

RESOLUTION 2051

**RESOLUTION APPROVING THE SITE PLAN FOR LOT 11, PARKSIDE HILLS,
WEST BRANCH, IOWA.**

WHEREAS, Advantage Development, Inc. (“Advantage”), is the owner of Lot 11, Parkside Hills, West Branch, Iowa (the “Property”); and

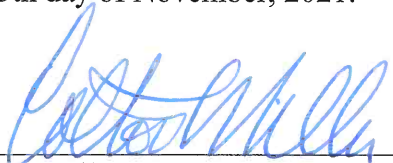
WHEREAS, Advantage has submitted a proposed Site Plan for the Property; and

WHEREAS, the Planning and Zoning Commission has reviewed said Site Plan and recommended approval of the same; and

WHEREAS, said Site Plan complies with the requirements of Chapter 173 of the Code of Ordinances of the City of West Branch.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the site plan of Advantage for Lot 11, Parkside Hills, West Branch, Iowa, is hereby approved.

Passed and approved this 15th day of November, 2021.



Colton Miller, Mayor Pro Tem

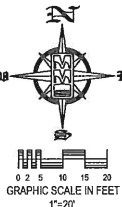
ATTEST:



Leslie Brick, City Clerk

KEYNOTES	NUMBER	KEYNOTE	DETAIL
1	1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	2	INSTALL STANDARD 6" CURB AND GUTTER	
3	3	INSTALL THICKENED EDGE SIDEWALK	
4	4	INSTALL 4" PCC SIDEWALK	
5	5	REMOVE EXISTING CURB AND GUTTER SECTION AND CONNECT TO EXISTING PCC PAVING W/ "BT-5" JOINT	
6	6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
8	8	INSTALL ADA RAMP	
9	9	INSTALL 3" ROLL CURB AND GUTTER	
10	10	TRANSITION TO 6" CURB	
11	11	TRANSITION TO 3" ROLL CURB	
12	12	MATCH EXISTING CURB AND GUTTER	
13	13	INSTALL DUMPSTER ENCLOSURE	
14	14	RESIDENTIAL 12-FLEX (3 STORY) BUILDING 4 UNITS EACH FLOOR	
15	15	ATTACHED GARAGE(3 STALLS EACH)	

LEGAL:	
PARKSIDE HILLS - LOT 11 IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 1.31 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.	
SITE DEVELOPMENT SUMMARY:	
ZONING: PUD	57,062 SF COMMERCIAL
SQUARE FOOTAGE:	RESIDENTIAL
DEVELOPMENT CHARACTERISTICS:	
PARKSIDE HILLS - LOT 11 ON SYCAMORE DRIVE IS TO BE A 1.31 ACRE. THE PLAN WILL CONSIST OF 2 (TWO) PROPOSED RESIDENTIAL 12-FLEX BUILDINGS.	
DEVELOPMENT SCHEDULE:	
APPLICANT PLANS TO BEGIN CONSTRUCTION ON FALL 2021, WITH AN ESTIMATED COMPLETION DATE IN FALL 2022.	
SITE COVERAGES:	
TOTAL LOT AREA	57,062 S.F. (100%)
PROPOSED BUILDING AREA	14,117 S.F. (24.7%)
PROPOSED PAVING AREA	24,568 S.F. (56.4%)
TOTAL IMPERVIOUS AREA	38,685 S.F. (67.8%)
TOTAL OPEN AREA	18,377 S.F. (32.2%)
LOT REQUIREMENTS:	
FRONT YARD SETBACK (ELM STREET) 15 FEET	
24(12+12) = 48 SPACES	
SIDE YARD SETBACK 15 FEET	
REAR YARD SETBACK 20 FEET	
PARKING REQUIREMENTS:	
2 SPACES PER UNIT/ 12 UNITS (TWO BEDROOM EACH) PER BUILDING/ 2 BUILDINGS	
TOTAL PARKING REQUIRED = 48 SPACES	
TOTAL PARKING PROVIDED = 48 SPACES (24 PARKING SPACES (2 ADA)+24 GARAGE STALLS)	
SITE LIGHTING SHALL BE PROVIDED ON THE SIDES OF THE BUILDING.	



SITE PLAN PARKSIDE HILLS -LOT 11 WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE DEVELOPMENT
CO/CHAD KEUNE
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

SUBDIVIDER'S ATTORNEY
MATTHEW J. ADAM
1150 5TH STREET, SUITE 170
CORALVILLE, IA 52241

SHEET INDEX
C120 SITE LAYOUT AND DIMENSION PLAN
C140 GRADING AND EROSION CONTROL PLAN
C141 DETAILED GRADING PLAN: WEST HALF
C142 DETAILED GRADING PLAN: EAST HALF
C160 UTILITY PLAN
C500 GENERAL NOTES AND DETAILS
L100 LANDSCAPE PLAN

STANDARD LEGEND AND NOTES	
PROPERTY &/or BOUNDARY LINES	CONGRESSIONAL SECTION LINES
RIGHT-OF-WAY LINES	EXISTING RIGHT-OF-WAY LINES
EXISTING CENTER LINES	LOT LINES, INTERNAL
LOT LINES, PLATTED OR BY DEED	PROPOSED EASEMENT LINES
EXISTING EASEMENT LINES	BENCHMARK
RECORDED DIMENSIONS	CURVE SEGMENT NUMBER
POWER POLE	POWER POLE W/DROP
POWER POLE W/TRANS	POWER POLE W/LIGHT
GUY POLE	SANITARY MANHOLE
FIRE HYDRANT	WATER VALVE
DRAINAGE MANHOLE	CURB INLET
FENCE LINE	EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER	EXISTING STORM SEWER
PROPOSED STORM SEWER	WATER LINES
ELECTRICAL LINES	TELEPHONE LINES
GAS LINES	CONTOUR LINES (1' INTERVAL)
PROPOSED GROUND	EXISTING TREE LINE
EXISTING DECIDUOUS TREE & SHRUB	EXISTING EVERGREEN TREES & SHRUBS

PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PY-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC	1,612 SY
	6" PCC	831 SY
	4" PCC	470 SY

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

APPROVED

By: P4Z

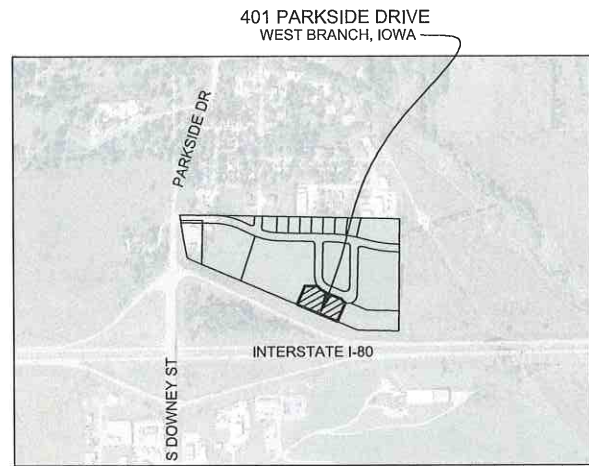
Date: 9/28/2021

APPROVED


By: City Council

Date: 11/15/2021

	I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.	
	RONALD L. AMELON,	P.E. Iowa Lic. No. 14201
	My license renewal date is December 31, 20__.	
	Pages or sheets covered by this seal: _____	



LOCATION MAP
NOT TO SCALE



IOWA

811

ONE CALL

SM

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 (800)282-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY DATA AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED PROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

BENCHMARK INFORMATION

POINT	ELEVATION	DATUM	DESCRIPTION
NO. 1	768.98	NAVD88	BOLT ARROW HEAD FOUND AT NORTHING 614540.67, EASTING 2228751.20. MMS POINT 14466.
NO. 2	751.157	NAVD88	BOLT ARROW HEAD FOUND AT NORTHING 614627.10, EASTING 2229386.31. MMS POINT 15486.

HORIZONTAL CONTROL

POINT	NORTHING	EASTING	DESCRIPTION
H1	614604.59	2228636.17	100' ALUM PIN ON EAST SIDE OF PARKSIDE DRIVE APPROX. 82 FEET EAST OF 401 PARKSIDE DRIVE ENTRANCE. MMS POINT 14000.

IOWA ONE CALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-6889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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RAMP "E" INTERSTATE NO. 80

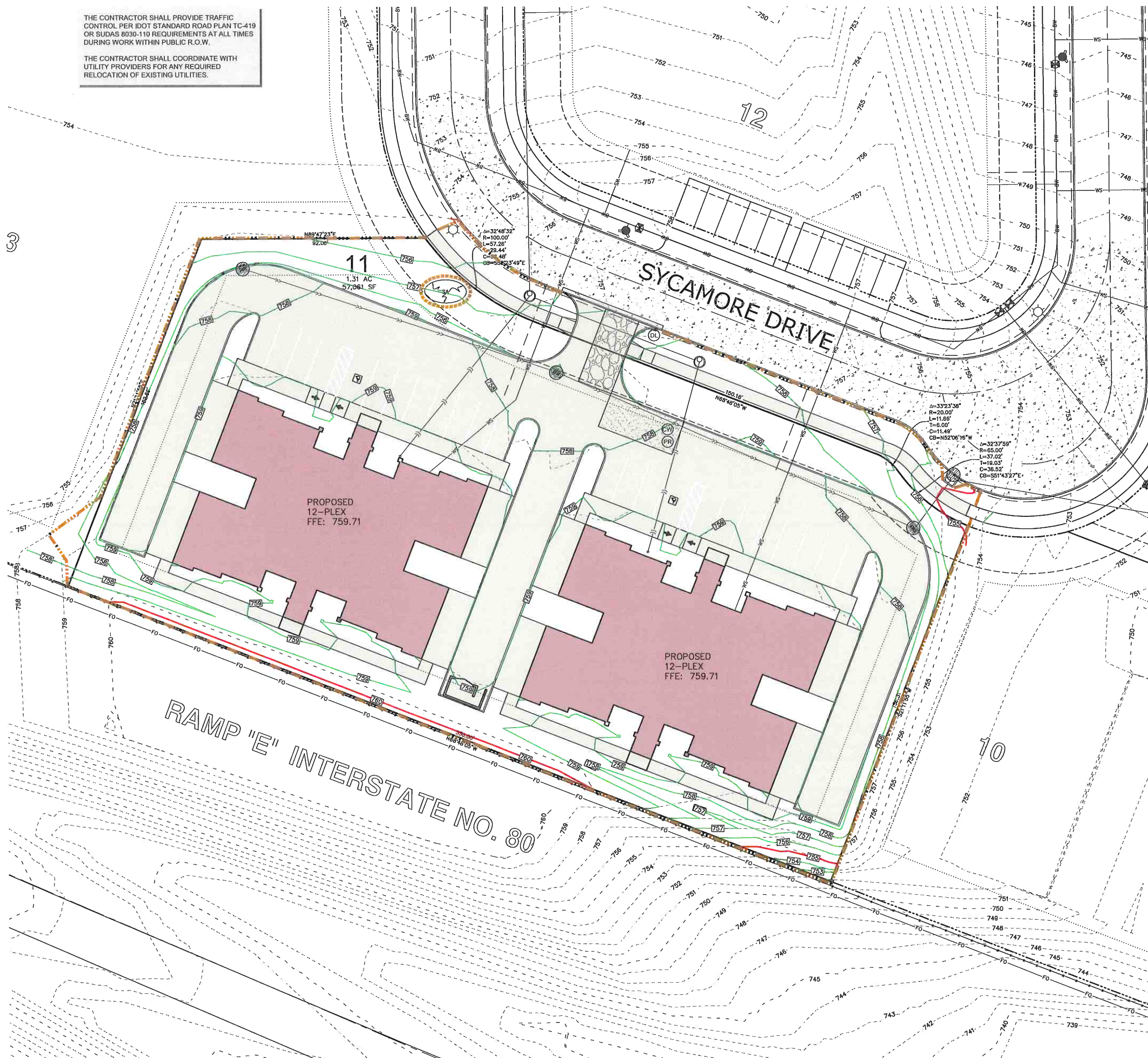
SITE LAYOUT AND DIMENSION PLAN

LOT 11
PARKSIDE HILLS
WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.
Date: 09-17-21
Designed by: RLA Field Book No: 1273 pg. 47
Drawn by: RJC/TAV Scale: 1"=20'
Checked by: RLA Sheet No:
Project No: C120
6992-360 of

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



SHEET INDEX

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GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 1.31 ACRES
TOTAL AREA TO BE DISTURBED: 1.31 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING ALL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

NOTES:

- TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
- FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

UTILITIES

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SILT FENCE DETAIL

INSTALLATION

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL OUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS. FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

MAINTENANCE

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

GRADING NOTES

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5:1 HORIZONTAL TO 1:1 VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS UPON COMPLETION OF ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATION AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH SUDAS DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

EROSION CONTROL LEGEND

FINAL FILTER SOCK	PERIMETER SILT FENCE
SILT FENCE	EROSION CONTROL MATTING
TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT	TEMPORARY SOIL STOCKPILE AREA
TEMPORARY PARKING AND STORAGE	DIRECTION OF OVERLAND FLOW
CONCRETE TRUCK/EQUIPMENT WASHOUT	DUMPSTER FOR CONSTRUCTION WASTE
PORTABLE RESTROOM	RIP RAP OUTLET PROTECTION
DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)	OTHER MEASURE:
OTHER MEASURE:	OTHER MEASURE:
OTHER MEASURE:	OTHER MEASURE:
OTHER MEASURE:	OTHER MEASURE:

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REASON ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

STANDARD LEGEND AND NOTES

PROPERTY &/or BOUNDARY LINES	CONGRESSIONAL SECTION LINES
RIGHT-OF-WAY LINES	EXISTING RIGHT-OF-WAY LINES
EXISTING CENTER LINES	LOT LINES, INTERNAL
LOT LINES, PLATTED OR BY DEED	PROPOSED EASEMENT LINES
EXISTING EASEMENT LINES	RECORDED DIMENSIONS
BENCHMARK	CURVE SEGMENT NUMBER
POWER POLE	POWER POLE W/DROP
POWER POLE W/TRANS	POWER POLE W/LIGHT
GUY POLE	LIGHT POLE
SANITARY MANHOLE	FIRE HYDRANT
WATER VALVE	DRAINAGE MANHOLE
CURB INLET	FENCE LINE
PROPOSED SANITARY SEWER	EXISTING SANITARY SEWER
PROPOSED STORM SEWER	EXISTING STORM SEWER
WATER LINES	ELECTRICAL LINES
TELEPHONE LINES	GAS LINES
CONTOUR LINES (1' INTERVAL)	PROPOSED GROUND
EXISTING TREE LINE	EXISTING DECIDUOUS TREE & SHRUB
EXISTING EVERGREEN TREES & SHRUBS	

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

IOWA ONE CALL

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GRADING AND EROSION CONTROL PLAN & SWPPP

LOT 11 PARKSIDE HILLS

WEST BRANCH, CEDAR COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 09-17-21

Designed by: RLA Field Book No: 1273 pg. 47

Drawn by: BJC/TAV Scale: 1"=20'

Checked by: RLA Sheet No:

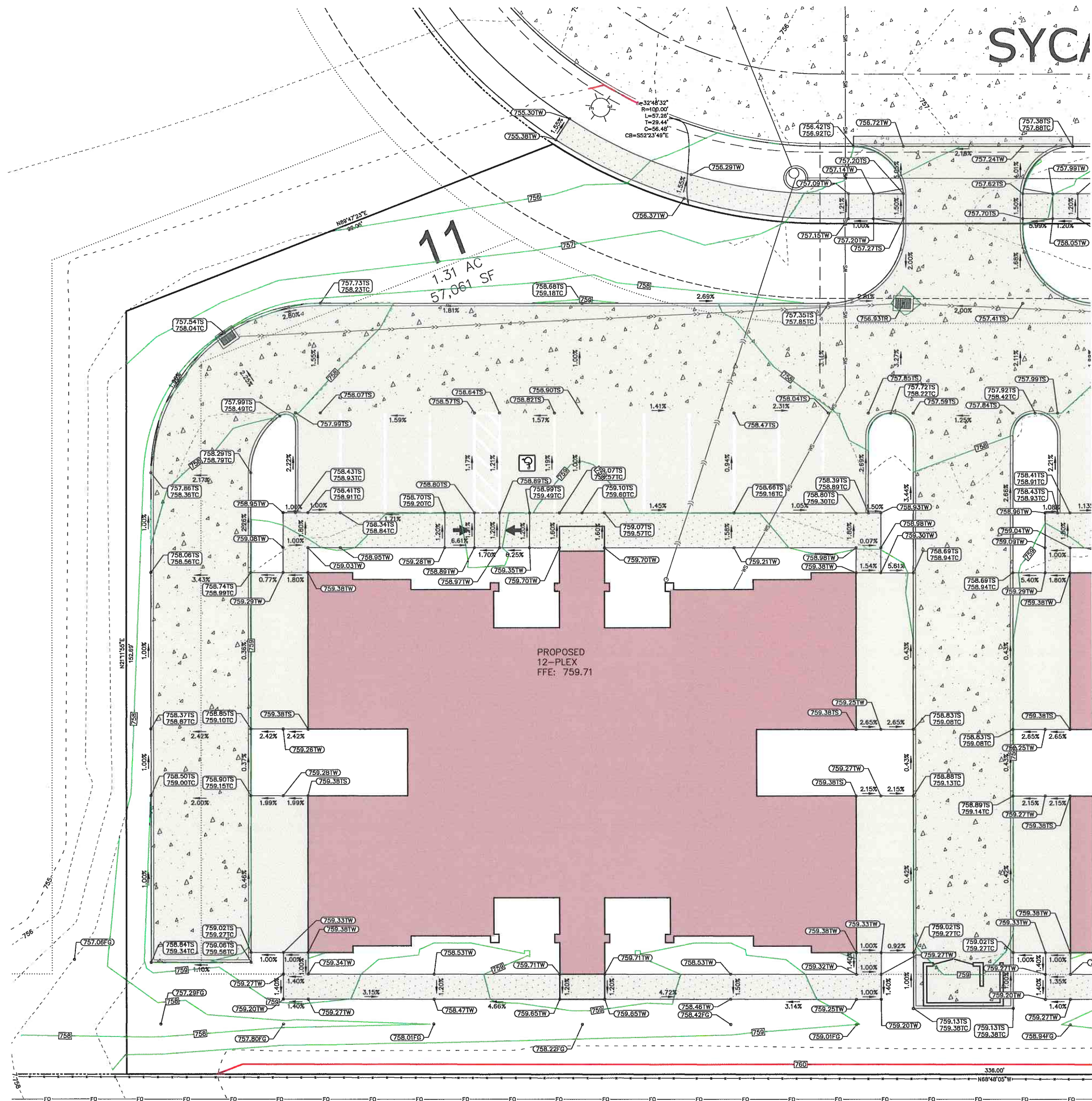
Project No: C140

6992-360 of

MMS

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net



STANDARD LEGEND AND NOTES	
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GRADING LEGEND

- 0000.00EG - EXISTING GRADE
- 0000.00FG - FINISHED GRADE
- 0000.00TC - TOP CURB
- 0000.00TS - TOP SLAB
- 0000.00TW - TOP WALK
- 0000.00TR - TOP RIM
- 0000.00WB - BOTTOM WALL*
- 0000.00WT - TOP WALL*

*REPRESENT GROUND ELEVATION AT WALL

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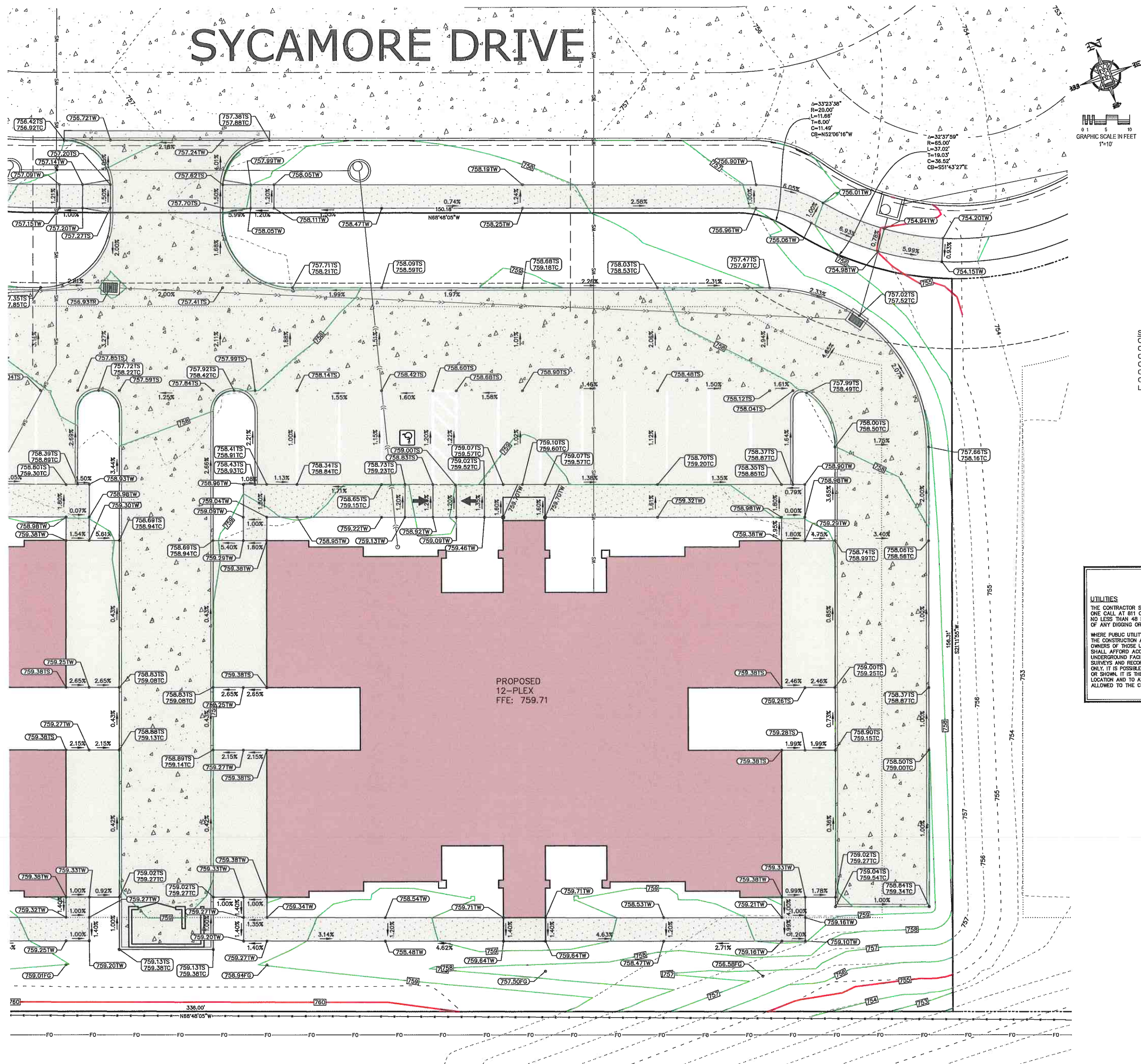
DETAILED GRADING PLAN: WEST HALF

LOT 11
PARKSIDE HILLS
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date:	09-17-21
Designed by:	RLA
Field Book No:	1273 pg. 47
Drawn by:	B/C/TAV
Scale:	1"=10'
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of



STANDARD LEGEND AND NOTES

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- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- EXISTING CENTER LINES
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

EXIST - 22-1

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRIC LINES
- TELEPHONE LINES
- C&S LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

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SHEET INDEX

C120	SITE LAYOUT AND DIMENSION PLAN
C140	GRADING AND EROSION CONTROL PLAN
C141	DETAILED GRADING PLAN: WEST HALF
C142	DETAILED GRADING PLAN: EAST HALF
C160	UTILITY PLAN
C500	GENERAL NOTES AND DETAILS
L100	LANDSCAPE PLAN

GRADING LEGEND

- 0000.00EG - EXISTING GRADE
- 0000.00FG - FINISHED GRADE
- 0000.00TC - TOP CURB
- 0000.00TS - TOP SLAB
- 0000.00TW - TOP WALK
- 0000.00TR - TOP RIM
- 0000.00WB - BOTTOM WALL*
- 0000.00WT - TOP WALL*

*REPRESENT GROUND ELEVATION AT WALL

UTILITIES

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IOWA ONE CALL

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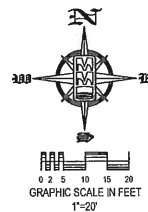
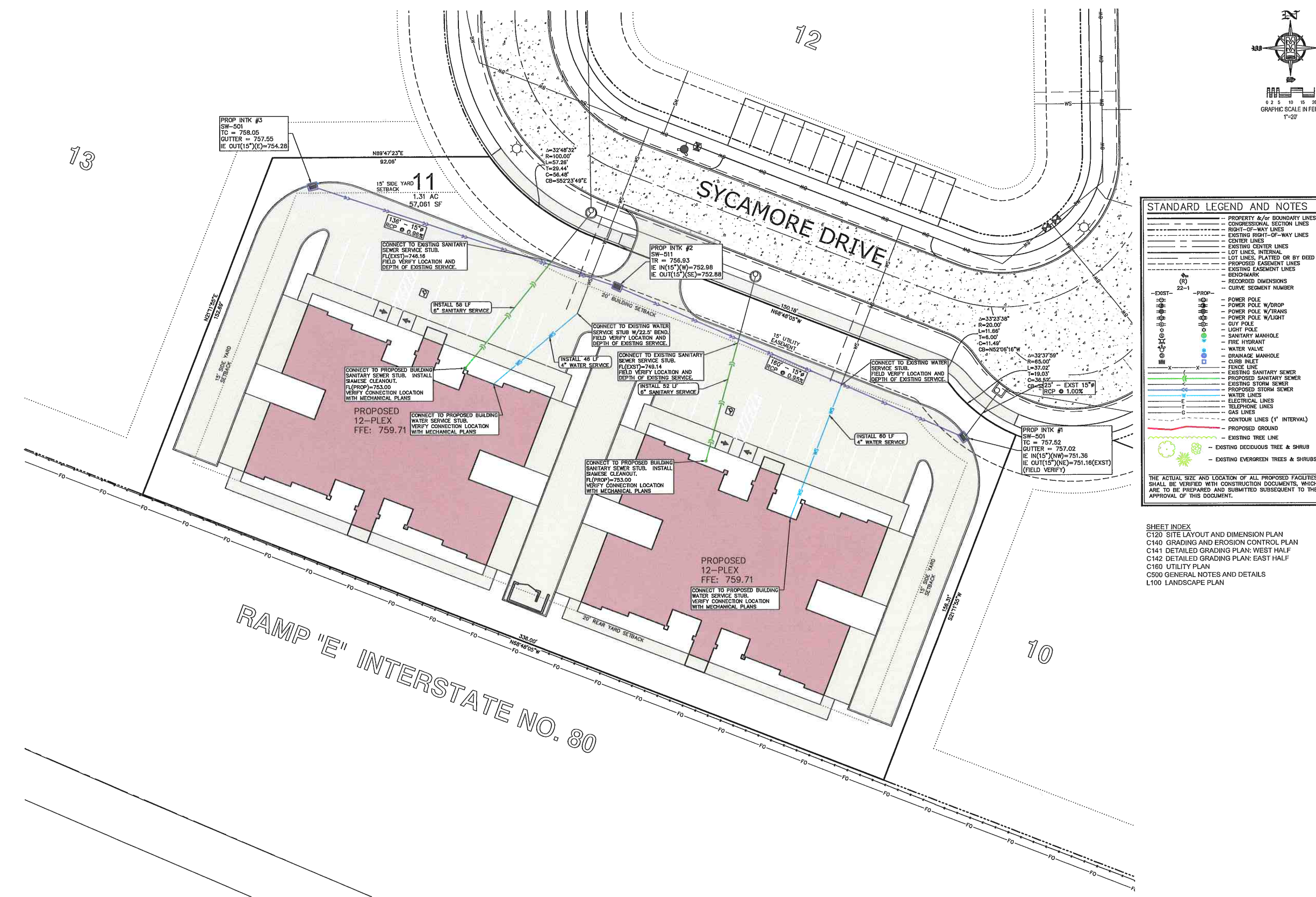
Date	Revision
10/07/21	PER CITY REVIEW TAV/LRA

DETAILED GRADING PLAN: EAST HALF

**LOT 11
PARKSIDE HILLS**
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date: 09-17-21
Designed by: RLA Field Book No: 1273 pg. 47
Drawn by: BJC/TAV Scale: 1"=10'
Checked by: RLA Sheet No:
Project No: **C142**
6992-360 of



STANDARD LEGEND AND NOTES	
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---	DRAINAGE MANHOLE
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SITE UTILITY PLAN

LOT 11
PARKSIDE HILLS
WEST BRANCH,
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MMS CONSULTANTS, INC.

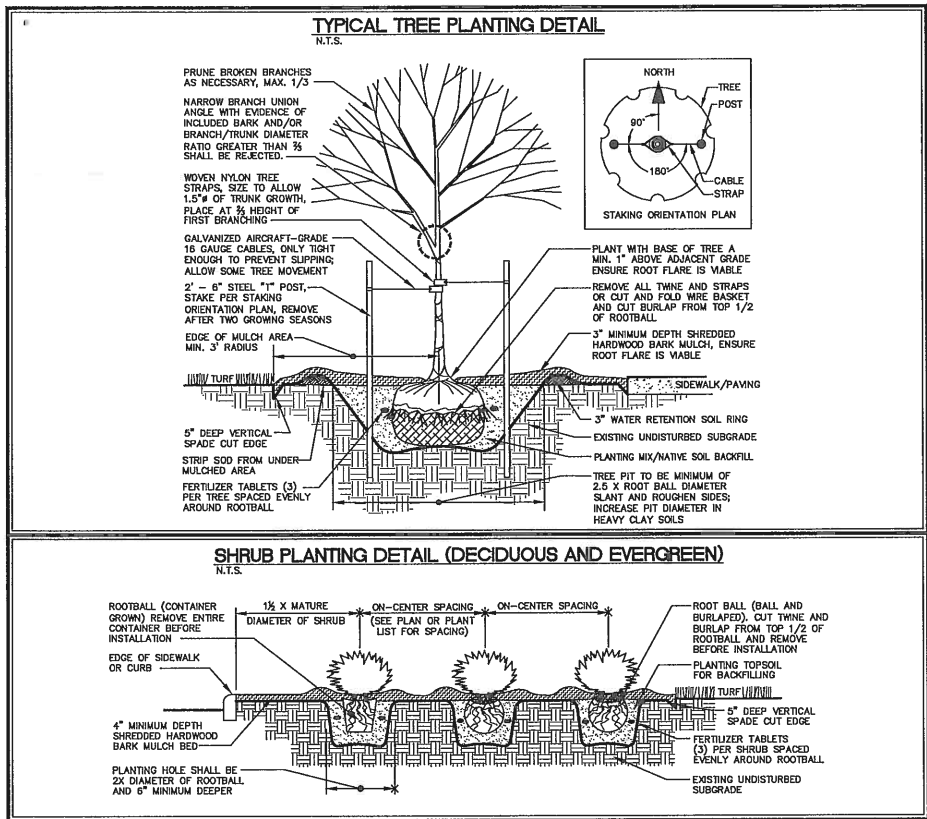
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6992-360	of

UTILITIES

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IOWA ONE CALL



LANDSCAPE REQUIREMENTS

LANDSCAPE SCREENING
WHEREVER PRACTICAL, PARKING AREAS SHALL BE EFFECTIVELY SCREENED FROM GENERAL PUBLIC VIEW.
-- PROVIDED

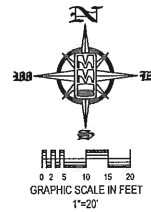
NOT LESS THAN FIVE (5) PERCENT OF THE INTERIOR PARKING AREA SHALL BE LANDSCAPED WITHIN PARKING ISLANDS.
1,264.00 SF OF 18,808.19 SF PARKING AREA = 6.80%
-- PROVIDED

OPEN SPACE
25% OPEN-SPACE REQUIRED
57,001.3 SF X .25 = 14,250.3 SF (MINIMUM)
-- 32.2% PROVIDED (18,376.47 SF)

1 TREE PER 1,500 SF OF REQUIRED OPEN SPACE = 10 TREES
-- 10 PROVIDED

1 SHRUBS PER 1,000 SF OF OPEN SPACE = 14 SHRUBS
-- 36 PROVIDED

QTY	REV	SYMBOL NAME	COMMON NAME	INSTALL SIZE	LANDSCAPE	NATIVE SPECIES
1	SS	QUERCUS TRUNCATUM BRUGSIE	SHOULDER BARK OAK	1" CAL.	D & D	40' X 10'
1	HS	QUERCUS AGRO	HEAVY OAK	1" CAL.	D & D	40' X 10'
4	QP	QUERCUS PRINCIPIS	PIN OAK	1" CAL.	D & D	40' X 10'
4	QB	QUERCUS BICOLOR	GROUP WHITE OAK	1" CAL.	D & D	40' X 10'

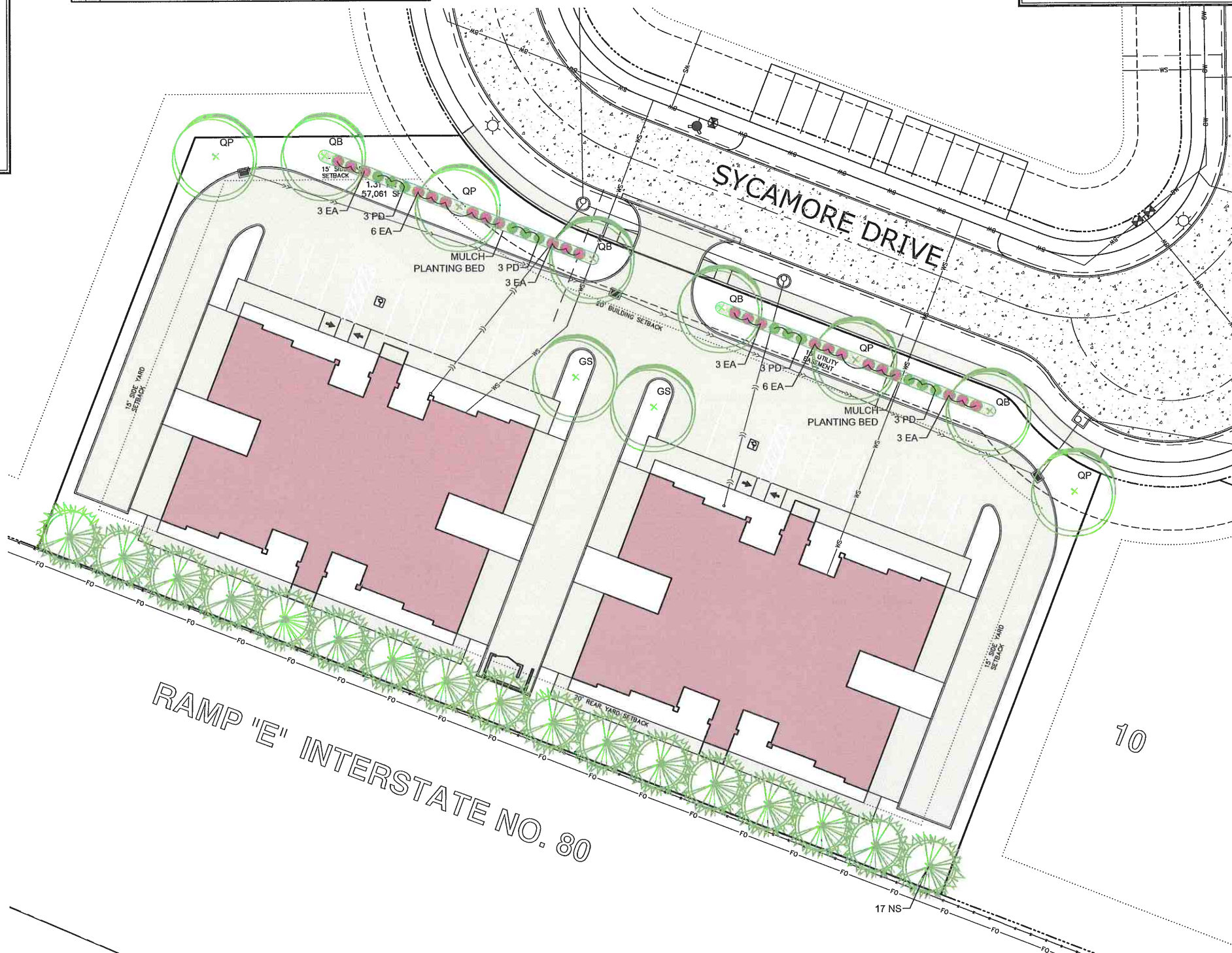


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IOWA ONE CALL
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Date: 10/07/21
Revision: PER CITY REVIEW TAV/RLA

LANDSCAPE PLAN

LOT 11
PARKSIDE HILLS
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.
Date: 09-17-21
Designed by: RLA Field Book No: 1273 pg. 47
Drawn by: BJC/TAV Scale: 1"=20'
Checked by: RLA Sheet No:
Project No: L100
6992-360 of

SANITARY SEWER AND WATERMAIN NOTES

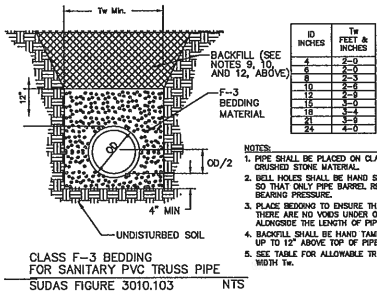
- SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2018) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.2.01.E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHOWN ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
 - WILL NOT SHOW STEPS.
 - WILL HAVE EXTERNAL CHIMNEY SEAL BY INFRESHIELD UNIBAND, CRETEK, OR APPROVED EQUAL.
 - WILL HAVE MANHOLE FRAME AND LID TO BE MENARD R-1642 SELF-SEALING WITH CITY LOGO.
 - WILL HAVE RISERS RINGS OF CRETEK PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, IE: WOOD, BRICK, ROCKS, ETC.
 - WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :

- TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
- TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
- ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEK EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING.

AIR TESTING

- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
 - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
 - PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
 - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psi & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
 - LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
 - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
 - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT.
- IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.
- LOCATE, REPAIR AND RETEST LEAKS.
- AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
 - ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
 - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANOREL WITH A DIAMETER EQUAL TO 20% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED :

- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10'-FEET OF THE POINT OF CROSSING.
- NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

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STORM SEWER NOTES

- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASMENT.
- STORM SEWERS SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPOOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FLEET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- PROVIDE CONCRETE FLEETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

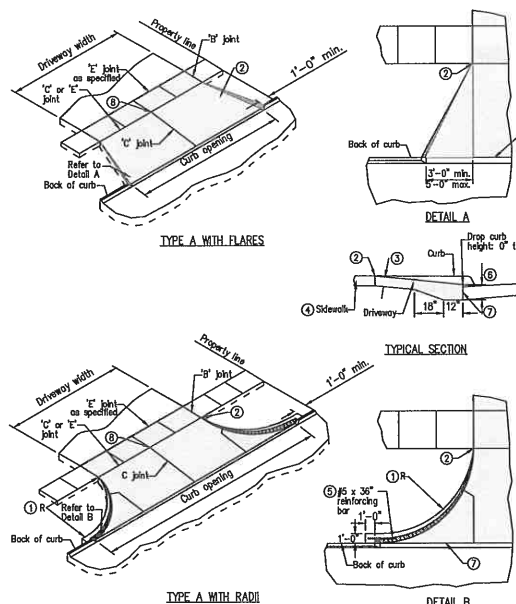
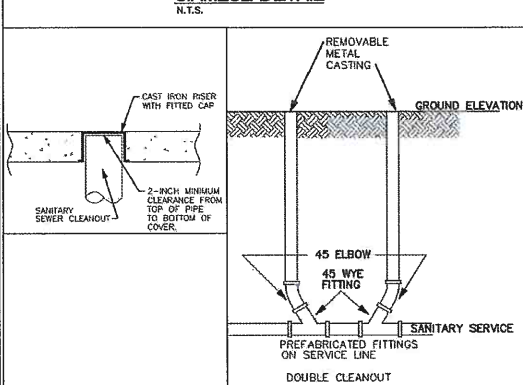
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NOTES:

- PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
- BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
- PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
- BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
- SEE TABLE FOR ALLOWABLE TRENCH WIDTH B4.

ID INCHES	B4 FEET & INCHES
12	2-3
18	2-6
24	3-3
30	4-0
36	4-3
42	5-0
48	6-3

SIAMESE DETAIL

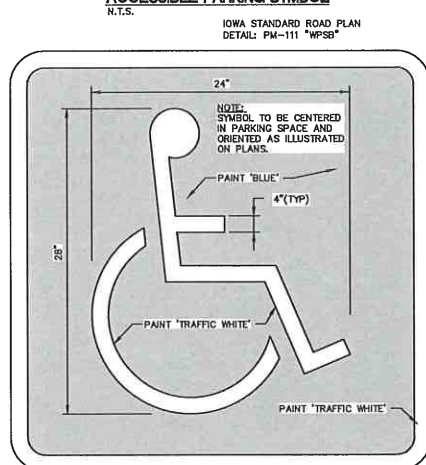


- Driveway radius (R), Residential: 10 foot minimum, 15 foot maximum. Commercial and Industrial: As specified in the contract documents.
- Transition the curb height to 0 inches at end of taper/offset or at the front edge of sidewalk. Do not extend rolled curb across sidewalk.
- Pavement thickness, Residential: 6 inches minimum. Commercial and Industrial: 7 inches minimum.
- Sidewalk thickness through driveway to match thickness of driveway.
- Center reinforcing bar vertically in the pavement.
- Match thickness of adjacent roadway, 8 inches minimum.
- Provide 1" joint at back of curb unless 1" joint is specified.
- For alleys, invert the pavement crown 2% toward center of alley.
- Target cross slope of 1.5% with a minimum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with figure 7030.101, verify need for detectable warning panel with engineer.

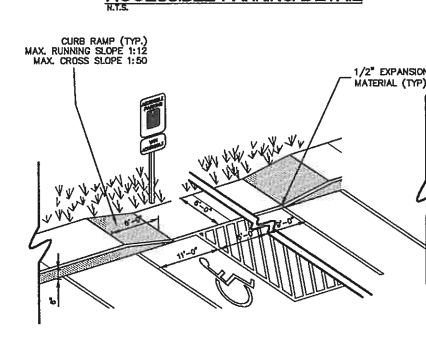
REVISION
NEW
FIGURE 7030.101
SHEET 1 OF 1

CONCRETE DRIVEWAY, TYPE A

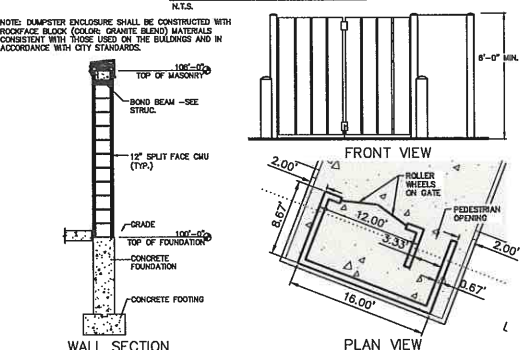
ACCESSIBLE PARKING SYMBOL



ACCESSIBLE PARKING DETAIL

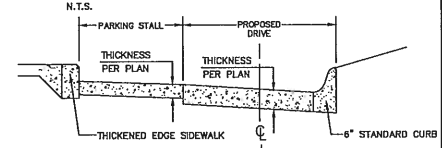


TRASH ENCLOSURE DETAIL

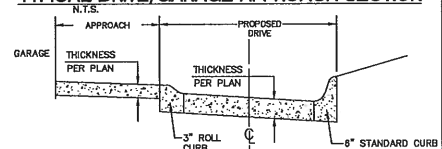


SHEET INDEX
C120 SITE LAYOUT AND DIMENSION PLAN
C140 GRADING AND EROSION CONTROL PLAN
C141 DETAILED GRADING PLAN: WEST HALF
C142 DETAILED GRADING PLAN: EAST HALF
C160 UTILITY PLAN
C500 GENERAL NOTES AND DETAILS
L100 LANDSCAPE PLAN

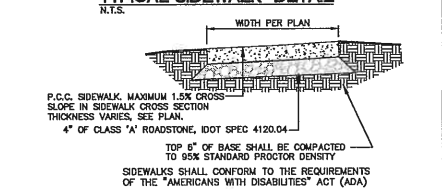
TYPICAL DRIVE / PARKING SECTION



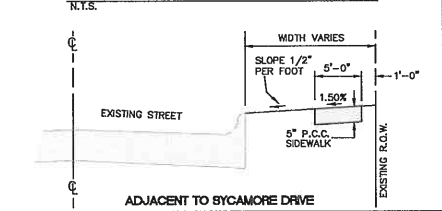
TYPICAL DRIVE/GARAGE APPROACH SECTION



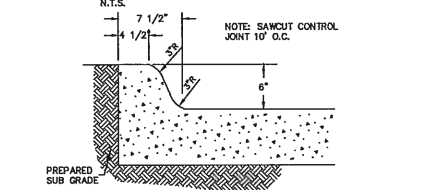
TYPICAL SIDEWALK DETAIL



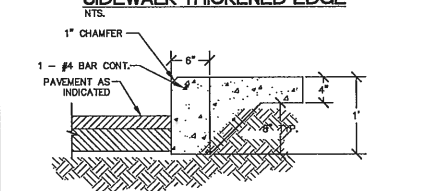
TYPICAL SIDEWALK INSTALLATION



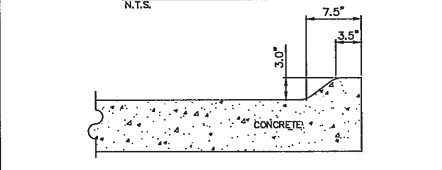
6" STANDARD CURB DETAIL



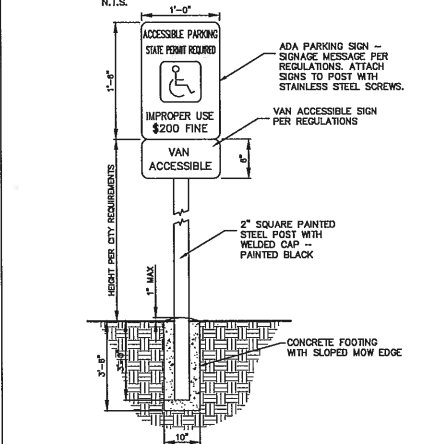
SIDEWALK THICKENED EDGE



3' ROLL CURB DETAIL



ACCESSIBLE SIGN DETAIL



LOT 11
PARKSIDE HILLS
WEST BRANCH,
CEDAR COUNTY,
IOWA

MMS CONSULTANTS, INC.
Date: 09-17-21
Designed by: RLA Field Book No: 1273 pg. 47
Drawn by: BJC/TVA Scale:
Checked by: RLA Sheet No:
Project No: C500
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