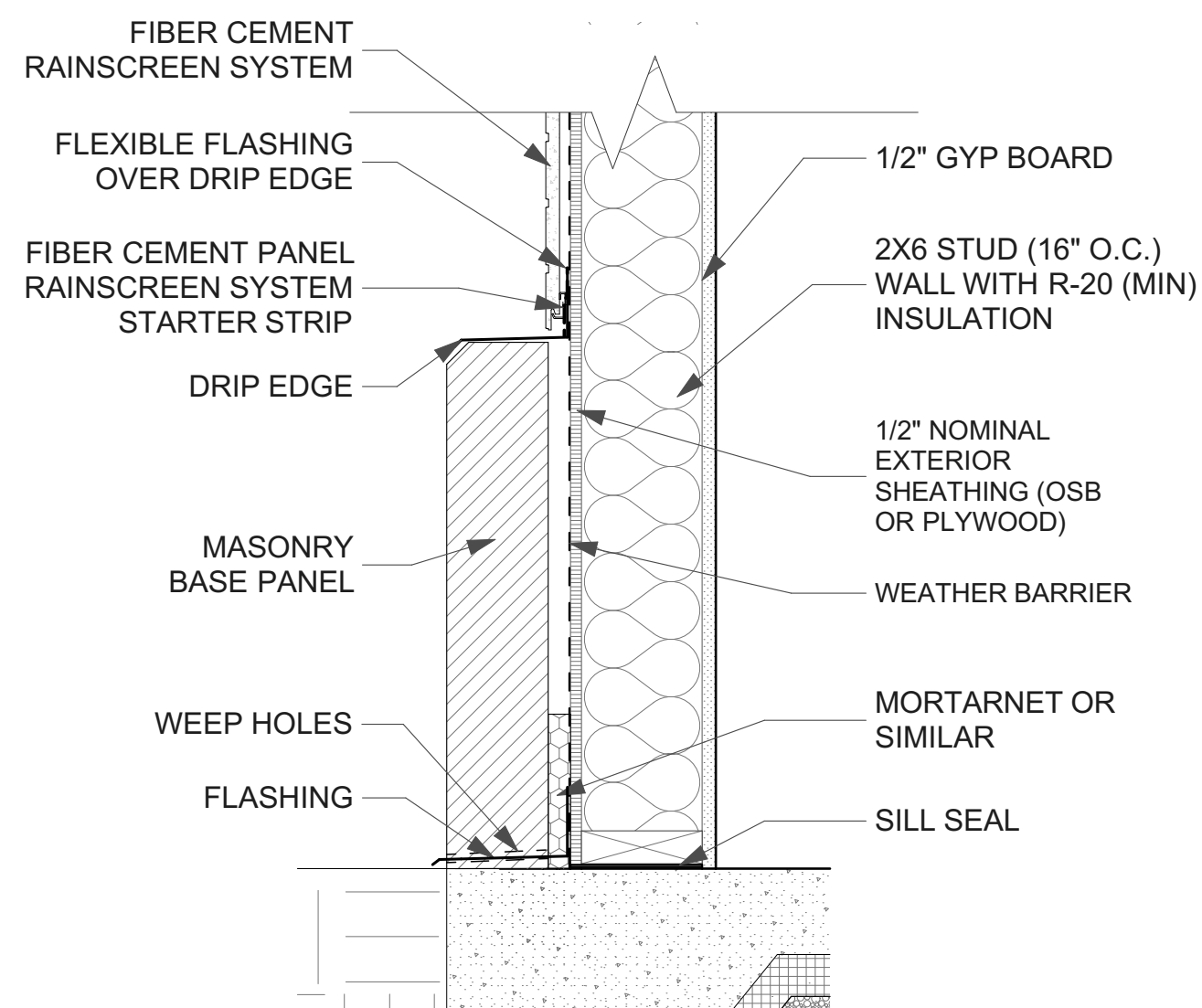
2 CORNERS AT FIBER CEMENT PANELS  
SCALE: 1 1/2"= 1'-0"



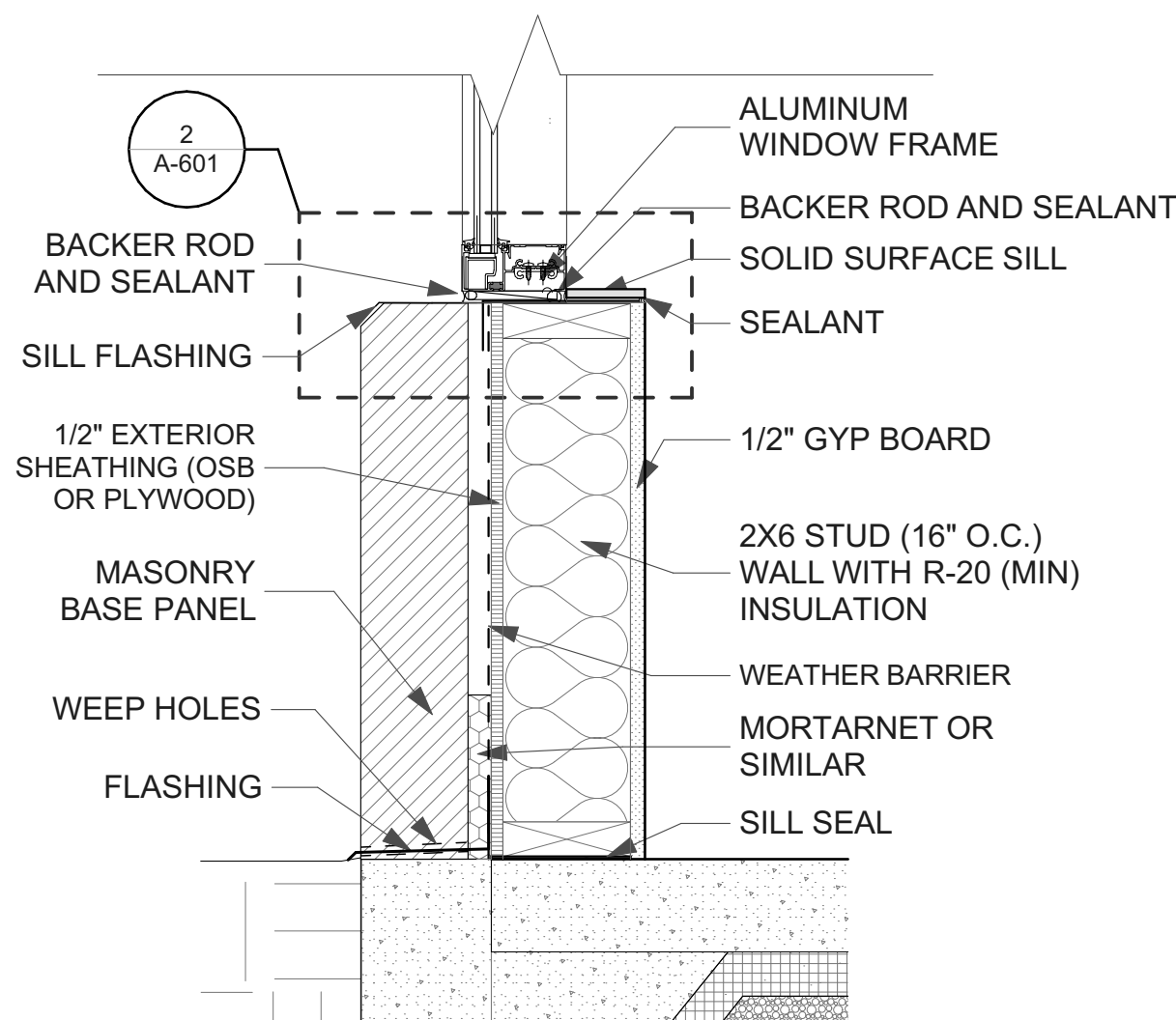
3 REAR EXTERIOR TRANSITION  
SCALE: 1 1/2"= 1'-0"



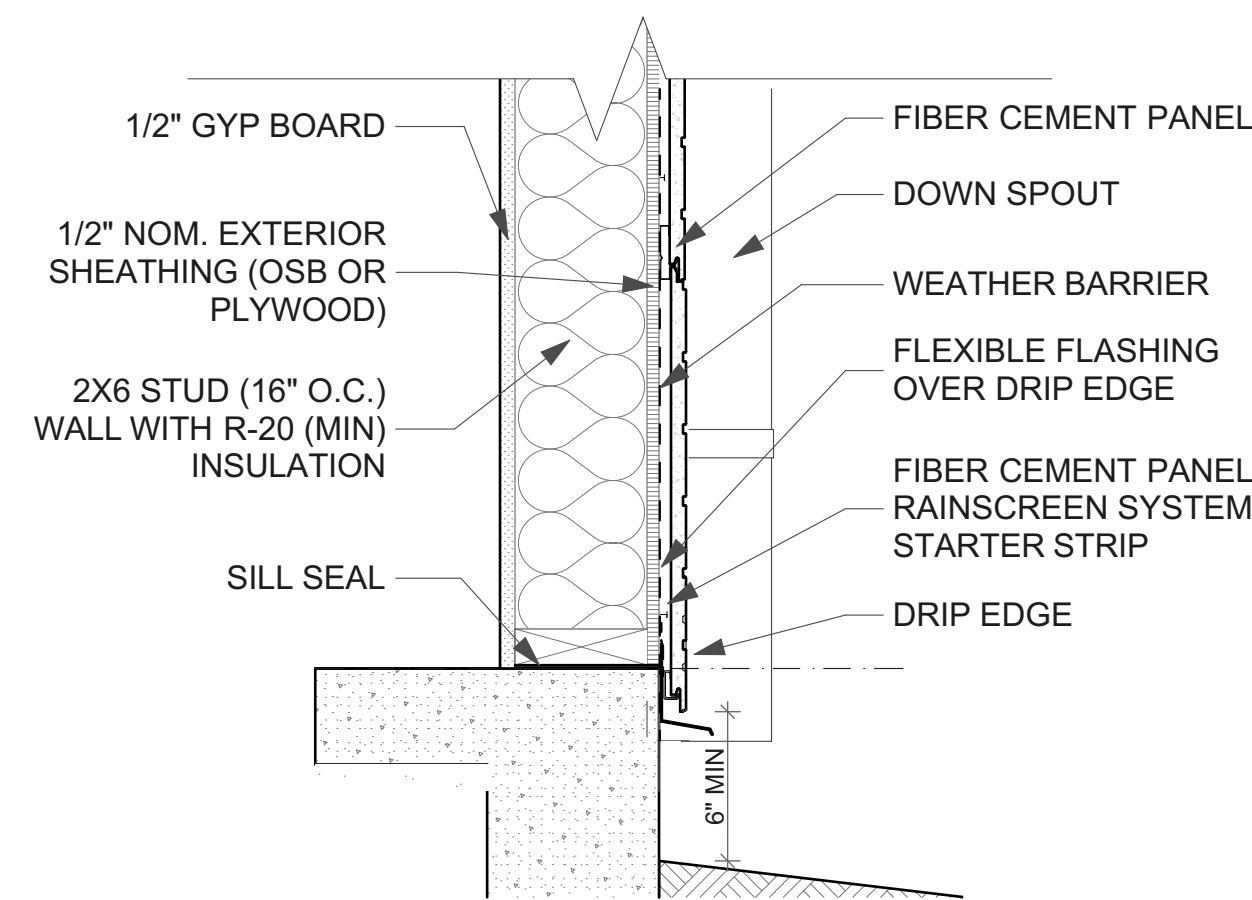
4 SIGN ATTACHMENT  
SCALE: 1 1/2"= 1'-0"



5 EXTERIOR WALL BASE - BRICK  
SCALE: 1 1/2"= 1'-0"



6 EXTERIOR WALL BASE - WINDOW  
SCALE: 1 1/2"= 1'-0"



7 EXTERIOR WALL BASE  
SCALE: 1 1/2"= 1'-0"

CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION

DAWSON PLAZA

101 DAWSON DRIVE  
WEST BRANCH, IA 52358

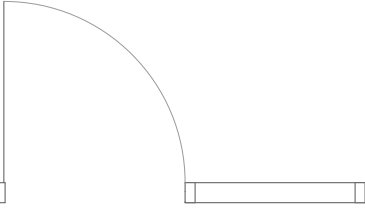
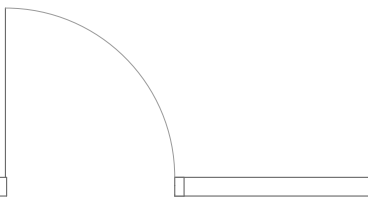
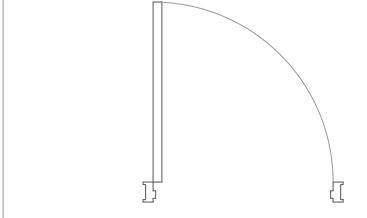
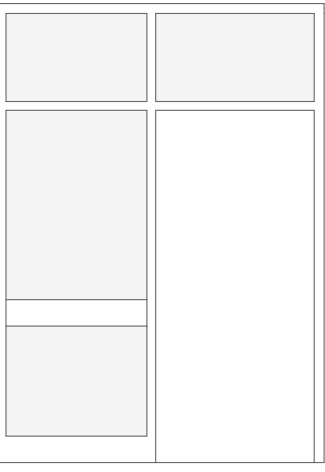
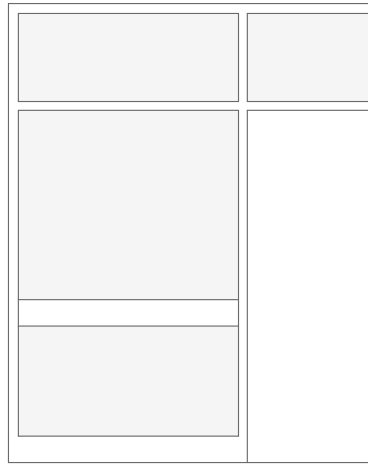
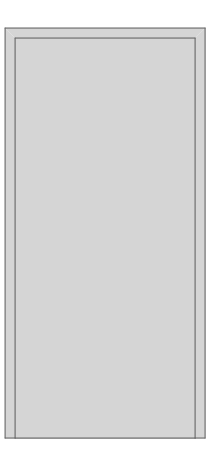
DESCRIPTION	DATE	MARK

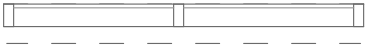

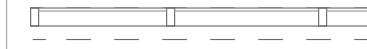
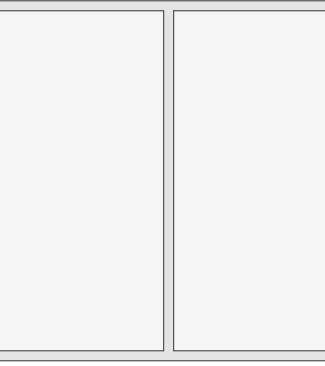
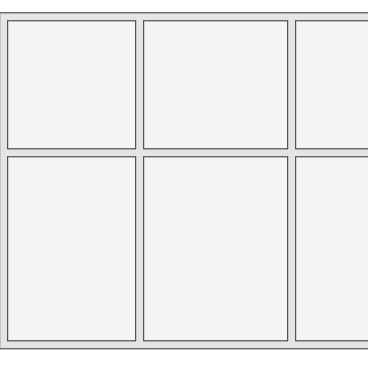

PROJECT NO: #PIn  
DATE: 4/12/2022  
DRAWN BY: MSN  
COPYRIGHT

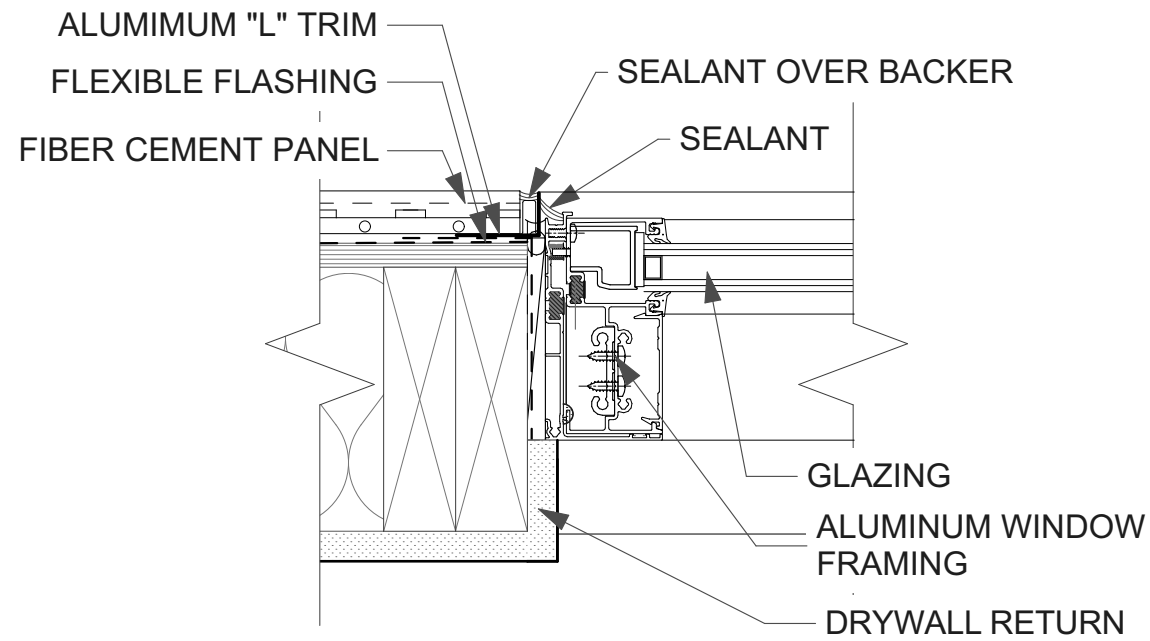
SHEET TITLE  
TYPICAL  
DETAILS

A-501

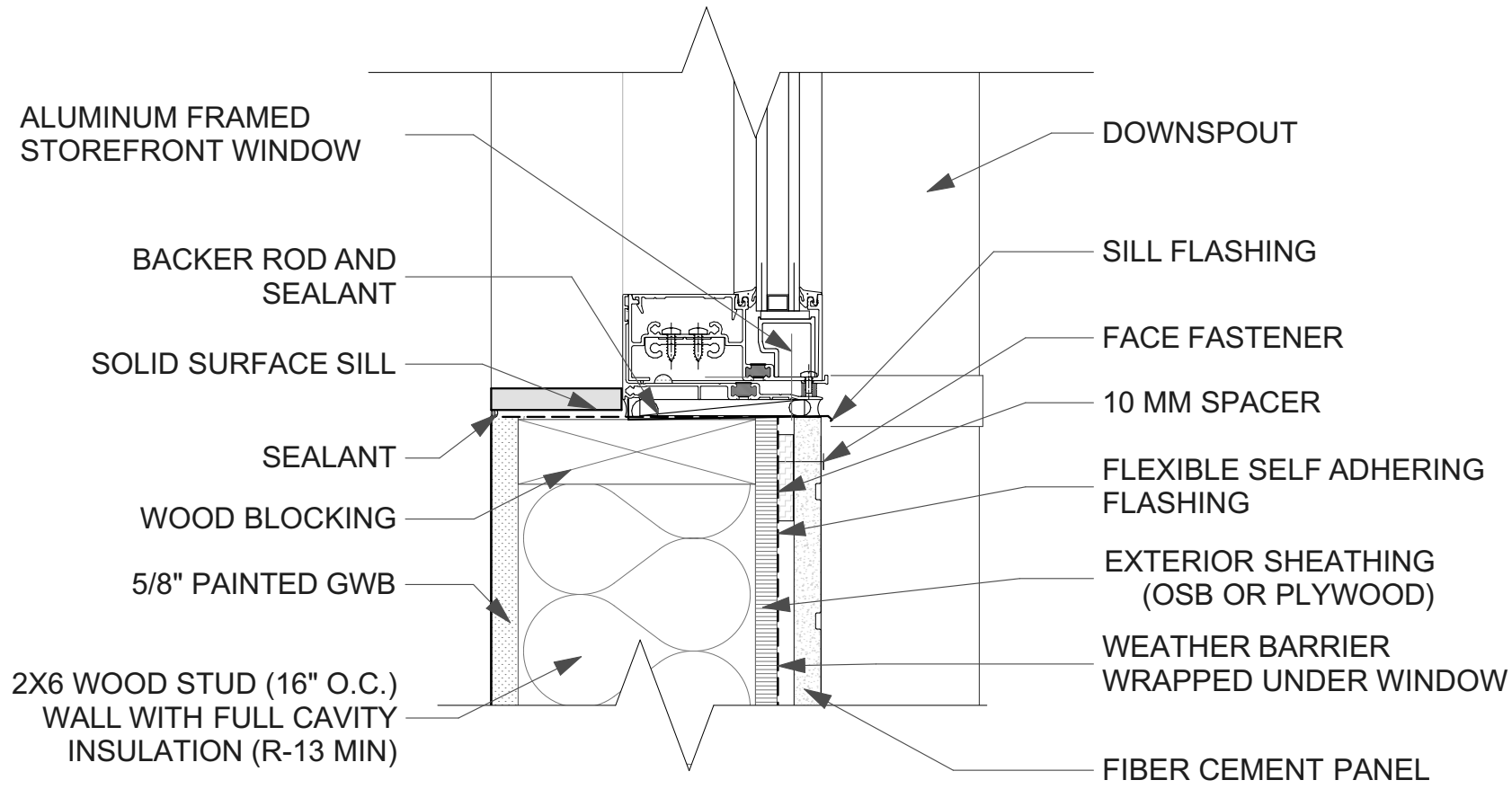
BIMcloud: horizonarchitecture - BIMcloud as a Service/Progressive Rehab Facility No Track

DOOR TYPES			
Element ID	D01	D02	D03
Quantity	1	1	7
2D Plan Preview			
VIEW			
DIMS	3'x6'-8"	3'x6'-8"	3'x6'-8"
NOTES	STORE FRONT	STORE FRONT	WOOD INTERIOR DOOR

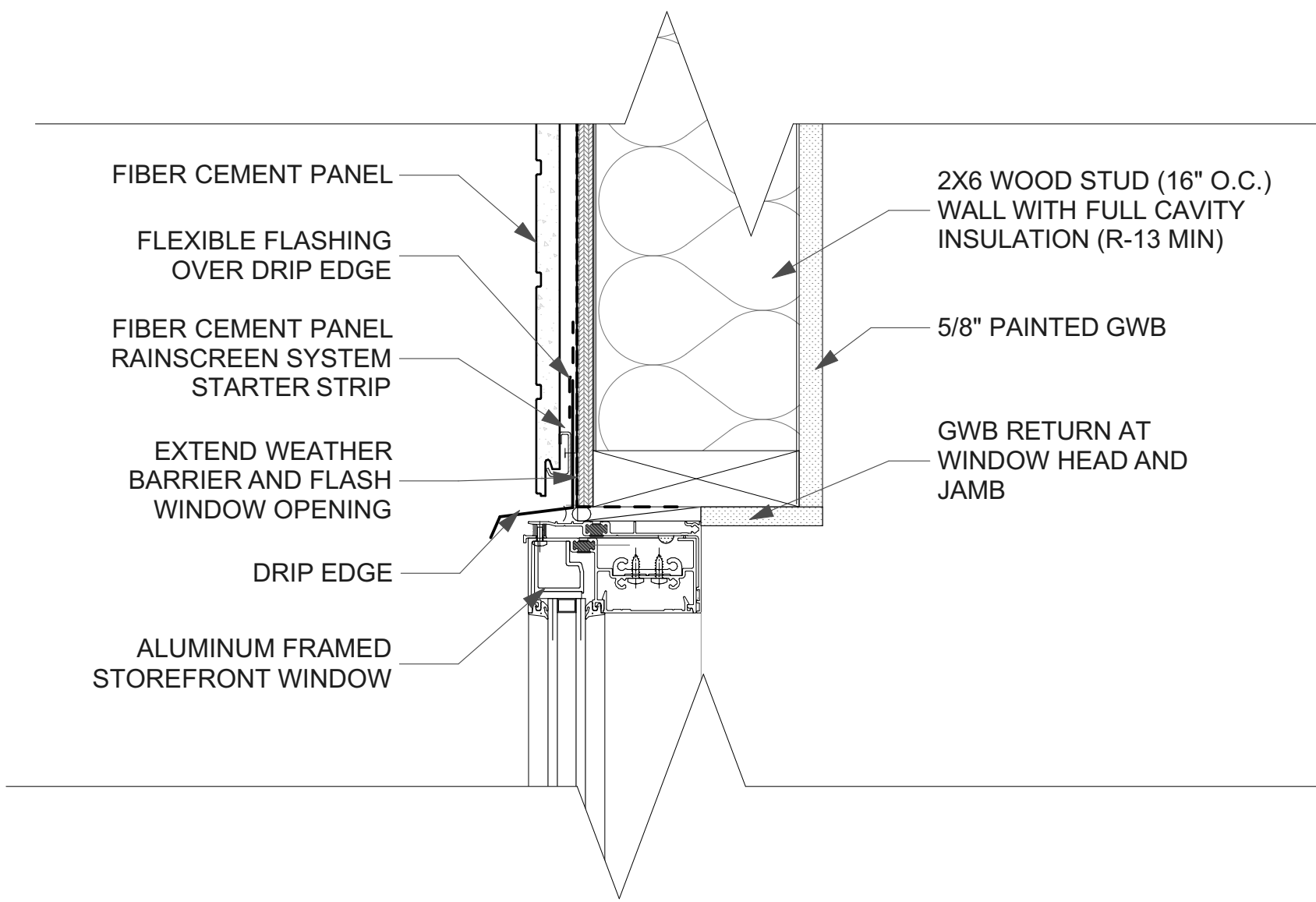
Window Types			
Element ID	W02	W02	W02
Quantity	1	3	8
2D Plan Preview			
VIEW			
Nominal W x H Size	6'x6'	9'x7'	9'x3'
Frame Thickness	4.50"	4.50"	4.50"
NOTES			



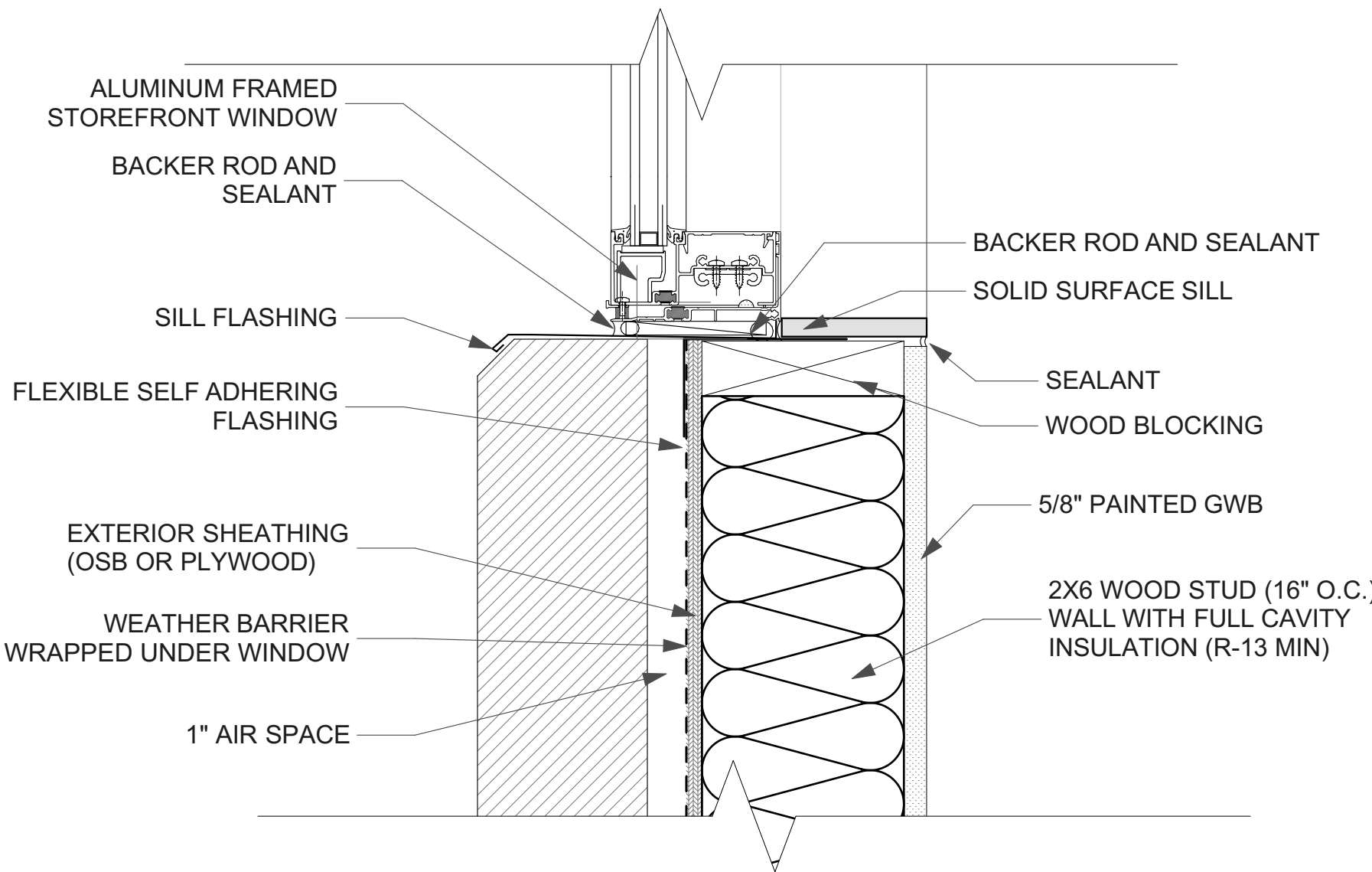
3 WINDOW JAMB  
SCALE: 3" = 1'-0"



6 WINDOW SILL AT PANELS  
SCALE: 3" = 1'-0"

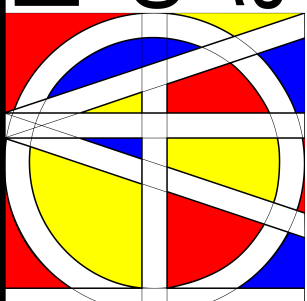


1 TYPICAL WINDOW HEAD  
SCALE: 3" = 1'-0"



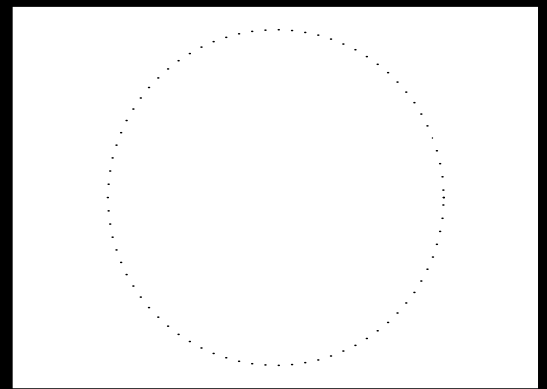
2 TYPICAL WINDOW SILL AT MASONRY  
SCALE: 3" = 1'-0"

CONSTRUCTION DOCUMENTS 75% SET - NOT FOR CONSTRUCTION



horizon.  
original.  
architecture.

MICHAEL@HORIZON-ARCHITECTURE.COM  
PH 1 (563) 506-4965  
WWW.HORIZON-ARCHITECTURE.COM



DAWSON PLAZA

101 DAWSON DRIVE  
WEST BRANCH, IA 52358

					DESCRIPTION
					DATE
					MARK

PROJECT NO:	#PIn
DATE:	4/12/2022
DRAWN BY:	MSN
COPYRIGHT	

SHEET TITLE
DOORS AND WINDOWS

A-601