



110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358
(319) 643-5888 • Fax (319) 643-2305 • www.westbranchiowa.org • city@westbranchiowa.org

**PLANNING AND ZONING COMMISSION MEETING
(SPECIAL & REGULAR MEETING)**

Tuesday, July 6, 2021 • 7:00 p.m.

****West Branch City Council Chambers, 110 N. Poplar St.**

Council Quorum May Be Present

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
4. Public Hearing/Non-Consent Agenda. /Move to action.
 - a. Motion to approve the West Branch Village/ Haven Park Expansion Site Plan.
 - b. Motion to approve a revised Site Plan for Parkside Petroleum LLC – 401 Parkside Drive, West Branch. / Move to action.
 - c. Motion to approve a recommendation to vacate Birdie Drive (a proposed street in the Cedar's Edge Subdivision) – per Chapter 137. / Move to action.
 - d. Comprehensive Plan discussion
- e. West Branch Tree Survey
5. Old Business
 - a. Update on the former Croell site rezoning
6. City Staff Reports
7. Comments from Chair and Commission Members
8. Next regular Planning & Zoning Commission meeting Tuesday, September 28, 2021.
9. Adjourn

In-person participation is encouraged, however not required.

**** Electronic Meeting (Pursuant to Iowa Code section 21.8) An electronic meeting will be available for those not able to attend in person. You can watch and/or participate in the meeting at the following link <https://zoom.us/j/829677991> or dial in phone number 1-312-626-6799 with Meeting ID 829 677 991.**

Planning & Zoning Commission Members: Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Emilie Walsh, Brad Bower, Matt Van Scoyoc, Jim Hoffman • **Zoning Administrator:** Terry Goerd • **Deputy Clerk:** Leslie Brick
Mayor: Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Jerry Sexton, Tom Dean
City Administrator/Clerk: Redmond Jones II • **Fire Chief:** Kevin Stoolman • **Police Chief:** John Hanna
• **Public Works Director:** Matt Goodale

WEST BRANCH VILLAGE EXPANSION PLANS

WEST BRANCH, IOWA

UTILITY COMPANY CONTACTS	
IOWA ONE-CALL	811
LINN COUNTY REC	319-377-1587
ALLIANT ENERGY	800-255-4268
WATER - WEST BRANCH	319-643-5888
SEWER - WEST BRANCH	319-643-5888
LIBERTY COMMUNICATIONS	319-643-5353
CENTURY LINK	800-289-1901
MEDIACOM IOWA CITY	800-332-0245

CITY OF WEST BRANCH CONTACT INFORMATION	
CITY ADMINISTRATOR	319-643-5888
POLICE DEPARTMENT	563-886-2121
FIRE DEPARTMENT	319-643-2110
PUBLIC WORKS DEPARTMENT	319-643-5888
BUILDING & INSPECTIONS	319-330-9806

SURVEY BENCHMARKS AND CONTROL

SURVEY COMPLETED BY XCEL CONSULTANTS, INC OF ROCK ISLAND, ILLINOIS
PH: 309-787-9988

FOUND MONUMENT, PK NAIL
N: 621355.8520
E: 2228584.1460
ELEV: 727.131

FOUND MONUMENT, PINK CAP IR, PLS HEALY 23886
N: 621335.4990
E: 2229848.9980
ELEV: 773.640

FOUND MONUMENT, PINK CAP IR, PLS HEALY 23886
N: 618915.9780
E: 2229891.5890
ELEV: 732.096

CONTROL POINT #1
SET IR
N: 619782.9160
E: 2229279.5050
ELEV: 732.570

CONTROL POINT #3
SET IR
N: 619048.8720
E: 2229568.9910
ELEV: 750.657



KEY MAP
1" = 200'

GENERAL NOTES

THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS, OF FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF THE UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.

APPLICABLE STANDARDS

IOWA STANDARD URBAN DESIGN STANDARDS (SUDAS), 2020 EDITION

ALL WORK SHALL CONFORM TO CITY OF WEST BRANCH SUPPLEMENTAL SPECIFICATIONS

ALL APPLICABLE PIPE MANUFACTURER JOINING PROCEDURES

INDEX OF SHEETS	
A.01	TITLE SHEET
A.02	GENERAL NOTES & QUANTITIES
B.01	DETAILS
C.01-C.04	SITE PLAN, EROSION CONTROL PLAN & DETAILS, GRADING PLAN
D.01-D.06	PAVING & STORM SEWER PLANS
S.01-S.04	SANITARY SEWER PLANS
W.01-W.03	WATER MAIN PLANS

EXISTING	DESCRIPTION	PROPOSED
---	RIGHT OF WAY	---
---	PROPERTY LINE	---
---	CONSTRUCTION LIMIT	---
///	BUILDING LINE	///
E	ELECTRICAL	E
FOP	FIBER OPTIC LINE	FOP
G	GAS	G
SAN	SANITARY SEWER	SAN
ST	STORM SEWER	ST
TEL	TELEPHONE	TEL
W	WATERMAIN	W
X	FENCE LINE	X
TV	TELEVISION	TV
⊙	INTAKE	⊙
⊙	SANITARY MANHOLE	⊙
⊙	STORM MANHOLE	⊙
⊙	UTILITY MANHOLE	⊙
⊙	WATER VALVE	⊙
⊙	VALVE VAULT	⊙
⊙	HYDRANT	⊙
⊙	WATER SERVICE BOX	⊙
⊙	GAS VALVE	⊙
⊙	LIGHT FIXTURE	⊙
⊙	STREET LIGHT	⊙
⊙	POWER POLE	⊙
⊙	TELEPHONE PEDESTAL	⊙
⊙	ELECTRIC PEDESTAL	⊙

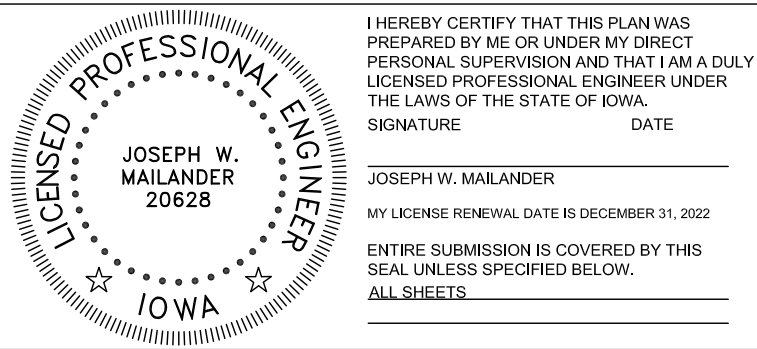
OWNER
WEST BRANCH VILLAGE, LLC
51 WEST CENTER STREET, SUITE 600
OREM, UTAH 84057

APPLICANT/SITE PLAN PREPARER
CLEARWELL, PLLC (ENGINEER OF RECORD)
C/O JOSEPH MAILANDER
2135 BLAKE BLVD SE
CEDAR RAPIDS, IA 52403

CONSTRUCTION SCHEDULE

START DATE:
CLEARING & GRADING:
UTILITY INSTALLATION:
FINISHED GRADING & PAVING
COMPLETION DATE:

JULY 1, 2021
JULY -AUGUST
AUGUST, 2021
SEPTEMBER, 2021
OCTOBER 22, 2021



GENERAL NOTES

- DIMENSIONS, STREET LOCATIONS, UTILITIES AND GRADING ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE REPORTED TO THE CITY INSPECTOR.
- CONFINE ALL CONSTRUCTION ACTIVITY TO THE CONSTRUCTION LIMITS UNLESS OTHERWISE AUTHORIZED.
- DO NOT STORE EQUIPMENT AND/OR MATERIALS WITHIN PUBLIC RIGHT-OF-WAY, ON STREETS AND/OR ALLEYS OPEN TO TRAFFIC. CONTRACTOR SHALL PROVIDE AREAS AS NEEDED FOR STORAGE OF EQUIPMENT AND/OR MATERIALS.
- WHERE CONTRACTOR EQUIPMENT IS OPERATED ON ANY PORTION OF THE PAVEMENT OR STRUCTURES USED BY TRAFFIC ON OR ADJACENT TO THE SECTION UNDER CONSTRUCTION, THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS AT THE END OF EACH DAY'S OPERATIONS, AND AT OTHER TIMES AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SAFETY INCLUDING FENCING AND SIGNAGE ON SITE AND SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE REGULATIONS REGARDING AIR, WATER AND NOISE POLLUTION.
- WHERE SECTION OF SUBSECTION MONUMENTS, BENCHMARKS, RIGHT-OF-WAY PINS, OR IRON PIPE MONUMENTS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED OR DISTURBED. THE CONTRACTOR SHALL PROTECT AND CAREFULLY PRESERVE ALL MONUMENTS UNTIL AN AUTHORIZED SURVEYOR, OR AGENT, HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING AN AUTHORIZED SURVEYOR RE-ESTABLISH ANY MONUMENTS UNNECESSARILY DESTROYED BY CONTRACT OPERATIONS.
- FULL DEPTH SAW CUT EXISTING PAVEMENTS PRIOR TO REMOVALS. THIS IS INCIDENTAL TO REMOVALS PAY ITEMS.
- PROTECT EXISTING FACILITIES, TREES AND OTHER APPURTENANCES NOT TO BE REMOVED FROM THE SITE DURING CONSTRUCTION.
- COORDINATE CONSTRUCTION TO MINIMIZE DISRUPTIONS TO THE ADJACENT PROPERTIES. REPAIR AND RESTORE ANY AREAS DISTURBED BY CONSTRUCTION OUTSIDE OF THE CONSTRUCTION LIMITS AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM WORK AND STAGING AREAS. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS, OR APPROVED BY THE ENGINEER. DUST CONTROL MEASURES ARE CONSIDERED INCIDENTAL.
- CONTRACTOR SHALL VERIFY SANITARY AND STORM SEWER PIPE SIZES AND INVERTS PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MANHOLES AND/OR PIPE.
- CONTRACTOR SHALL REPAIR ALL FIELD/DRAIN TILES ENCOUNTERED DURING CONSTRUCTION AS SPECIFIED OR AT A MINIMUM TO ALLOW FLOW USING LIKE MATERIAL IN NEW CONDITION WITH COUNTY APPROVED CONNECTIONS. CONTRACTOR SHALL RECORD EXISTING TYPE, SIZE, LOCATION AND DEPTH OF ALL FIELD/DRAIN TILES ENCOUNTERED AND REPAIRED DURING CONSTRUCTION. PROVIDE DATA TO THE CITY FOR INCORPORATION INTO RECORD DRAWINGS.

SUBSURFACE UTILITY NOTES

THESE DESIGN DRAWINGS INCORPORATE UNDERGROUND UTILITY INFORMATION BASED UPON SUBSURFACE UTILITY ENGINEERING PRACTICES AND STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA (CI/ASCE 38-02).

UTILITY QUALITY LEVEL A: PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES, USUALLY AT A SPECIFIC POINT. MINIMALLY INTRUSIVE EXCAVATION EQUIPMENT IS TYPICALLY USED TO MINIMIZE THE POTENTIAL FOR UTILITY DAMAGE. A PRECISE HORIZONTAL AND VERTICAL LOCATION, AS WELL AS OTHER UTILITY ATTRIBUTES, IS SHOWN ON PLAN DOCUMENTS. ACCURACY IS TYPICALLY SET TO 15-MM VERTICAL AND TO APPLICABLE HORIZONTAL SURVEY AND MAPPING ACCURACY AS DEFINED OR EXPECTED BY THE PROJECT OWNER.

UTILITY QUALITY LEVEL B: INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT AND REDUCED ONTO PLAN DOCUMENTS.

UTILITY QUALITY LEVEL C: INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

UTILITY QUALITY LEVEL D: INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

TABLE OF QUALITY LEVEL OF UTILITY INVESTIGATION IN ACCORDANCE WITH CI/ASCE 38-02	
UTILITY	QUALITY LEVEL
TELEPHONE DUCTS (UNDERGROUND)	C
ELECTRIC POLES	C
UNDERGROUND POWER	C
FIBER OPTIC	C
EXISTING SANITARY AND STORM SEWER	C
EXISTING WATER MAIN	C
GAS MAIN	C
CABLE TV	C

GENERAL UTILITY NOTES

- REFER TO TABULATION OF UTILITY GRADE LEVELS IN ACCORDANCE WITH CI/ASCE 38-02 IN THESE DRAWINGS FOR INFORMATION REGARDING DEPICTION OF EXISTING SUBSURFACE UTILITIES. THE CONTRACTOR MUST VERIFY ACTUAL LOCATIONS IN THE FIELD.
- UTILITY LOCATIONS AND DEPTHS WERE PLOTTED FROM INFORMATION FURNISHED BY THE VARIOUS UTILITY COMPANIES AND THEIR ACCURACY SHOULD BE CONSIDERED APPROXIMATE. NO RESPONSIBILITY IS ACCEPTED FOR THE LOCATIONS AS SHOWN OR THAT ALL UTILITY FACILITIES ARE SHOWN.
- UTILITY LOCATIONS SHOWN IN THE PLANS ARE APPROXIMATE. UNLESS NOTED OTHERWISE, THEY REPRESENT LOCATIONS PRIOR TO ANY UTILITY RELOCATIONS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION. GAS VALVES AND RELATED FIXTURES, TELEPHONE PEDESTALS AND RELATED FIXTURES, UTILITY MANHOLES, POWER POLES, AND STREET LIGHT POLES SHALL BE RELOCATED BY THE UTILITY. THE CONTRACTOR SHALL COOPERATE WITH THE OWNERS OF THESE UTILITIES IN THEIR REMOVAL AND REARRANGEMENT OPERATIONS SO WORK MAY PROGRESS IN A REASONABLE MANNER. DUPLICATION OF REARRANGEMENT WORK MAY BE REDUCED TO A MINIMUM, AND SERVICES RENDERED BY THOSE PARTIES WILL NOT BE UNNECESSARILY INTERRUPTED. WHERE INDICATED IN THE CONTRACT DOCUMENTS, PROVIDE TRAFFIC CONTROL AND COORDINATE SCHEDULING OF UTILITY RELOCATIONS. SCHEDULE UTILITY RELOCATIONS TO AVOID DELAY TO CONTRACTOR OPERATIONS. THE COST FOR LOCATING EXISTING UTILITIES, COORDINATING RELOCATION WORK, PROVIDING TEMPORARY SUPPORTS, AND STAGING CONSTRUCTION TO ACCOMMODATE THE RELOCATION OF UTILITIES IS CONSIDERED INCIDENTAL TO CONSTRUCTION.
- THERE MAY BE ABANDONED UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONFIRM SAID UTILITIES ARE ABANDONED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THESE LINES AS NECESSARY FOR CONSTRUCTION.
- CONTRACTOR SHALL CONFIRM ASSUMED DEPTHS OF UTILITIES AND PROTECT THEM AS NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY SANITARY AND STORM SEWER PIPE SIZES AND INVERTS PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MANHOLES AND/OR PIPE. NO ADDITIONAL PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR MATERIAL THAT IS ORDERED AND DOES NOT MATCH PIPE SIZES AND INVERTS THAT ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- AT POINTS WHERE THE CONTRACTOR'S OPERATIONS ARE ADJACENT TO FACILITIES OF UTILITY COMPANIES, DAMAGE TO WHICH MIGHT RESULT IN CONSIDERABLE EXPENSE, LOSS, OR INCONVENIENCE, WORK SHALL NOT COMMENCE UNTIL ALL ARRANGEMENTS NECESSARY FOR THE PROTECTION THEREOF HAVE BEEN MADE.
- IN THE EVENT OF INTERRUPTION OF UTILITY SERVICES AS A RESULT OF ACCIDENTAL BREAKAGE OR AS A RESULT OF BEING EXPOSED OR UNSUPPORTED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROPER AUTHORITY AND SHALL COOPERATE WITH SAID AUTHORITY IN THE RESTORATION OF SERVICE. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.
- REPAIR ALL FIELD/DRAIN TILES ENCOUNTERED DURING CONSTRUCTION AS SPECIFIED OR AT A MINIMUM TO ALLOW FLOW USING LIKE MATERIAL IN NEW CONDITION WITH CITY APPROVED CONNECTIONS. THE CONTRACTOR SHALL RECORD EXISTING TYPE, SIZE, LOCATION AND DEPTH OF ALL FIELD/DRAIN TILES ENCOUNTERED AND REPAIRED DURING CONSTRUCTION. PROVIDE DATA TO THE CITY FOR INCORPORATION INTO RECORD DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER FOR ANY VARIANCE FROM THE APPROVED PLAN.

STAGING NOTES

- THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC AND PRIVATE PROJECTS IN THE AREA AT ALL TIMES.
- UNDERGROUND FACILITIES INFORMATION REQUIRES VERBAL NOTICE TO ONE CALL NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
- THE UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS, SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROVED WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT
- ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, TREES OR FOUNDATION STRUCTURES SHALL BE FILLED AND CONSOLIDATED TO FINISHED GRADE AS DIRECTED BY THE PROJECT ENGINEER TO PREVENT FUTURE SETTLEMENT. THE VOIDS SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. HOLES NEAR PEDESTRIAN WALKWAYS SHALL BE FENCED OFF AT ALL TIMES AND IF PRACTICAL COVERED WITH BOARDS DURING THE OVERNIGHT HOURS AND AT TIMES WHERE WORK IS NOT TAKING PLACE AT THE LOCATION OF THE HOLE FOR AN EXTENDED PERIOD OF TIME. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS (INCLUDING BORROW AREAS AND OPERATION AREAS) DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
- EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION AND DUST POLLUTION ON THE PROJECT SITE SHALL COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE AND LOCAL ORDINANCES.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO MAINTAIN POSITIVE DRAINAGE WHERE INTAKES ARE LOCATED.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO INDIVIDUAL PROPERTIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE OF DRIVEWAY MODIFICATIONS THAT WILL TEMPORARILY LIMIT OWNER ACCESS TO THEIR PROPERTY.
- THE CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND RIGHT-OF-WAY. IF THE CONTRACTOR OBTAINS ADDITIONAL EASEMENTS FOR THE STORAGE OF EQUIPMENT AND MATERIALS, COPIES OF THE AGREEMENTS WITH THE PROPERTY OWNERS SHALL BE PROVIDED TO THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL NOT DISTURB GRASS AREAS OR TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES OR EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. ALL STORAGE, PARKING AND SERVICE AREA(S) WILL BE SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
- DO NOT DRIVE ON THE PAVEMENT WITH CONSTRUCTION TRAFFIC GREATER THAN THE LEGAL LOAD LIMITS.

DRAWN BY: RLC

APPROVED BY: JWM

DATE: June 28, 8:05am

WEST BRANCH VILLAGE IMP PLANS.dwg | A.02

NO.	REVISION DESCRIPTION	APPROVED	DATE	



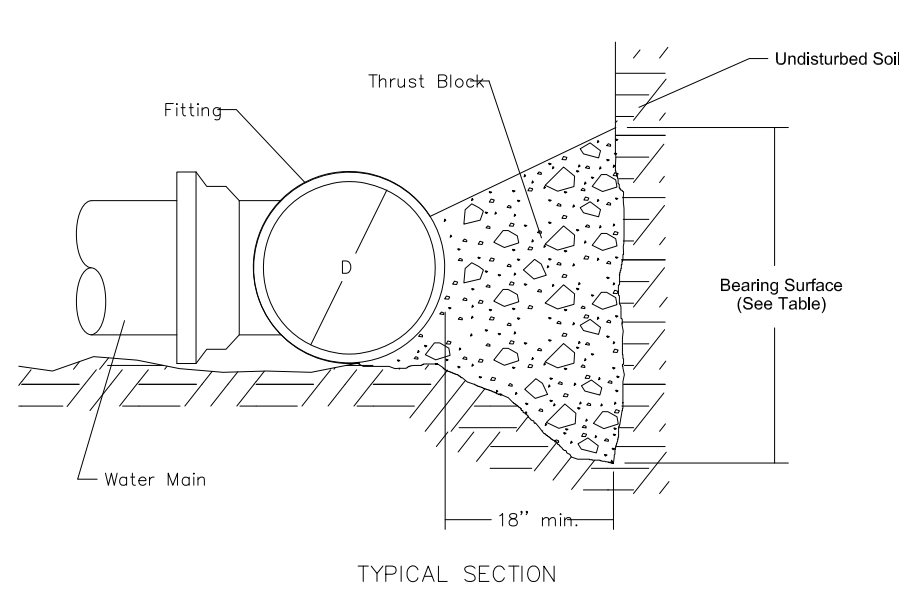
2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENG.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

GENERAL NOTES, QUANTITIES

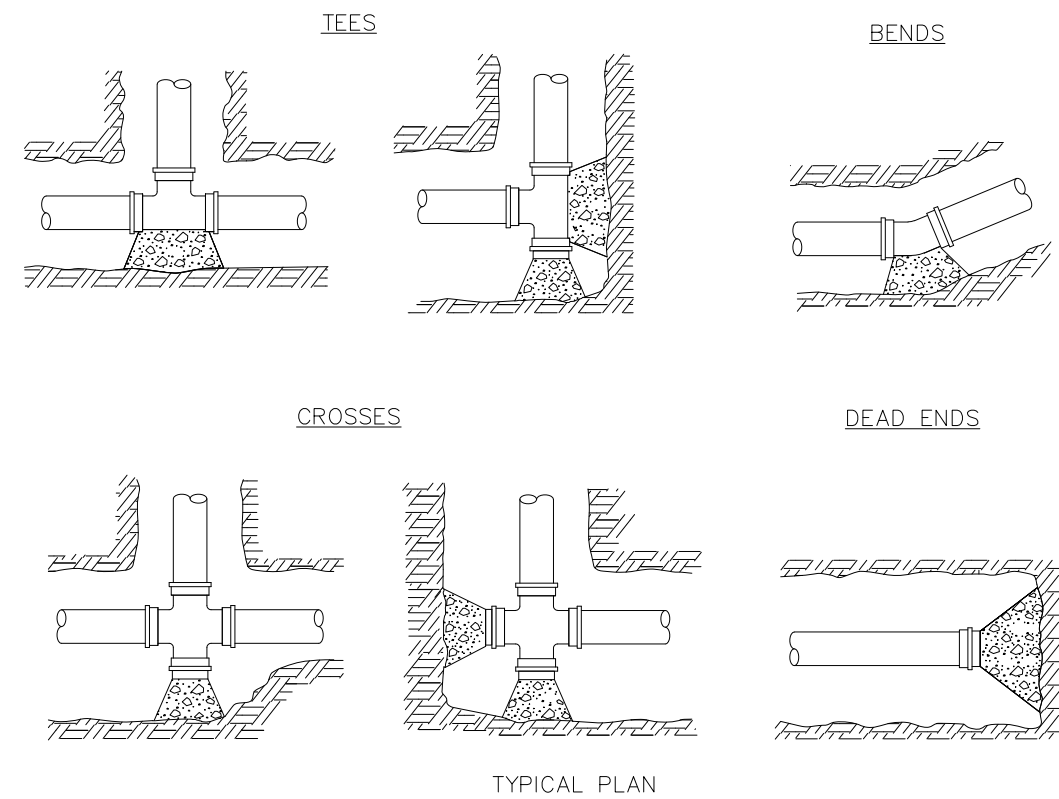
SHEET NO.

A.02

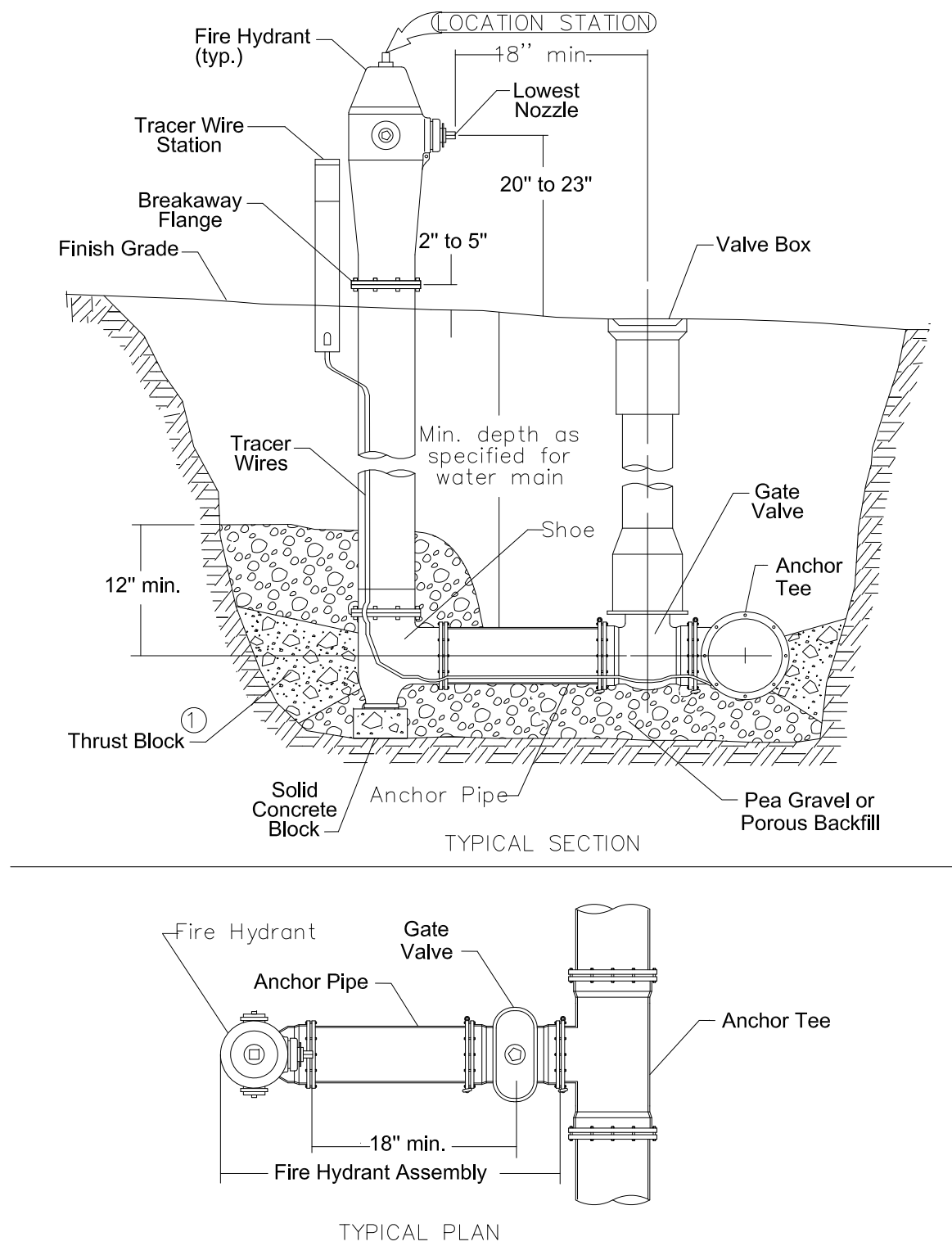


Diameter of Pipe, D (inches)	MINIMUM BEARING SURFACE (sf)				
	Bends				Tees and Dead Ends
	11 ¹ / ₂ °	22 ¹ / ₂ °	45°	90°	
4	1	1	2	4	3
6	1	2	4	8	6
8	2	4	7	14	10
10	3	6	11	21	15
12	4	8	16	29	21
14	5	11	21	39	28
16	7	14	27	50	36
18	9	17	34	63	45
20	11	21	42	78	55
24	15	31	60	111	78
30	24	47	92	171	120
36	34	67	132	244	173

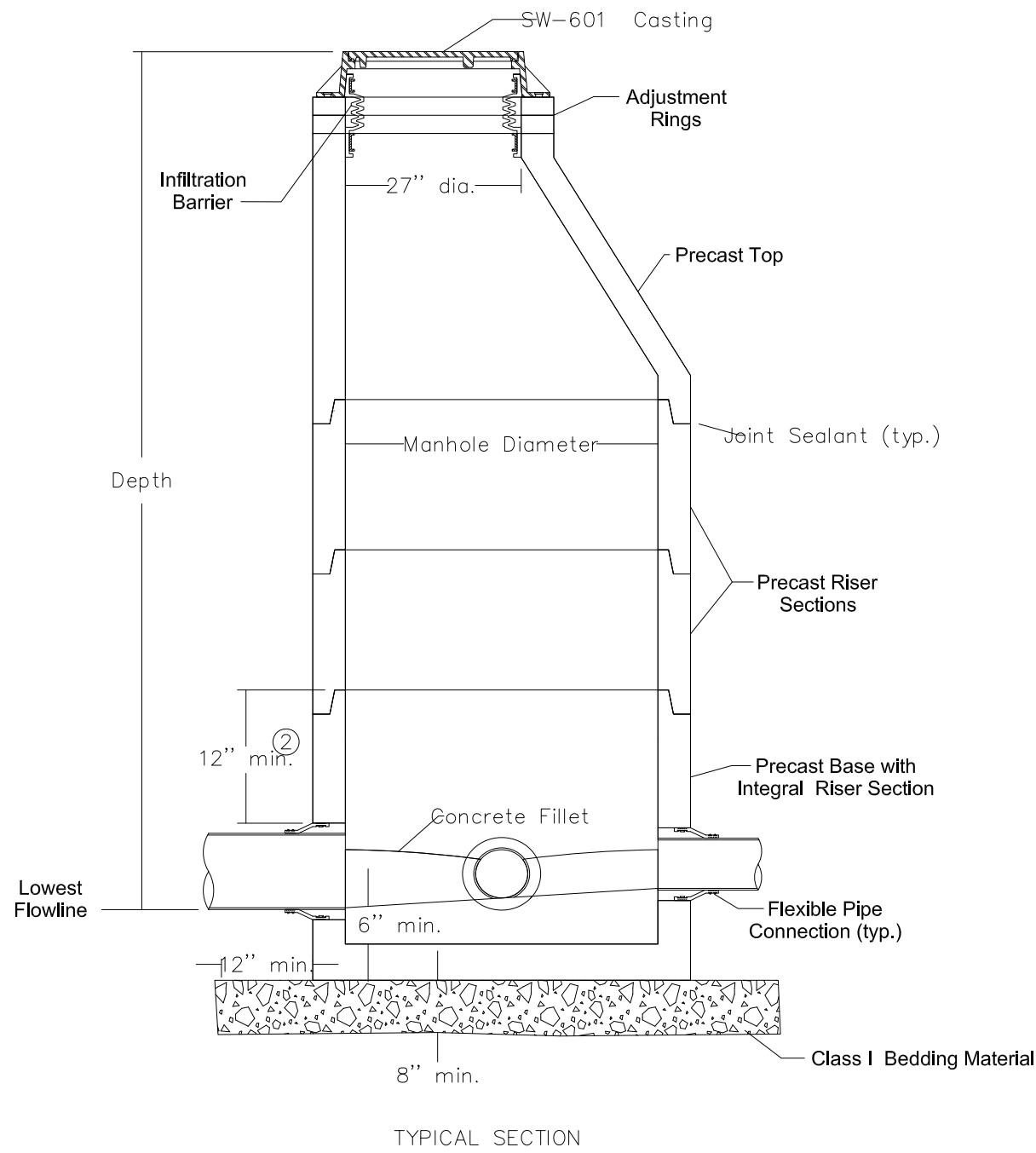
Minimum surface area based on water pressure of 150 psi and allowable soil pressure of 1,000 psf.



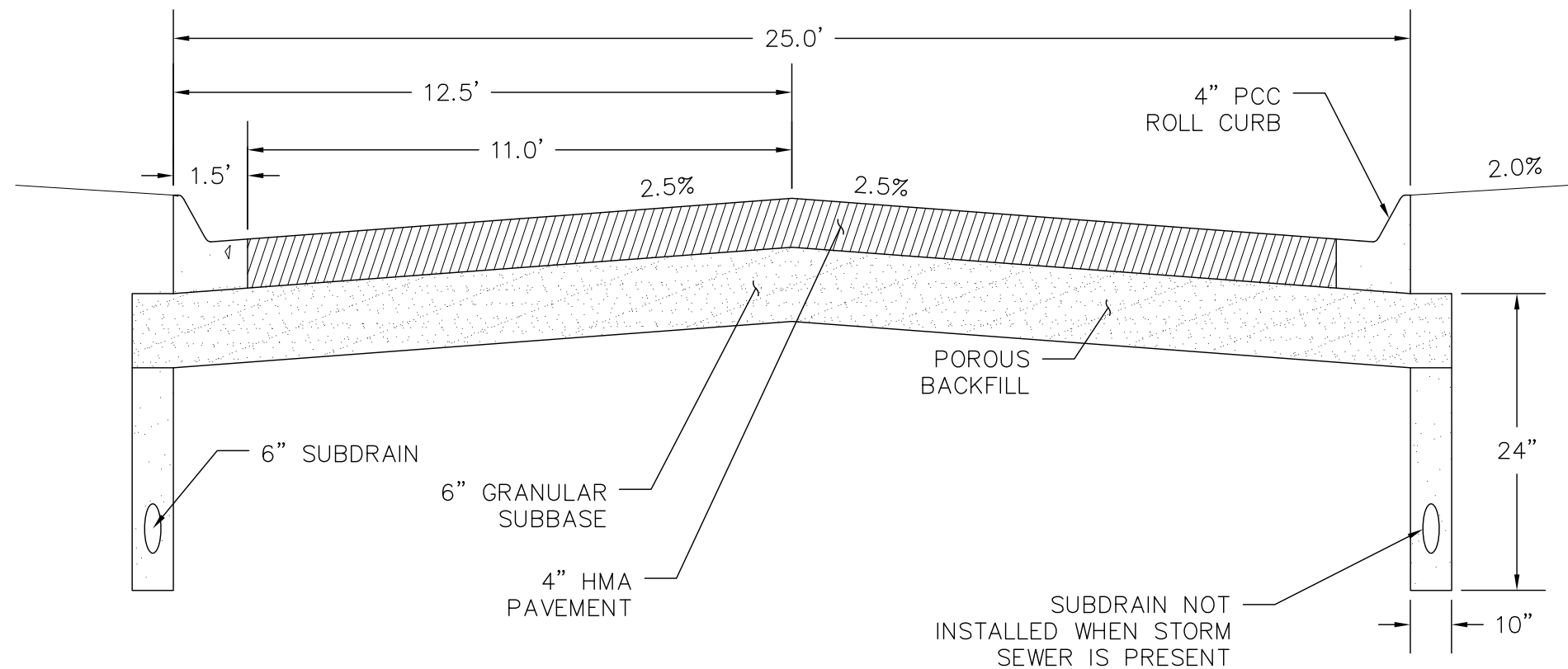
WATER THRUST BLOCK DETAILS (WM-101)



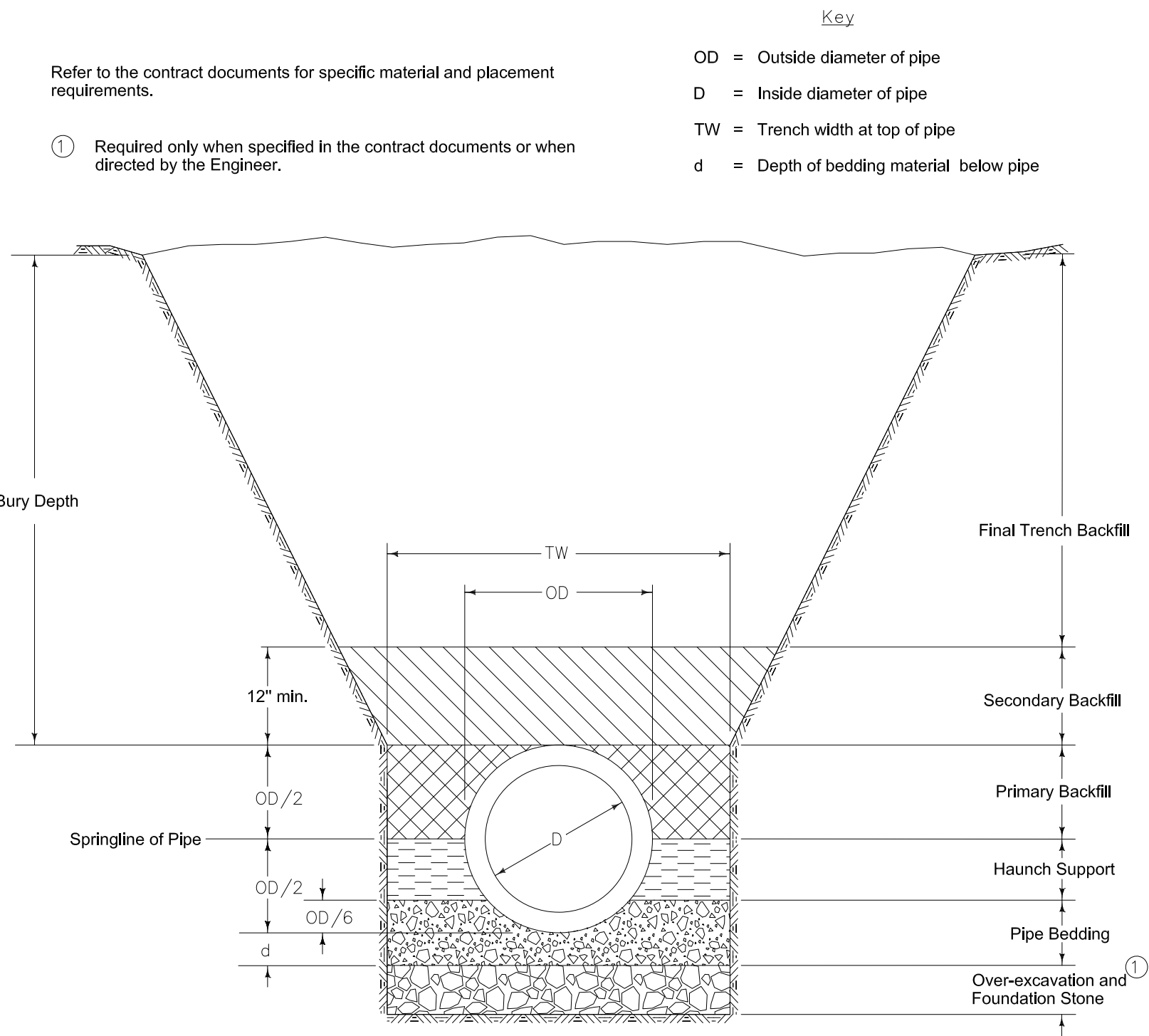
FIRE HYDRANT ASSEMBLY DETAIL (WM-201)



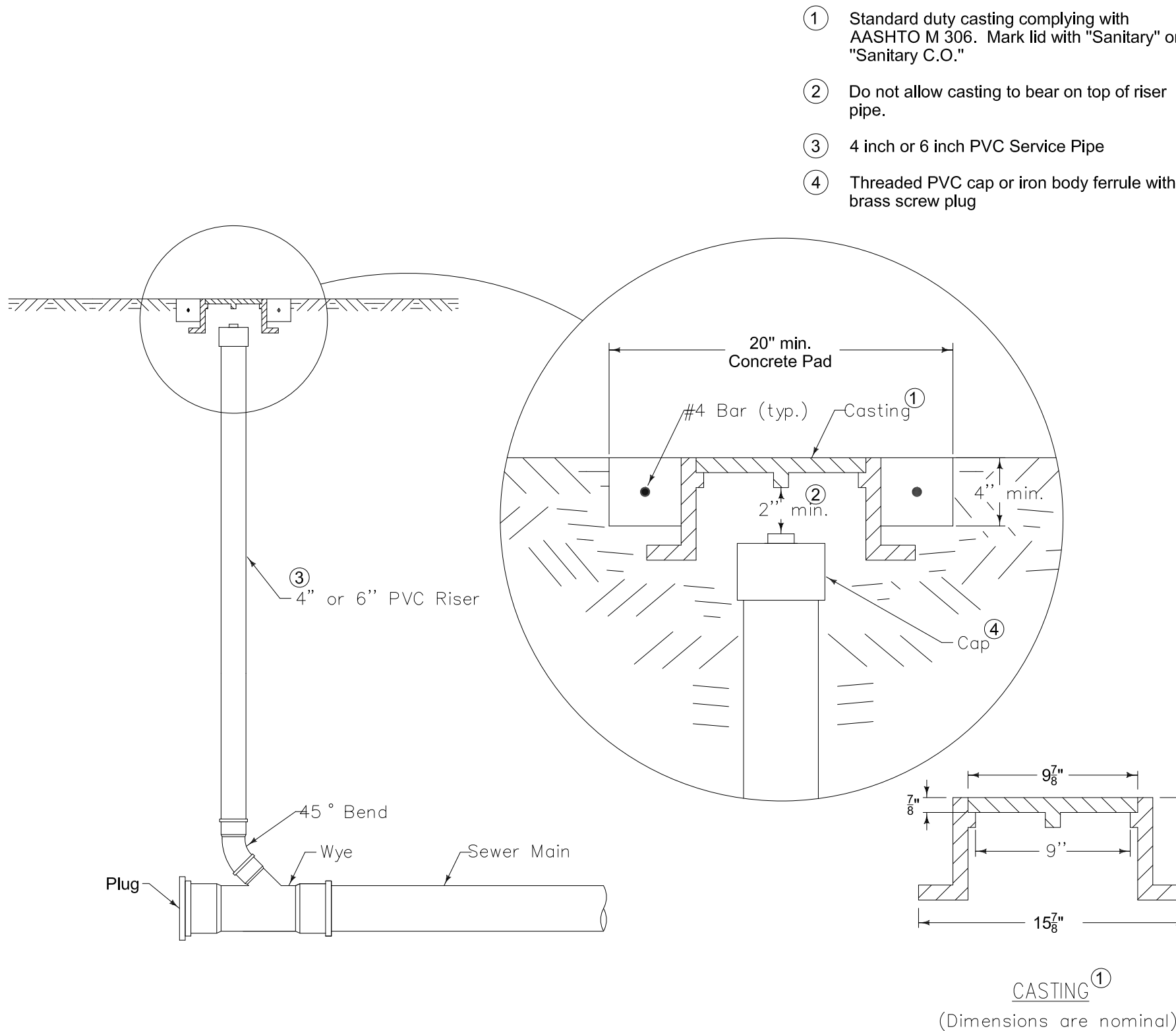
CIRCULAR SANITARY SEWER MANHOLE DETAIL (SW-301)



TYPICAL STREET SECTION
NOT TO SCALE



TRENCH BEDDING AND BACKFILL ZONES DETAIL (SW-101)



SANITARY SEWER CLEANOUT (SW-203)

DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:05am
WEST BRANCH VILLAGE IMP PLANS.dwg | B.01

NO.	REVISION DESCRIPTION	APPROVED	DATE

CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENG.COM

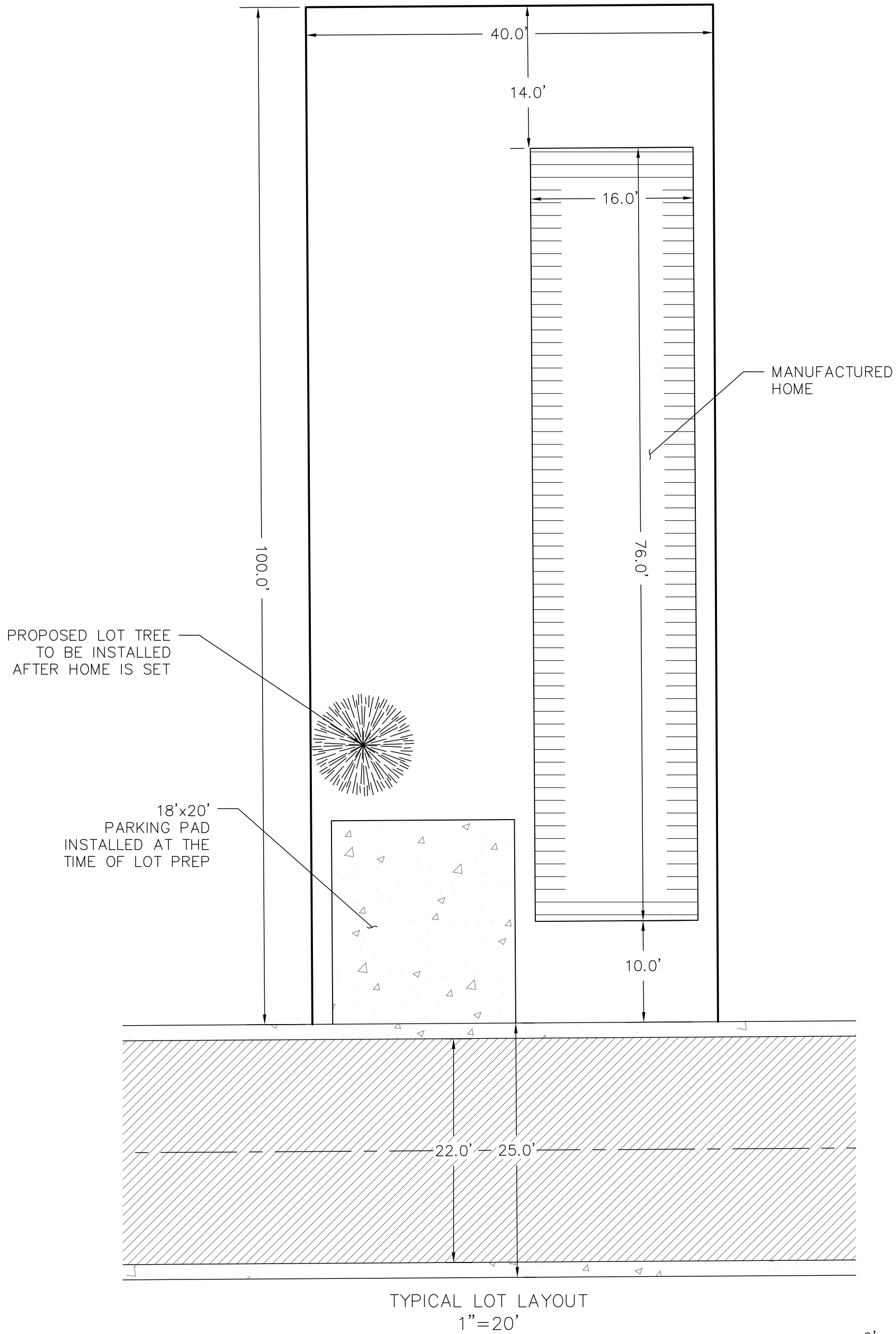
WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

DETAILS

SHEET NO.
B.01



PARKING CALCULATIONS
TWO SPACES FOR EACH MOBILE HOME PLUS ONE VISITOR SPACE FOR EACH THREE MOBILE HOMES.
HOMES PROPOSED: 65 HOMES
PARKING REQUIRED: $65 (2) + 65 (0.33) = 130 + 21.45 = 151.45$
PARKING PROPOSED: 2 STALLS/HOME + 26 GUEST STALLS = 156 STALLS



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:05am
WEST BRANCH VILLAGE IMP PLANS.dwg | C.01

NO.	REVISION DESCRIPTION	APPROVED	DATE

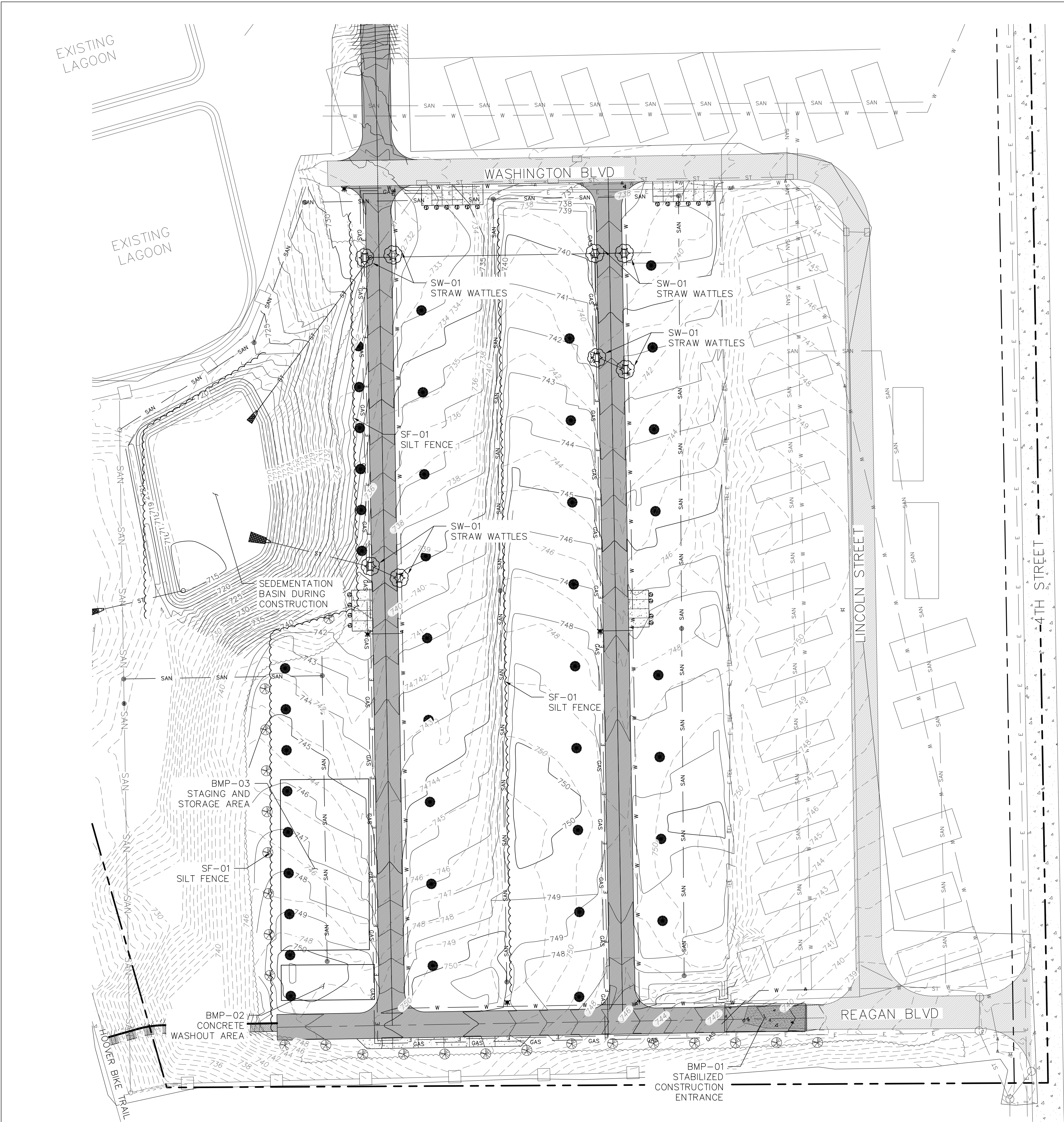
CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLEN.G.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

SITE PLAN

SHEET NO.
C.01



DIVISION 9-EROSION CONTROL NOTES

THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SOIL EROSION MEASURES IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE MOST RECENT VERSION OF SUDAS AND THE IOWA STORM WATER MANUAL AND AS DIRECTED BY THE ENGINEER IN THE FIELD. THE INTENT IS FOR THE PREVENTION OF ERODED SOIL FROM EXITING THE SITE OR ENTERING LOCAL STORM SEWERS OR ADJACENT WATERWAYS. THE FOLLOWING ARE ACTIVITIES THAT THE CONTRACTOR SHALL CONDUCT ON A REGULAR BASIS DURING THE COURSE OF THE ON-SITE CONSTRUCTION ACTIVITIES.

1. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
2. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE.
3. INFORMATION OUTSIDE THE PROJECT BOUNDARY IS FOR INFORMATION ONLY.
4. PERMANENT SOIL STABILIZATION SHALL BE DONE WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
6. EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE GOVERNING AGENCIES.
7. ALL TEMPORARY ROADWAYS, ACCESS DRIVES AND PARKING AREAS MUST BE STABILIZED AND BE OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT BY WATER FLUSHING) AS NECESSARY, OR BEFORE THE END OF EACH WORK DAY.
8. TIRES AND WHEEL WELLS OF VEHICLES AND CONSTRUCTION EQUIPMENT SHALL BE FREE OF DIRT AND/OR SEDIMENT BEFORE LEAVING A CONSTRUCTION AREA TO PREVENT TRACKING ONTO A PUBLIC OR PRIVATE PAVED ROAD OR SIDEWALK.
9. TRUCKS LOADED WITH MATERIAL THAT MAY BE CARRIED OFF BY WIND OR RAIN SHALL BE COVERED PRIOR TO LEAVING THE CONSTRUCTION SITE.
10. ALL ONSITE DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION AREA AND DOWN SLOPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES.
11. THE DISCHARGE OF SEDIMENT INTO THE SEWER SYSTEM, AS PART OF SITE DEWATERING, MUST BE CONTROLLED AND MINIMIZED TO PREVENT THE CLOGGING OF THE SEWER SYSTEM.
12. THE USE, STORAGE AND DISPOSAL OF CHEMICALS, CEMENT AND OTHER COMPOUNDS AND BUILDING MATERIALS USED ON THE CONSTRUCTION SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD, TO PREVENT THEIR ENTRANCE INTO THE SEWER SYSTEM.

BMP IDENTIFICATION NUMBERS	
SF-01	SILT FENCE
SW-01	STRAW WATTLE AROUND INLETS
BMP-01	STABILIZED CONSTRUCTION ENTRANCE
BMP-02	CONCRETE WASH OUT AREA
BMP-03	STORAGE & STAGING AREA

SEQUENTIAL EROSION CONTROL PLAN:

1. CONSTRUCT STABILIZED ENTRANCE. CONTRACTOR SHALL CLEAN ACCESS CONNECTIONS AT THE END OF EACH DAY OF CONSTRUCTION.
2. PLACE SILT FENCE AT PERIMETER LOCATIONS SHOWN PRIOR TO THE START OF GRADING OPERATIONS. SILT FENCE SHALL BE MAINTAINED THROUGHOUT GRADING OPERATIONS.
3. CONSTRUCT TEMPORARY SEDIMENTATION BASIN AS PART OF INITIAL ROUGH GRADING OF SITE.
4. SEED ALL DISTURBED AREAS AT THE COMPLETION OF GRADING OPERATIONS.

TEMPORARY SEED:

1. CONTRACTOR SHALL COMPLETE TEMPORARY EROSION CONTROL AS SOON AS GRADING OPERATIONS ARE COMPLETE. TEMPORARY SEEDING SHALL BE AS FOLLOWS:
 - MARCH 1 - JUNE 1: 3 BUSHEL/ACRE OF OATS.
 - JUNE 1 - AUGUST 15: 35 LBS/ACRE OF GRAIN RYE.
 - AUGUST 15 - SEPTEMBER 15: 3 BUSHEL/ACRE OF OATS.
 - SEPTEMBER 15 - DECEMBER 1: 2 BUSHEL/ACRE OF GRAIN RYE.
2. FERTILIZER SHALL BE APPLIED AT A RATE OF 50-100-100 PER ACRE. MULCH SHALL BE STRAW OR HAY AND SHALL BE APPLIED AT A RATE OF 90-120 BALES/ACRE.

TOPSOIL NOTES:

1. CONTRACTOR SHALL STOCKPILE AND RESPREAD A MINIMUM OF 4-INCHES OF EXISTING TOPSOIL ONSITE.

PERMANENT SEED:

1. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED WITHIN 14 DAYS AFTER COMPLETION OF CONSTRUCTION.

DEMOLITION NOTES

1. COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES.
3. CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
4. WHERE WORK CAUSES REMOVAL OF PAVEMENT WITHIN EXISTING RIGHTS-OF-WAY, PAVEMENT SHALL BE REPLACED AS SOON AS PRACTICAL.
5. ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF CORALVILLE REQUIREMENTS.
6. WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE ("SIDEWALK CLOSED AHEAD USE OTHER SIDE").
7. WHEN WORK EXTENDS INTO THE STREET, THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:05am
WEST BRANCH VILLAGE IMP PLANS.dwg | C.02

NO.	REVISION DESCRIPTION	APPROVED	DATE

CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLEN.G.COM

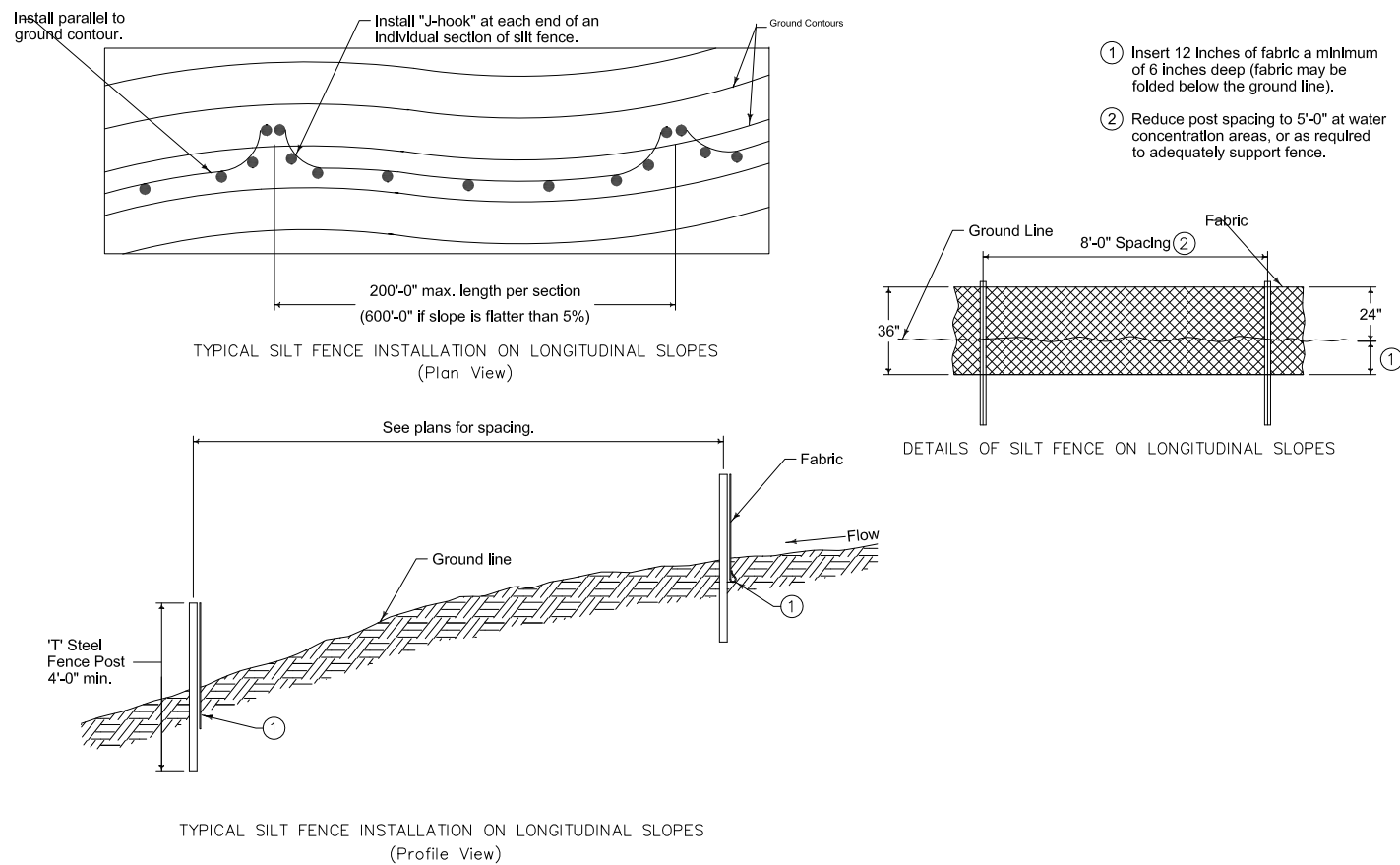
WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

EROSION CONTROL PLAN

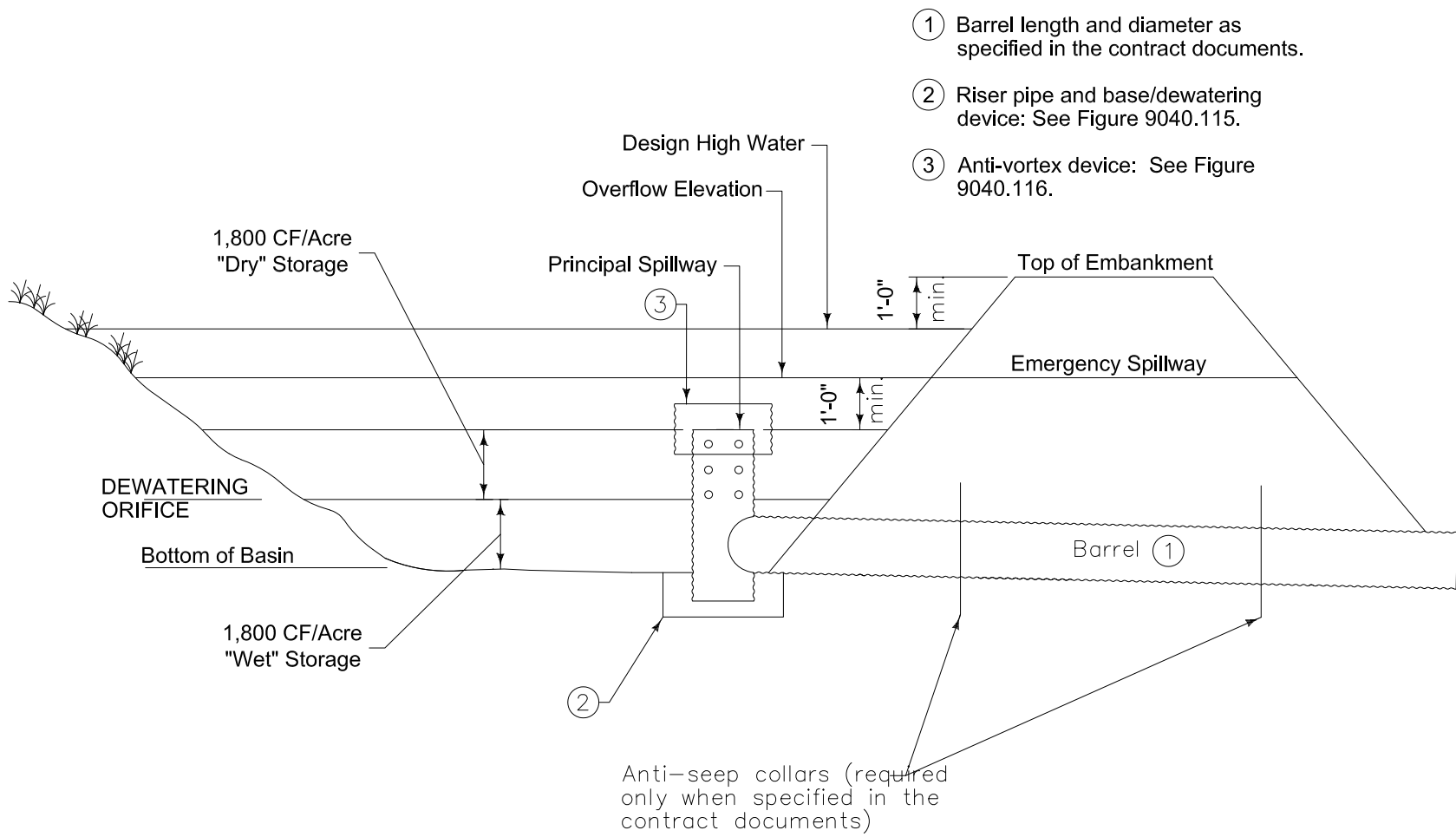
SHEET NO.
C.02

STAGING NOTES

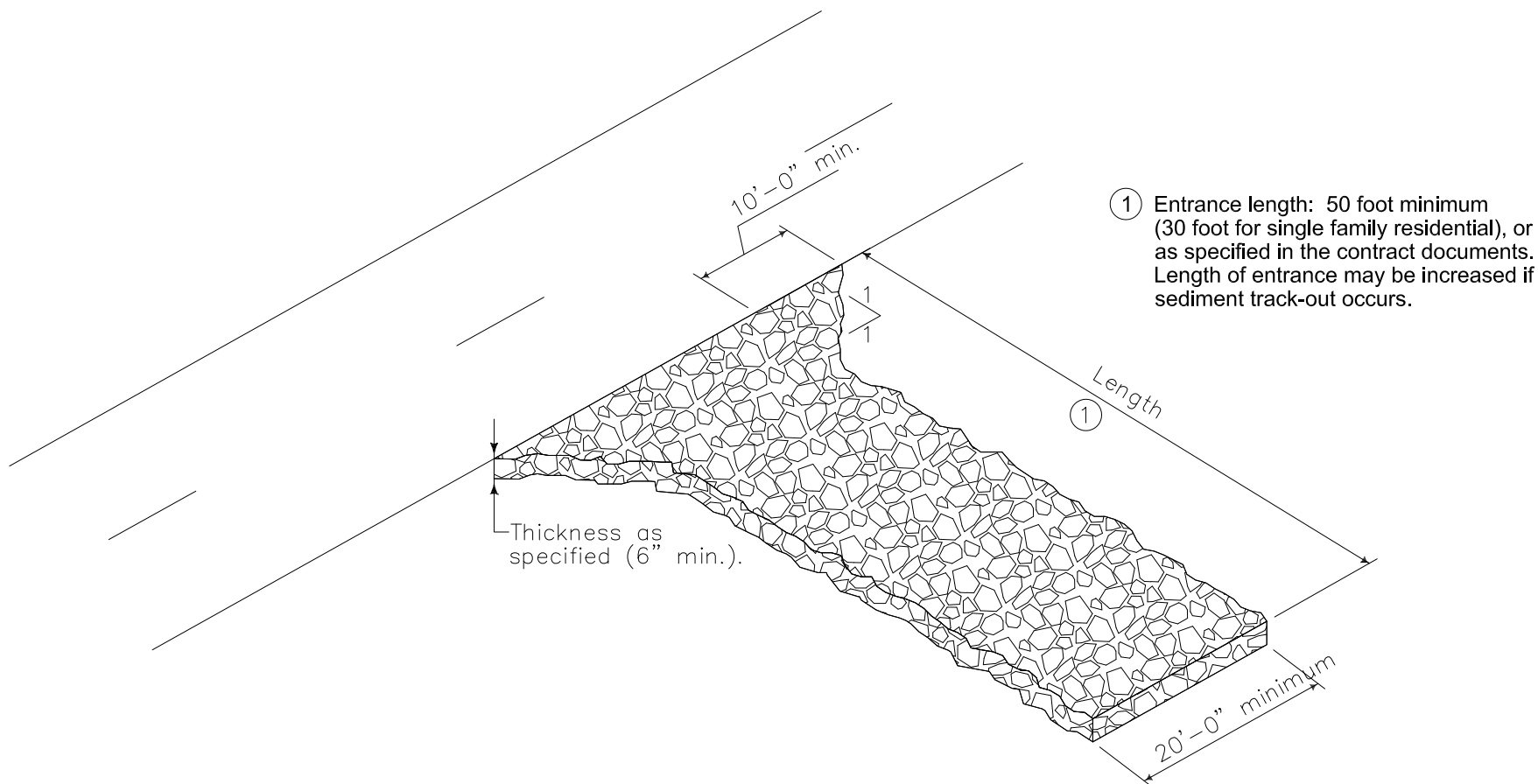
1. CONTRACTOR'S ACTIVITIES TO THE AREAS OF SUGGESTED STAGES ALONE. IT IS UNDERSTOOD THAT VARIOUS STEPS INCLUDED HEREIN MAY OCCUR SIMULTANEOUSLY. THE CONTRACTOR MAY CONDUCT SEVERAL OPERATIONS DO NOT CONFLICT WITH THE STAGING INDICATED HEREIN, OTHER PORTIONS OF THIS PROJECT, AND OTHER CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC AND PRIVATE PROJECTS IN THE AREA AT ALL TIMES.
3. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE CALL, 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
4. THE UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS, SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROVED WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT.
6. ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, TREES OR FOUNDATION STRUCTURES SHALL BE FILLED AND CONSOLIDATED TO FINISHED GRADE AS DIRECTED BY THE PROJECT ENGINEER TO PREVENT FUTURE SETTLEMENT. THE VOIDS SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. HOLES NEAR PEDESTRIAN WALKWAYS SHALL BE FENCED OFF AT ALL TIMES AND IF PRACTICAL COVERED WITH BOARDS DURING THE OVERNIGHT HOURS AND AT TIMES WHERE WORK IS NOT TAKING PLACE AT THE LOCATION OF THE HOLE FOR AN EXTENDED PERIOD OF TIME. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS (INCLUDING BORROW AREAS AND OPERATION AREAS) DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
7. DURING REMOVAL AND CONSTRUCTION, THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS AND APPROVED BY THE PROJECT ENGINEER AND SHALL BE INCIDENTAL.
8. EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION AND DUST POLLUTION ON THE PROJECT SITE SHALL COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE AND LOCAL ORDINANCES.
9. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO MAINTAIN POSITIVE DRAINAGE WHERE INTAKES ARE LOCATED.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO INDIVIDUAL PROPERTIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE OF DRIVEWAY MODIFICATIONS THAT WILL TEMPORARILY LIMIT OWNER ACCESS TO THEIR PROPERTY.
11. THE CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND RIGHT-OF-WAY. IF THE CONTRACTOR OBTAINS ADDITIONAL EASEMENTS FOR THE STORAGE OF EQUIPMENT AND MATERIALS, COPIES OF THE AGREEMENTS WITH THE PROPERTY OWNERS SHALL BE PROVIDED TO THE PROJECT ENGINEER.
12. THE CONTRACTOR SHALL NOT DISTURB GRASS AREAS OR TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES OR EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. ALL STORAGE, PARKING AND SERVICE AREA(S) WILL BE SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
13. DO NOT DRIVE ON THE PAVEMENT WITH CONSTRUCTION TRAFFIC GREATER THAN THE LEGAL LOAD LIMITS.



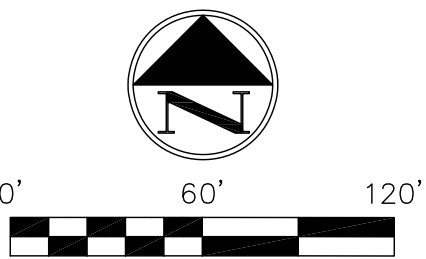
SILT FENCE (9040-119)



SEDIMENT BASIN WITHOUT
EMERGENCY SPILLWAY (9040.113)



STABILIZED CONSTRUCTION
ENTRANCE (9040.120)



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:06am
WEST BRANCH VILLAGE IMP PLANS.dwg | C.03

NO.	REVISION DESCRIPTION	APPROVED	DATE
-----	----------------------	----------	------

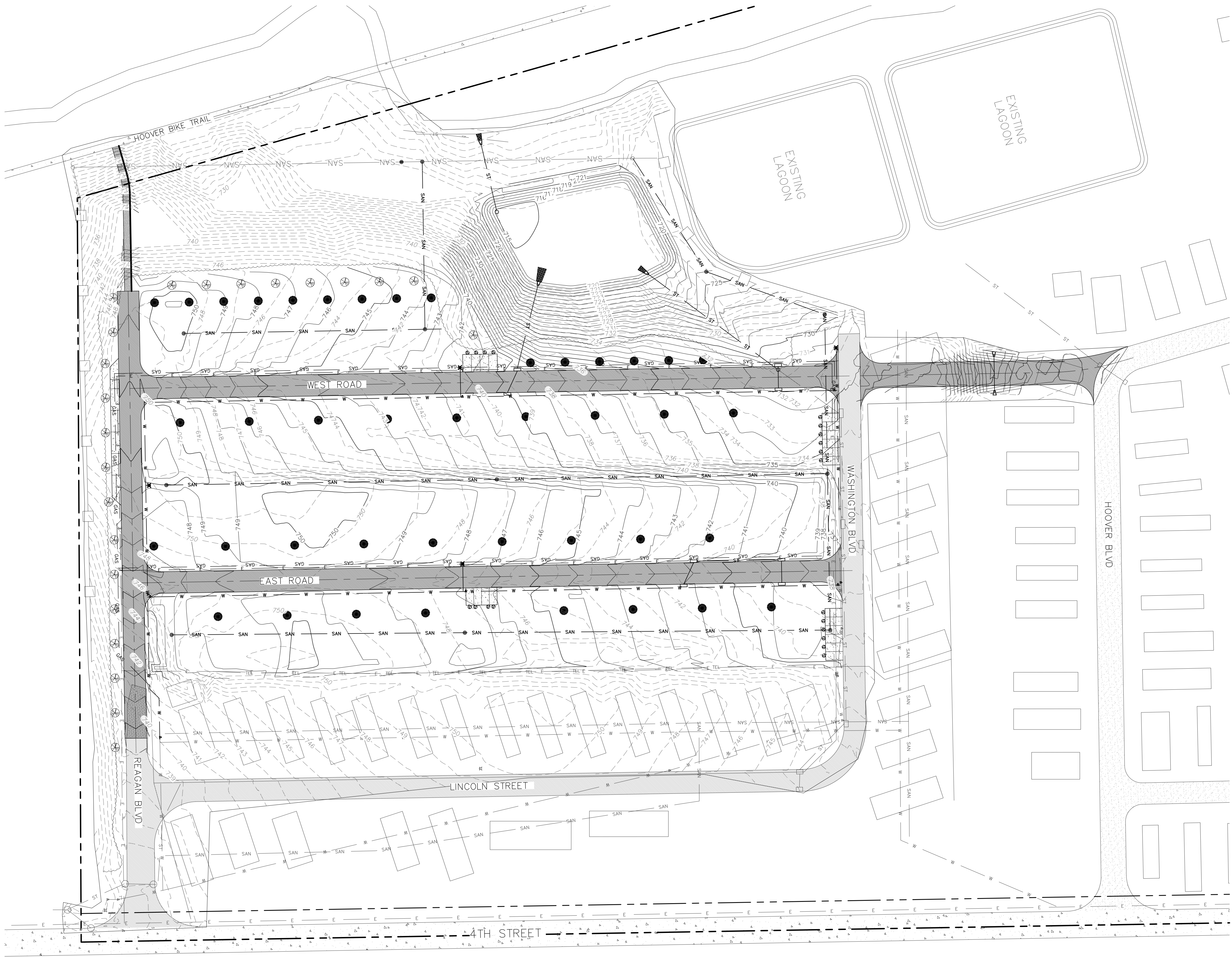
CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLEN.G.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

EROSION CONTROL PLAN

SHEET NO.
C.03

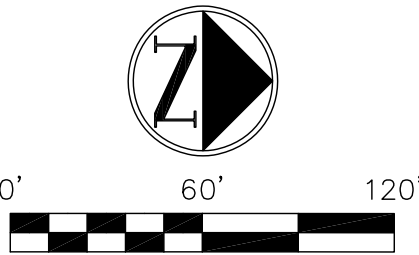


DEMOLITION NOTES

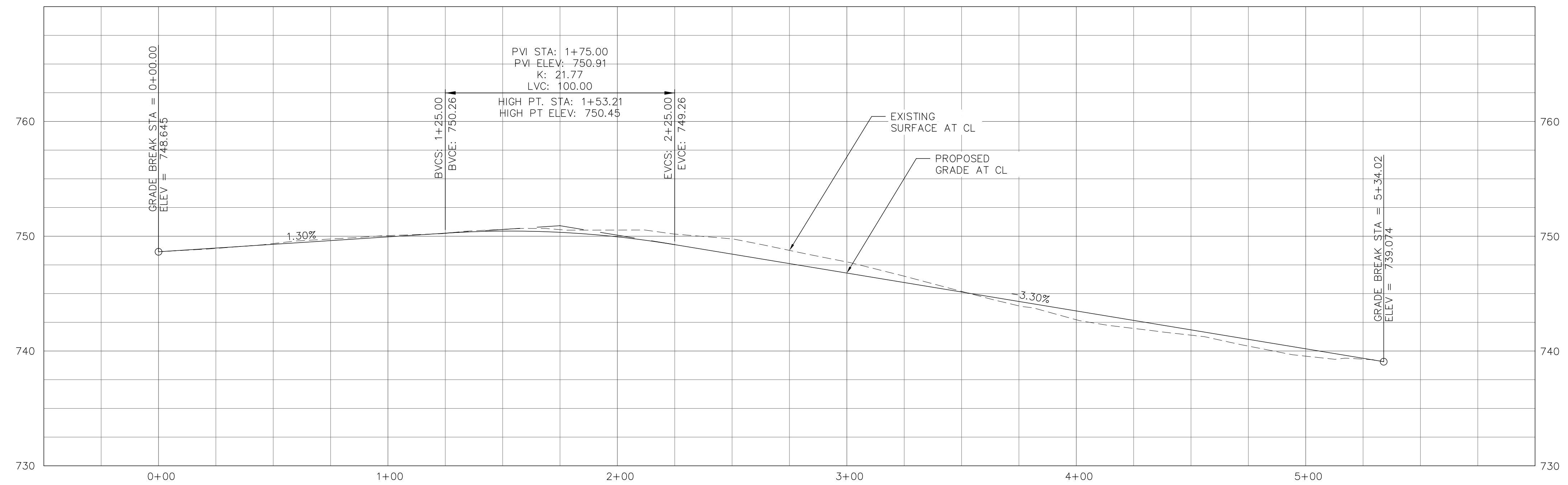
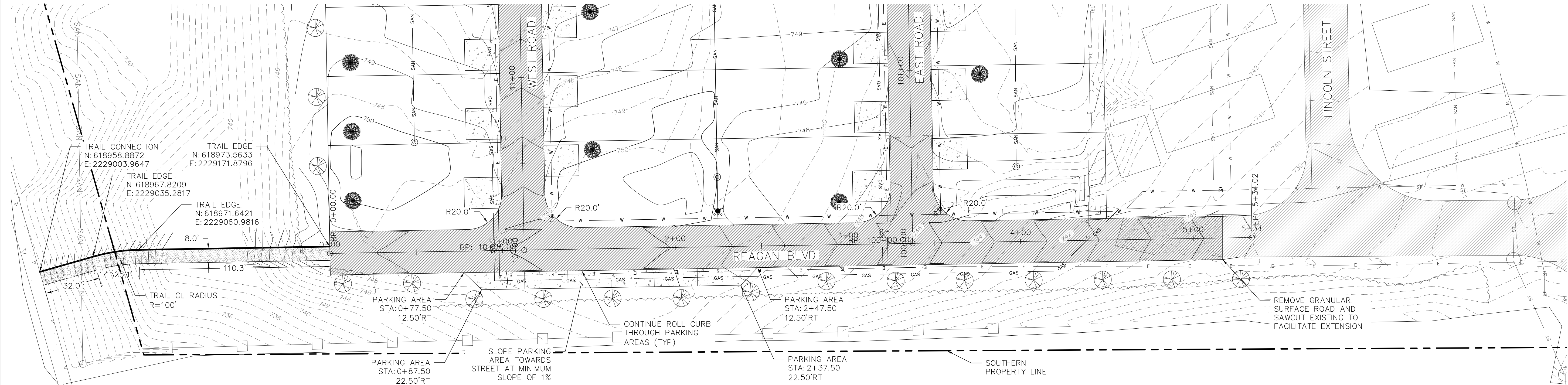
- COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK.
- THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES.
- CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
- WHERE WORK CAUSES REMOVAL OF PAVEMENT WITHIN EXISTING RIGHTS-OF-WAY, PAVEMENT SHALL BE REPLACED AS SOON AS PRACTICAL.
- ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF HIAWATHA REQUIREMENTS.
- WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE ("SIDEWALK CLOSED AHEAD USE OTHER SIDE").
- WHEN WORK EXTENDS INTO THE STREET, THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO ABANDONING EXISTING SANITARY SEWER LINES, CONTRACTOR SHALL HAVE NEW SEWER CONNECTION COMPLETED AND INSPECTED.
- ABANDON EXISTING SEWER PIPE BY PLUGGING THE PIPE AT THE DOWNSTREAM END AND FILLING THE PIPE WITH FLOWABLE FILL.

CUT/FILL REPORT				
CUT FACTOR	FILL FACTOR	EXCAVATION	EMBANKMENT	NET
1.00	1.30	10,597	9,679	918 CUT

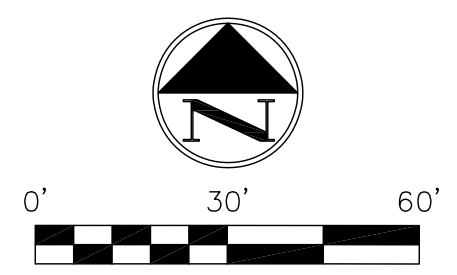
*ONSITE SPOILS TO BE USED TO SHAPE SHOULDERS AND SIDE SLOPES OF PROPOSED ROAD CONNECTION TO EXISTING COMMUNITY.

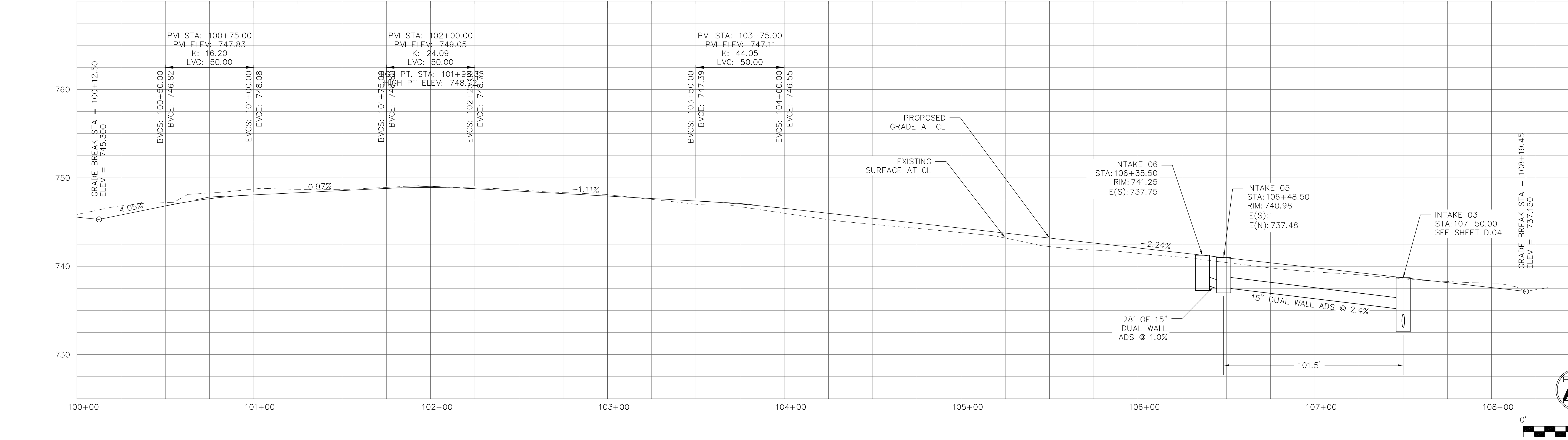


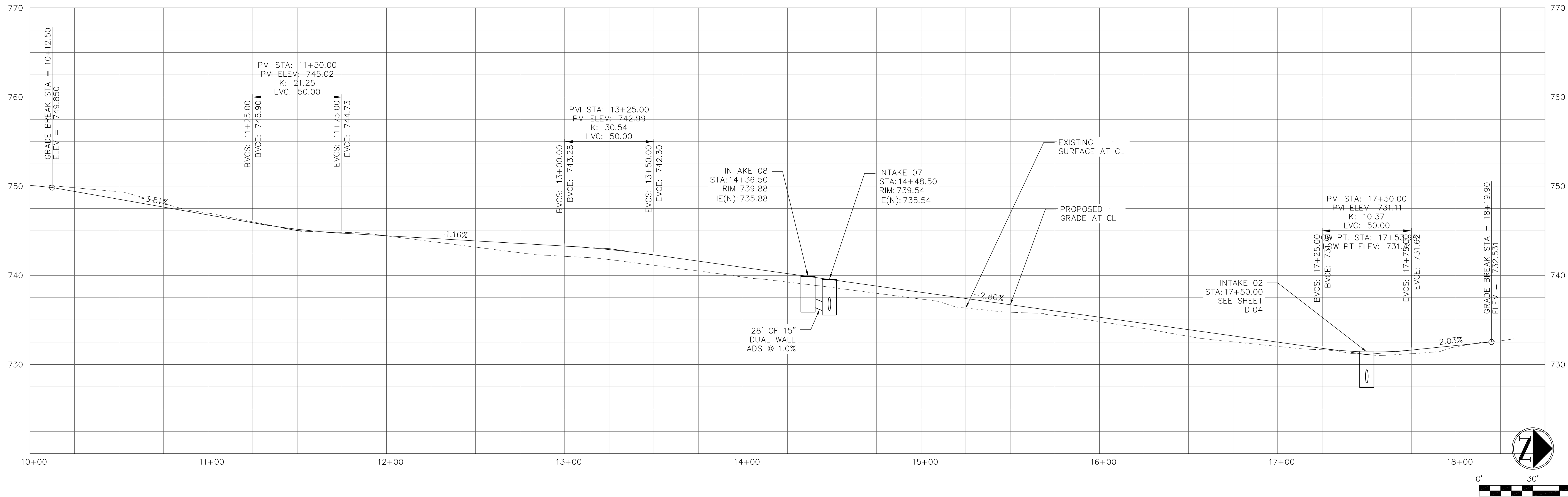
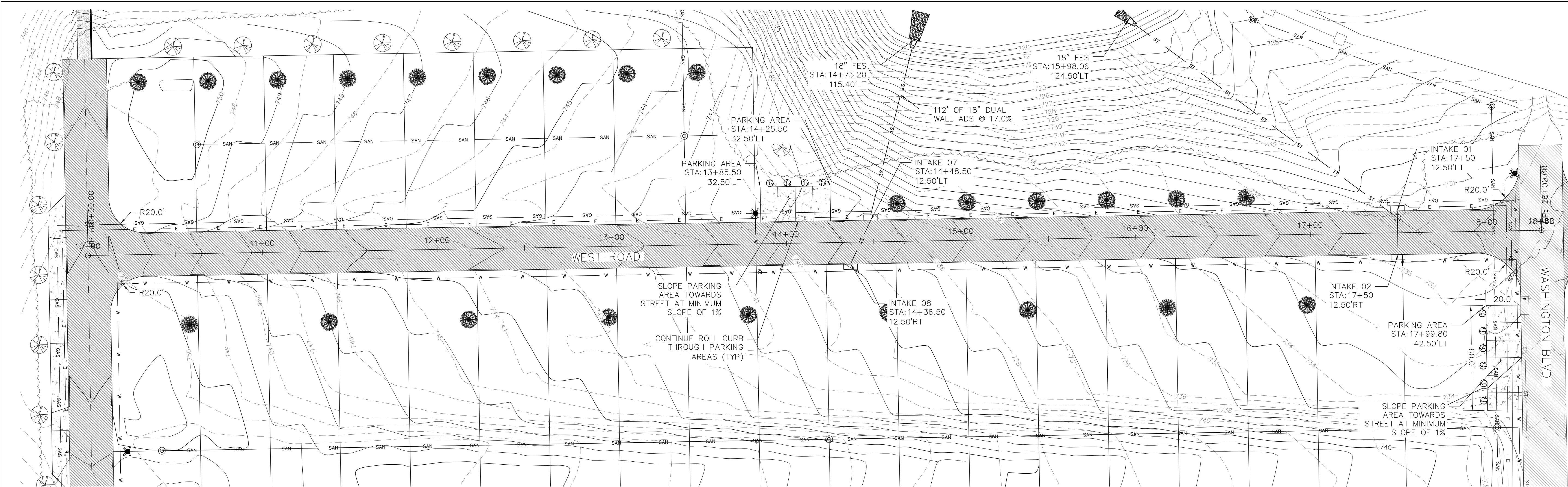
NO.	REVISION DESCRIPTION	APPROVED	DATE



- PAVING CONSTRUCTION NOTES:
1. A MINIMUM 6" THICK GRANULAR SUBBASE OF I.D.O.T. GRADATION 12 OR 14 SHALL BE PROVIDED FOR ALL PUBLIC AND PRIVATE STREETS. SUBBASE SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 2010.
 2. NO NEW CONCRETE PAVING SHALL BE OPENED TO VEHICULAR TRAFFIC UNTIL APPROVED BY THE CITY OF WEST BRANCH.
 3. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN AND CITY OF WEST BRANCH REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.







DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:06am
WEST BRANCH VILLAGE IMP PLANS.dwg | D.03

NO.	REVISION DESCRIPTION	APPROVED	DATE

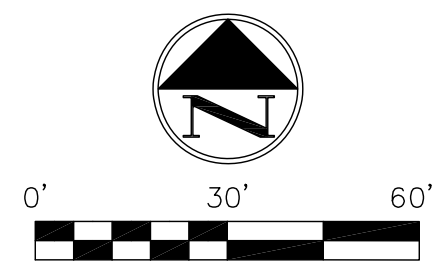
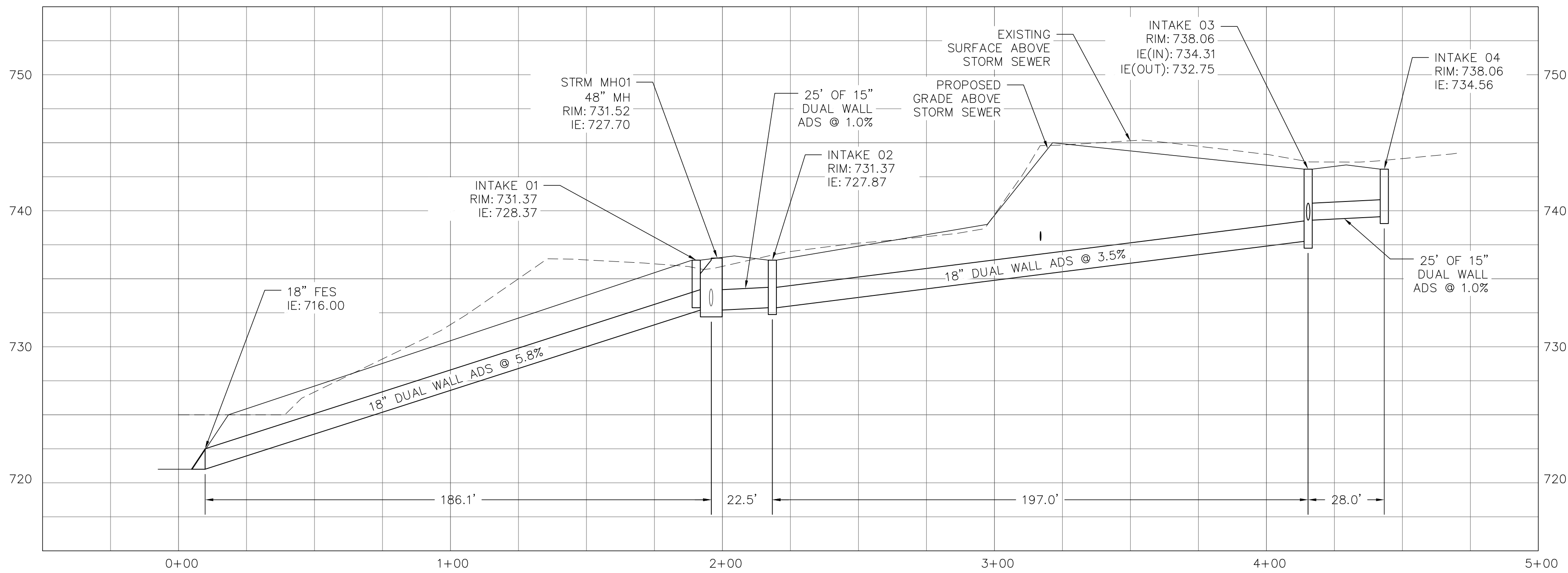
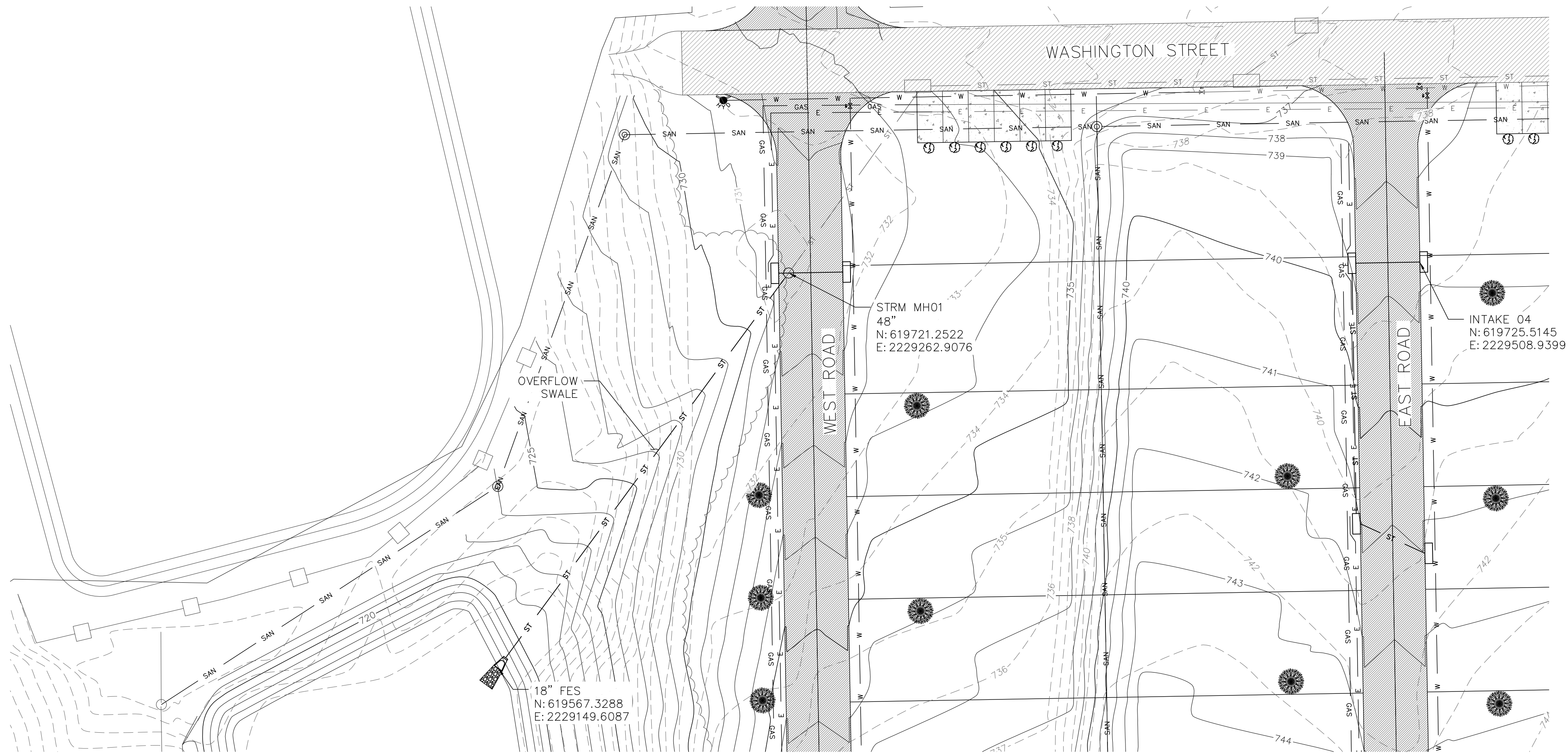
CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENG.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

ROADWAY AND DRAINAGE PLANS
WEST ROAD

SHEET NO.
D.03



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:06am
WEST BRANCH VILLAGE IMP PLANS.dwg | D.04

NO.	REVISION DESCRIPTION	APPROVED	DATE

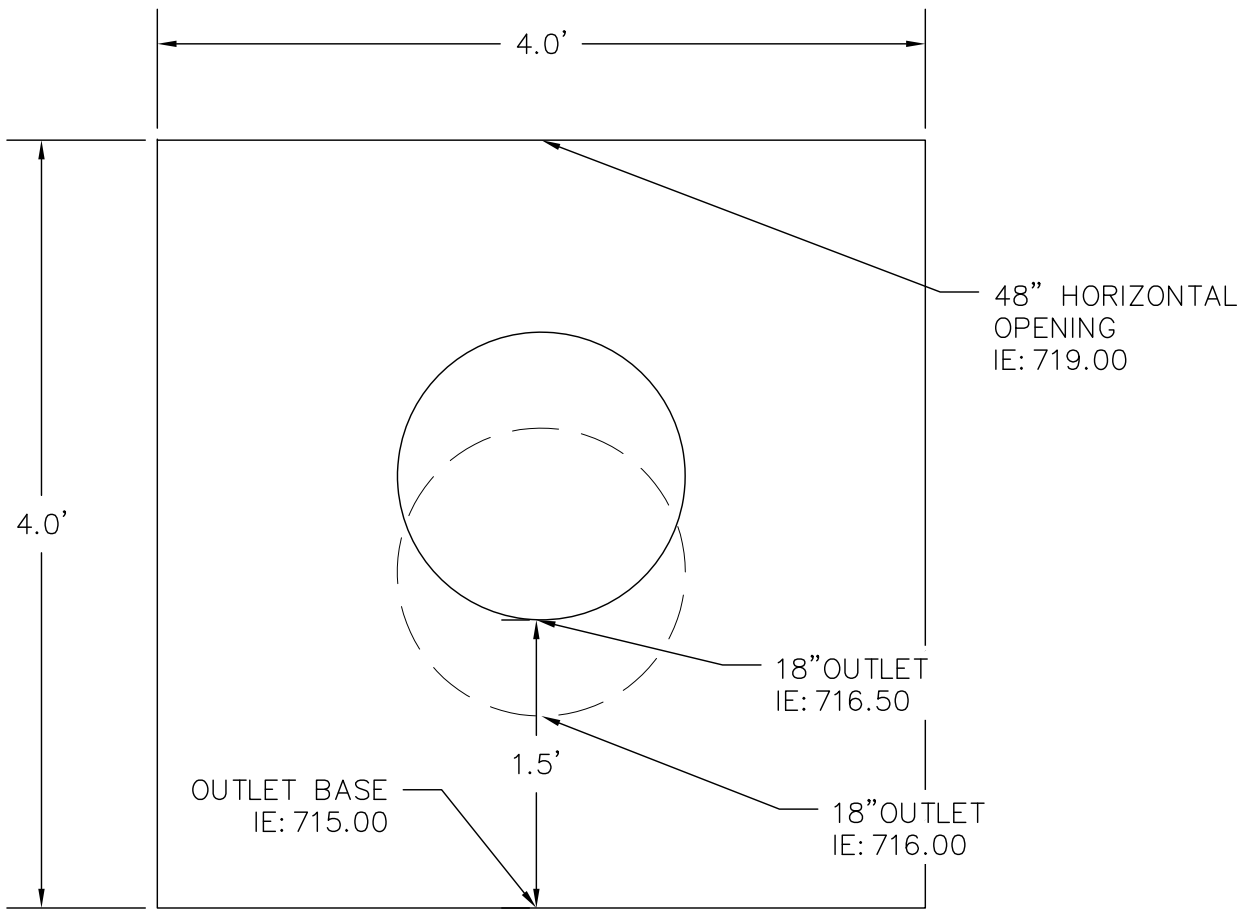
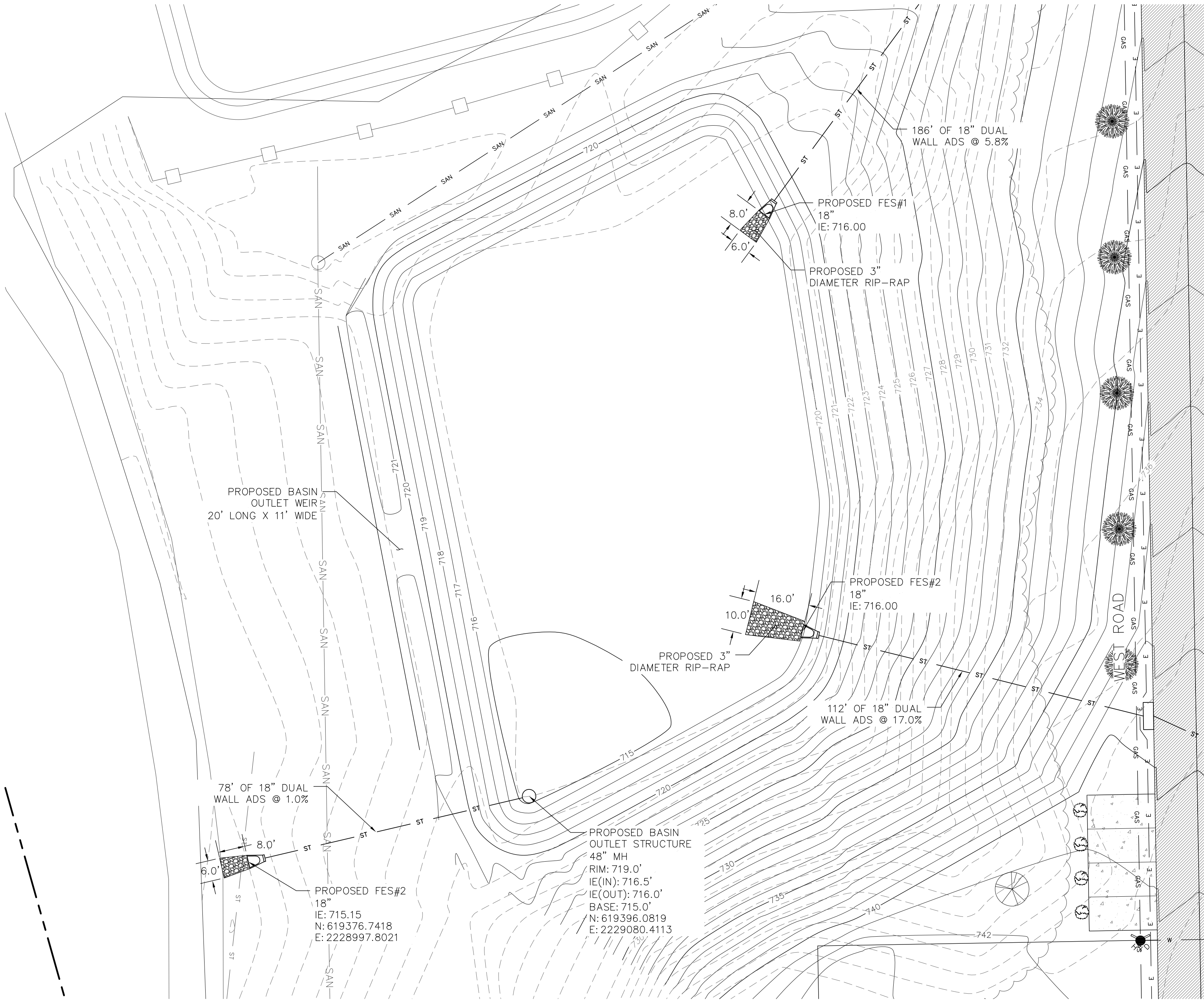
CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENG.COM

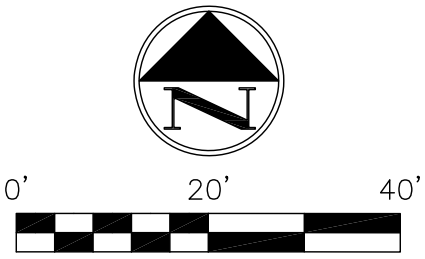
WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

ROADWAY AND DRAINAGE PLANS
STORM SEWER TO BASIN

SHEET NO.
D.04



BASIN OUTLET STRUCTURE
NOT TO SCALE



DRAWN BY: <u>RLC</u>	APPROVED BY: <u>JWM</u>
DATE: <u>June 28, 8:06am</u>	
<u>WEST BRANCH VILLAGE IMP PLANS.dwg D.05</u>	

NO.	REVISION DESCRIPTION	APPROVED	DATE

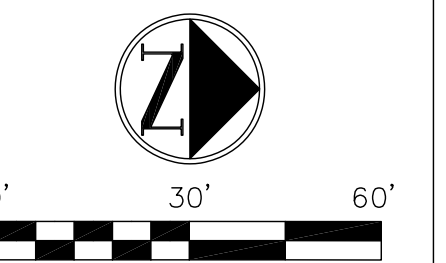
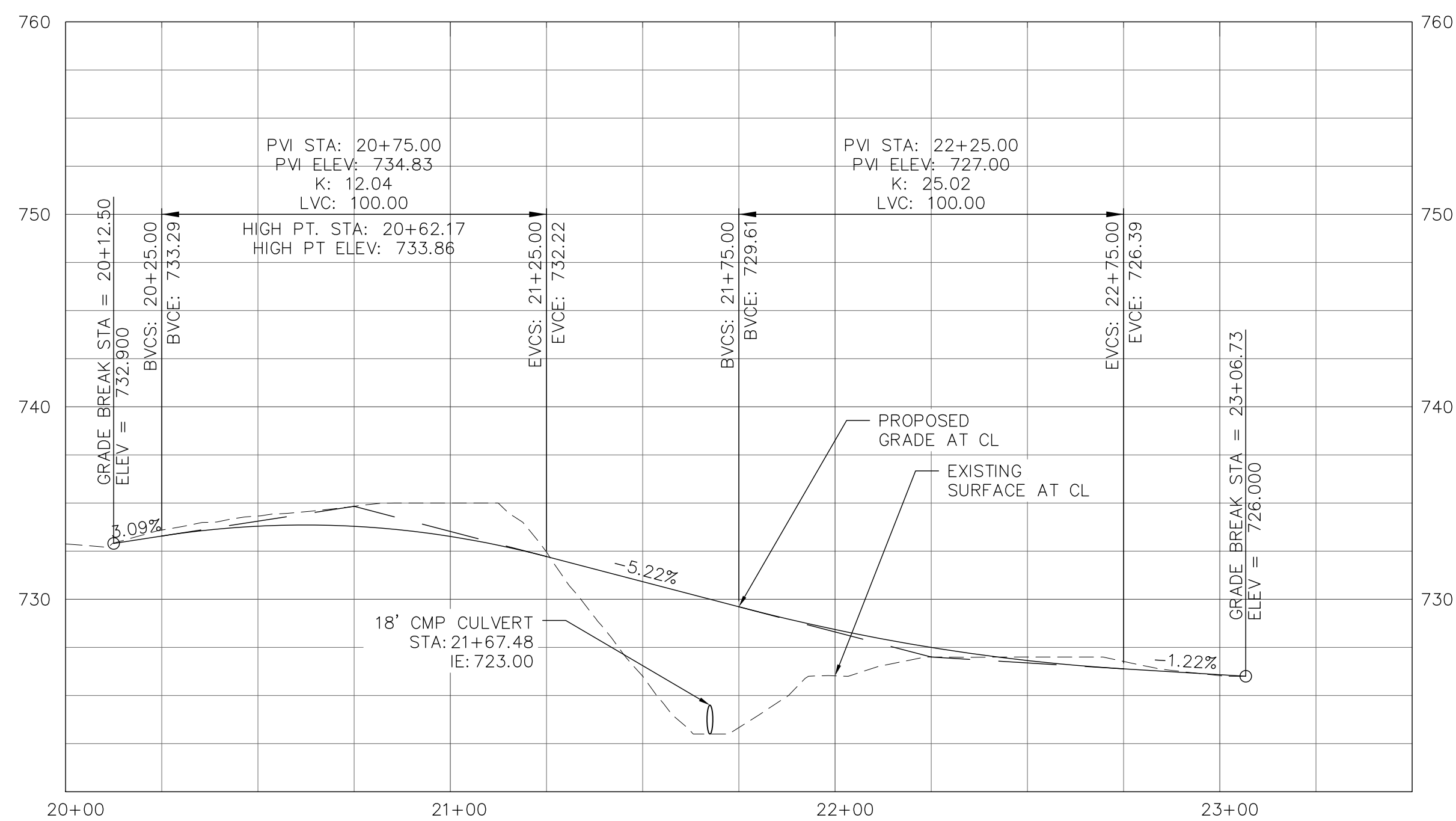
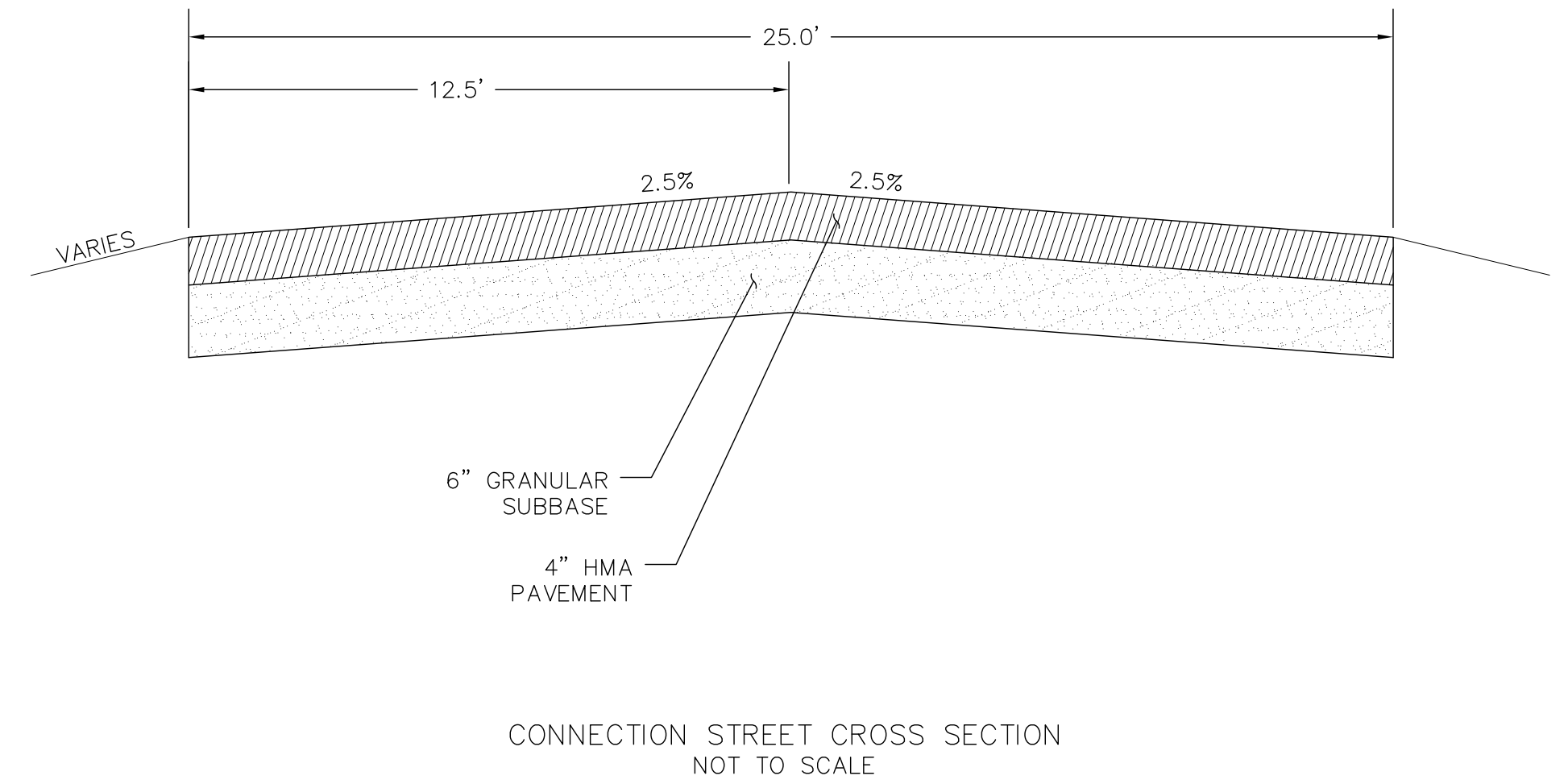
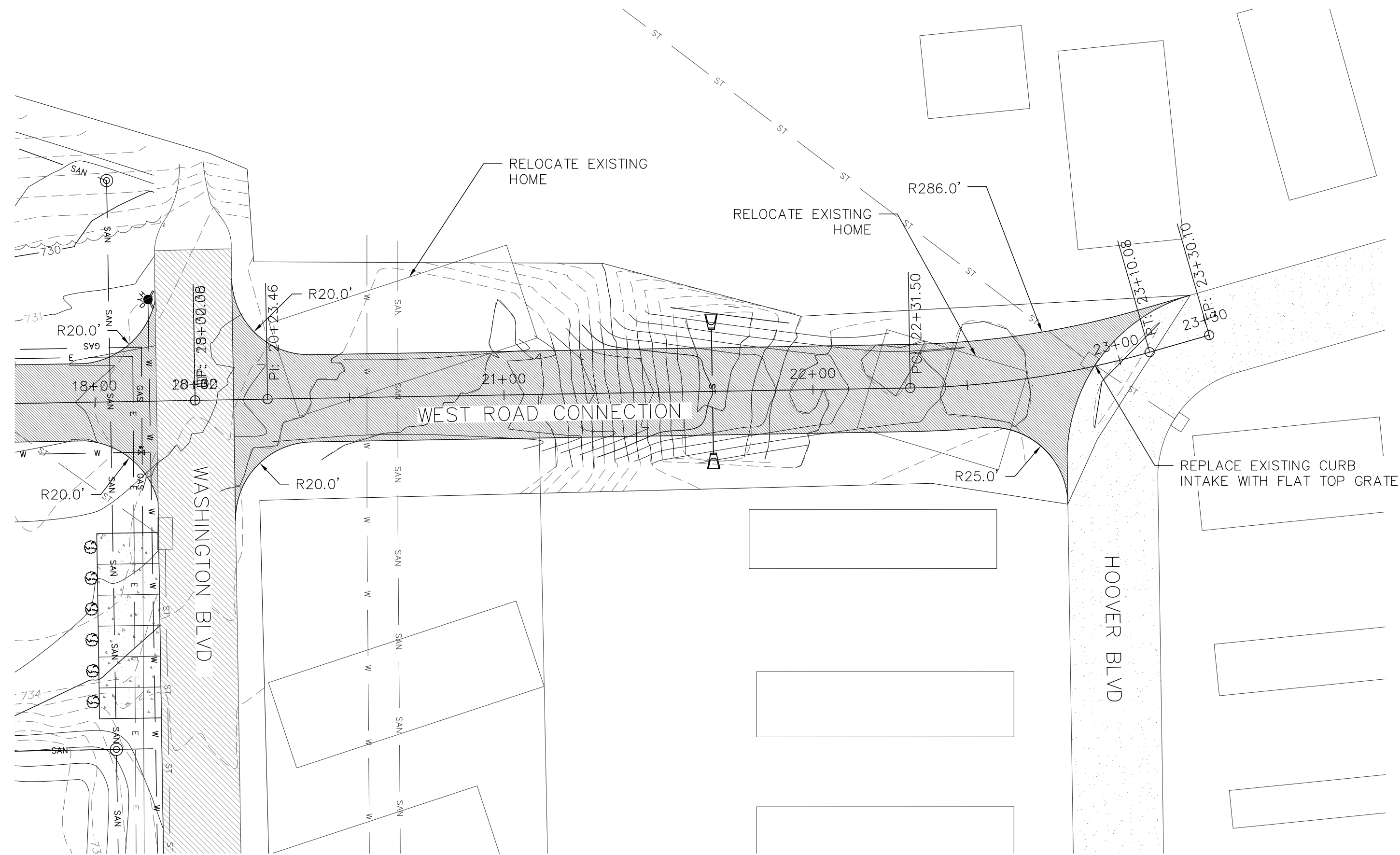


2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENG.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

ROADWAY AND DRAINAGE PLANS
DRAINAGE BASIN DETAIL

SHEET NO.
D.05



DRAWN BY: RLC APPROVED BY: JWM
 DATE: June 28, 8:06am
WEST BRANCH VILLAGE IMP PLANS.dwg | D.06

NO.	REVISION DESCRIPTION	APPROVED	DATE

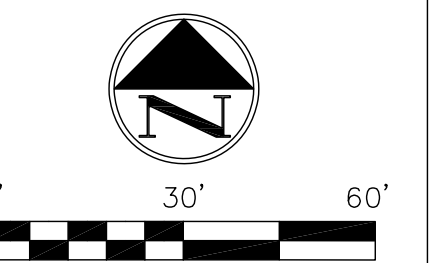
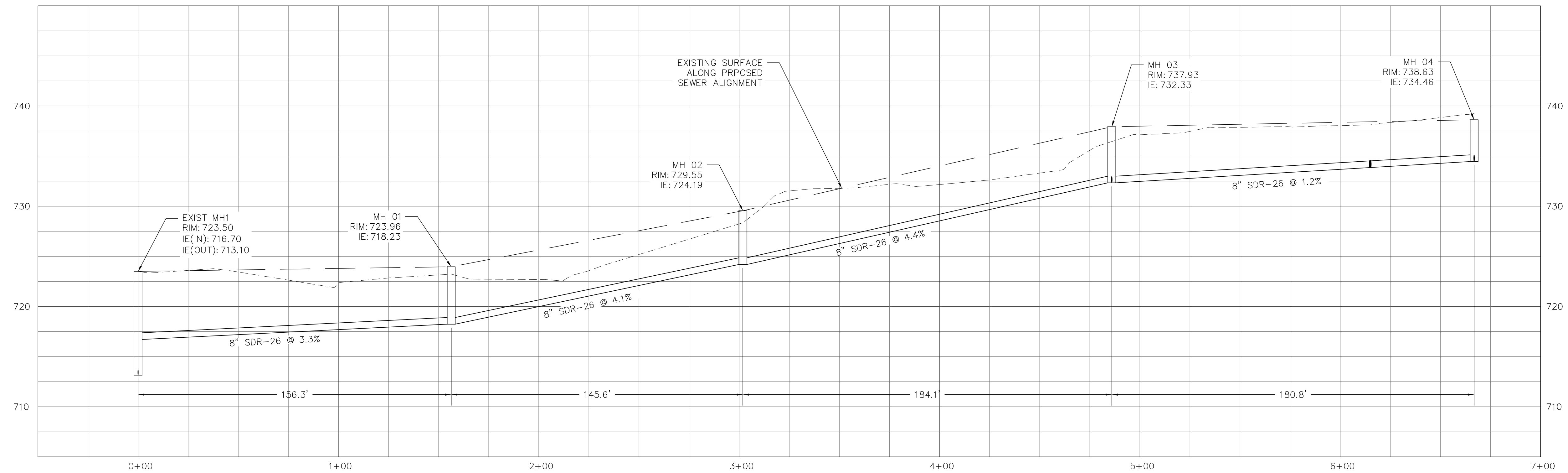
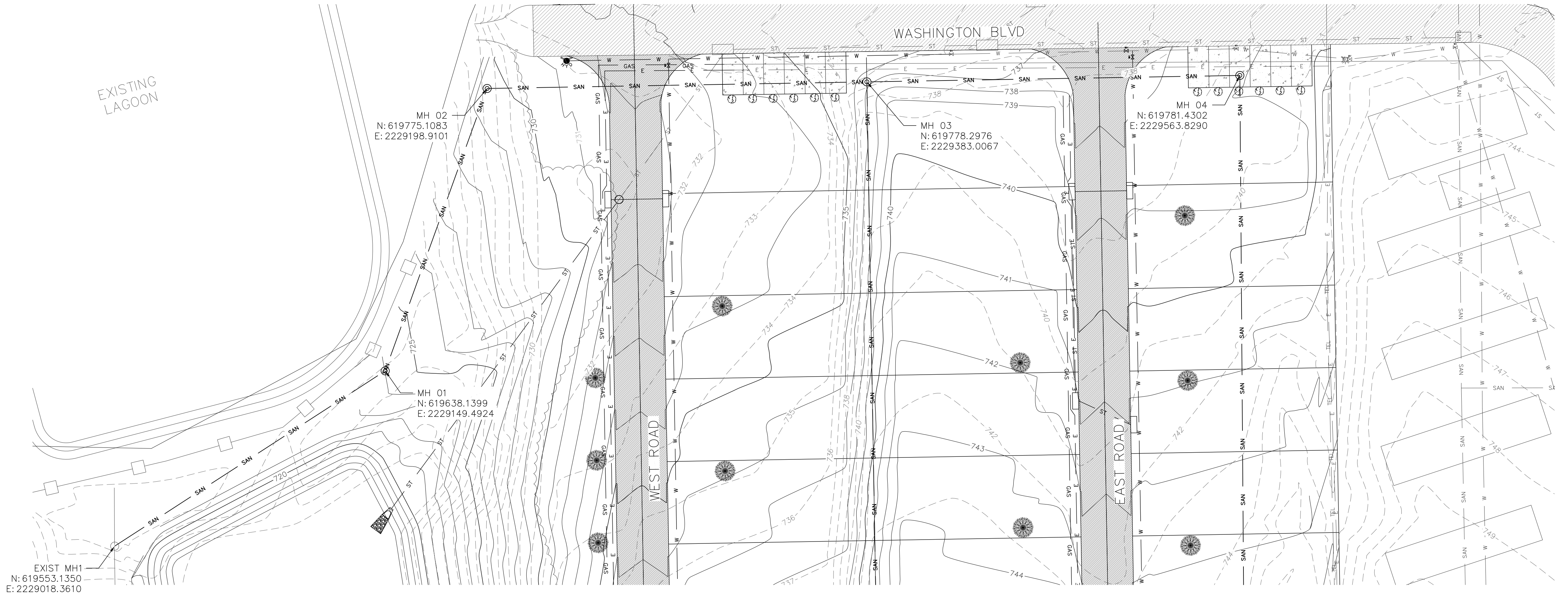
CLEARWELL

2135 BLAKE BLVD SE
 CEDAR RAPIDS, IOWA 52403
 319-654-4911
 CLEARWELLENGL.COM

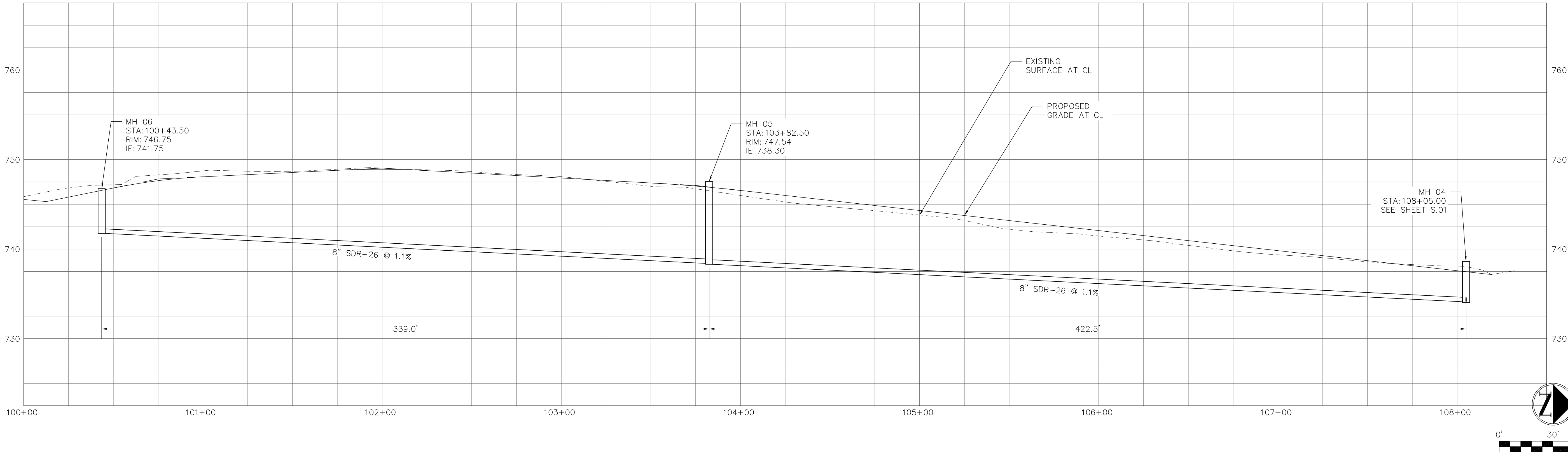
WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

ROADWAY AND DRAINAGE PLANS
WEST ROAD CONNECTION

SHEET NO.
D.06



DRAWN BY: <u>RLC</u>		APPROVED BY: <u>JWM</u>		<div>CLEARWELL</div>		2135 BLAKE BLVD SE CEDAR RAPIDS, IOWA 52403 319-654-1811 CLEARWELL.ENG.COM		WEST BRANCH VILLAGE, LLC WEST BRANCH VILLAGE EXPANSION WEST BRANCH, IOWA		SANITARY SEWER MAIN PLANS WEST ROAD		SHEET NO.	
DATE: <u>June 28, 8:07am</u>												S.01	
<u>WEST BRANCH VILLAGE IMP PLANS.dwg S.01</u>													
NO.	REVISION DESCRIPTION	APPROVED	DATE										



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | S.02

NO.	REVISION DESCRIPTION	APPROVED	DATE

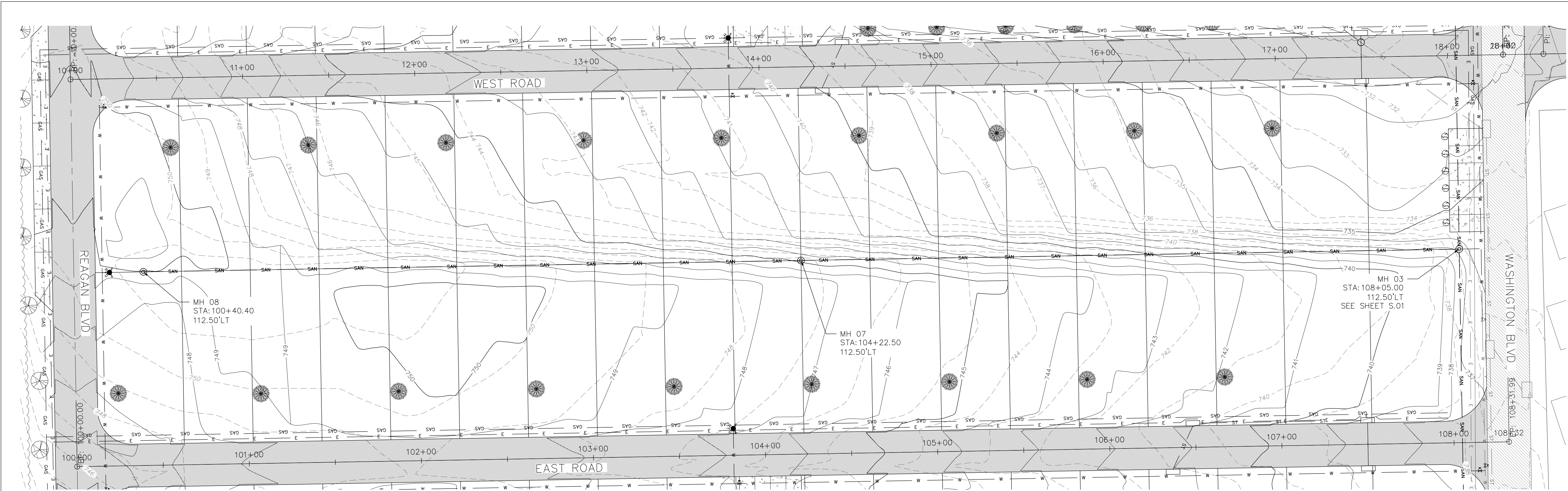
CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLEN.G.COM

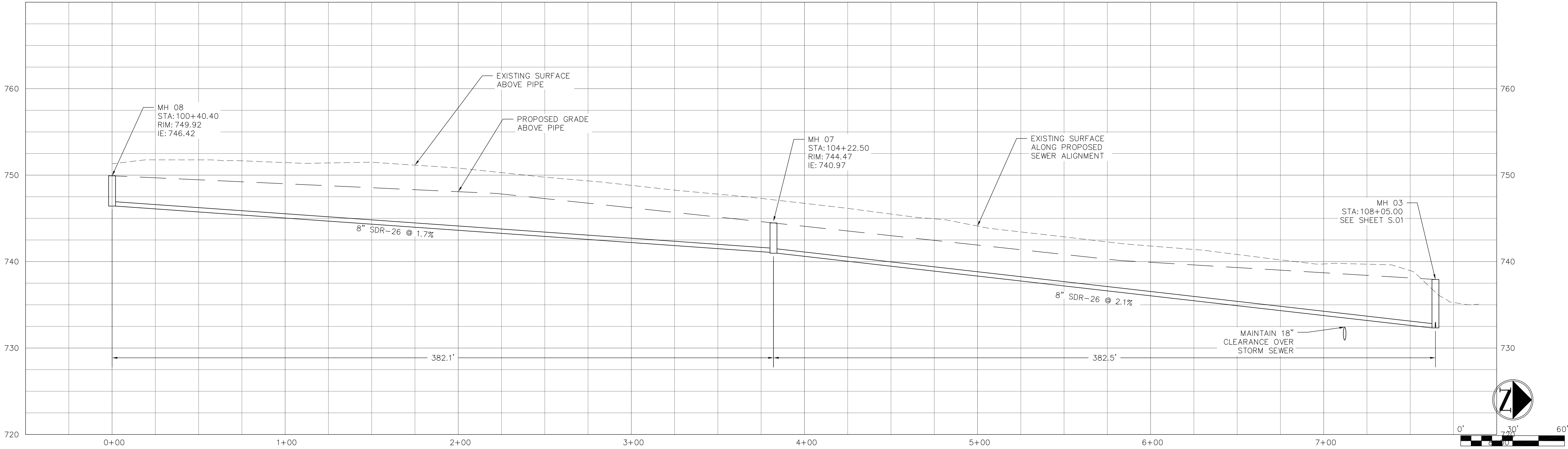
WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

SANITARY SEWER MAIN PLANS
EAST ROAD

SHEET NO.
S.02



*EAST ROAD STATIONING AND OFFSETS ARE SHOWN FOR MANHOLE LOCATIONS BEHIND HOMES.



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | S.03

NO.	REVISION DESCRIPTION	APPROVED	DATE

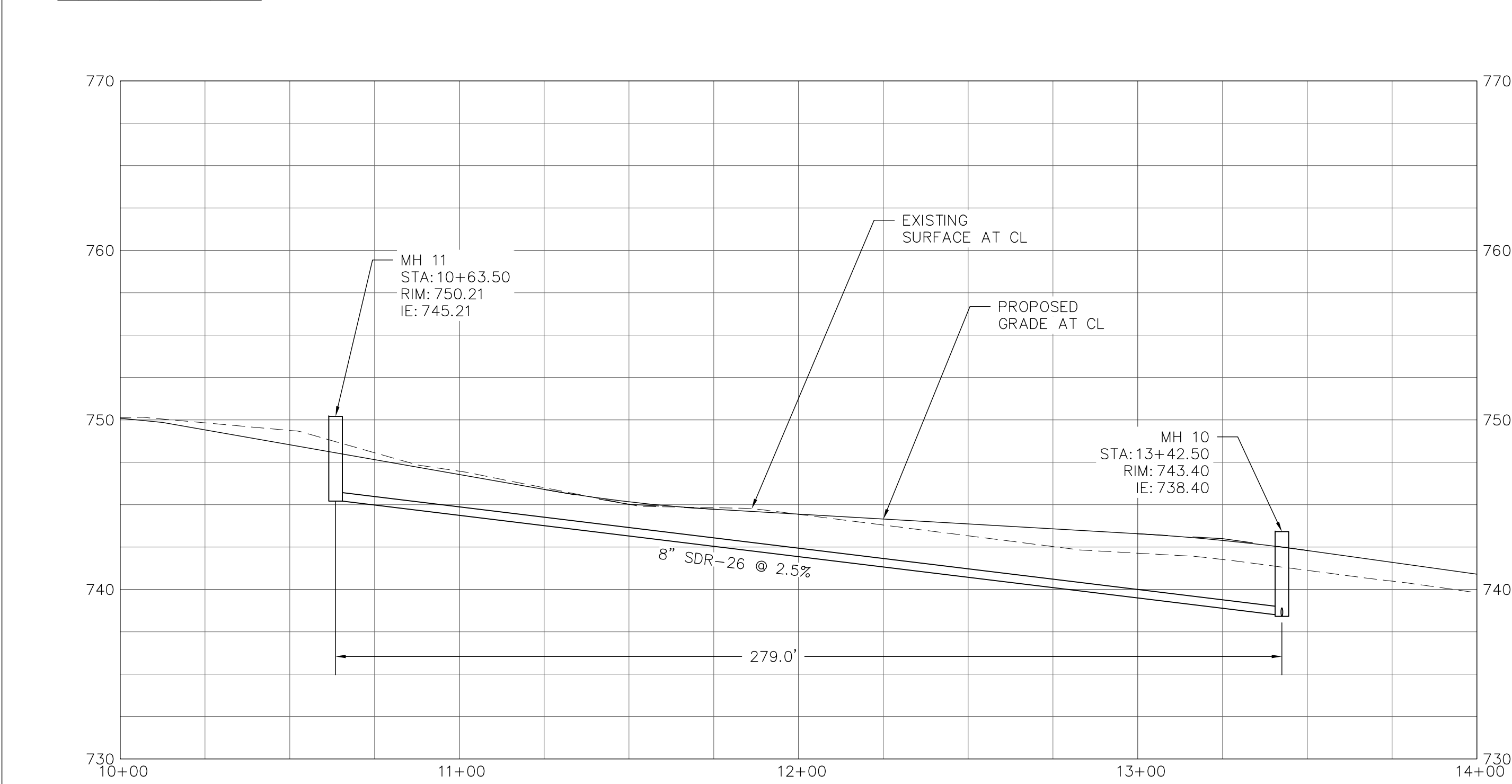
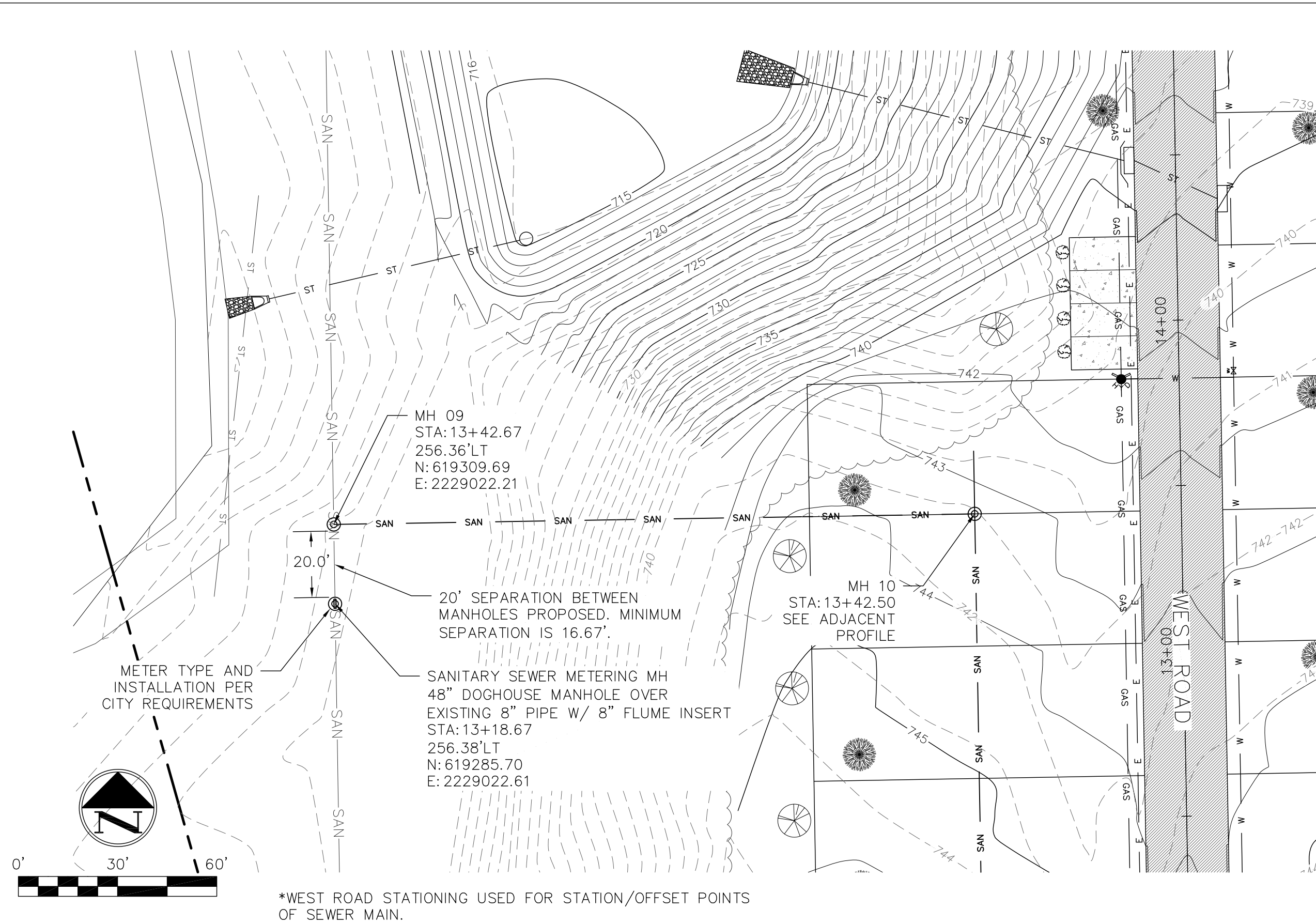
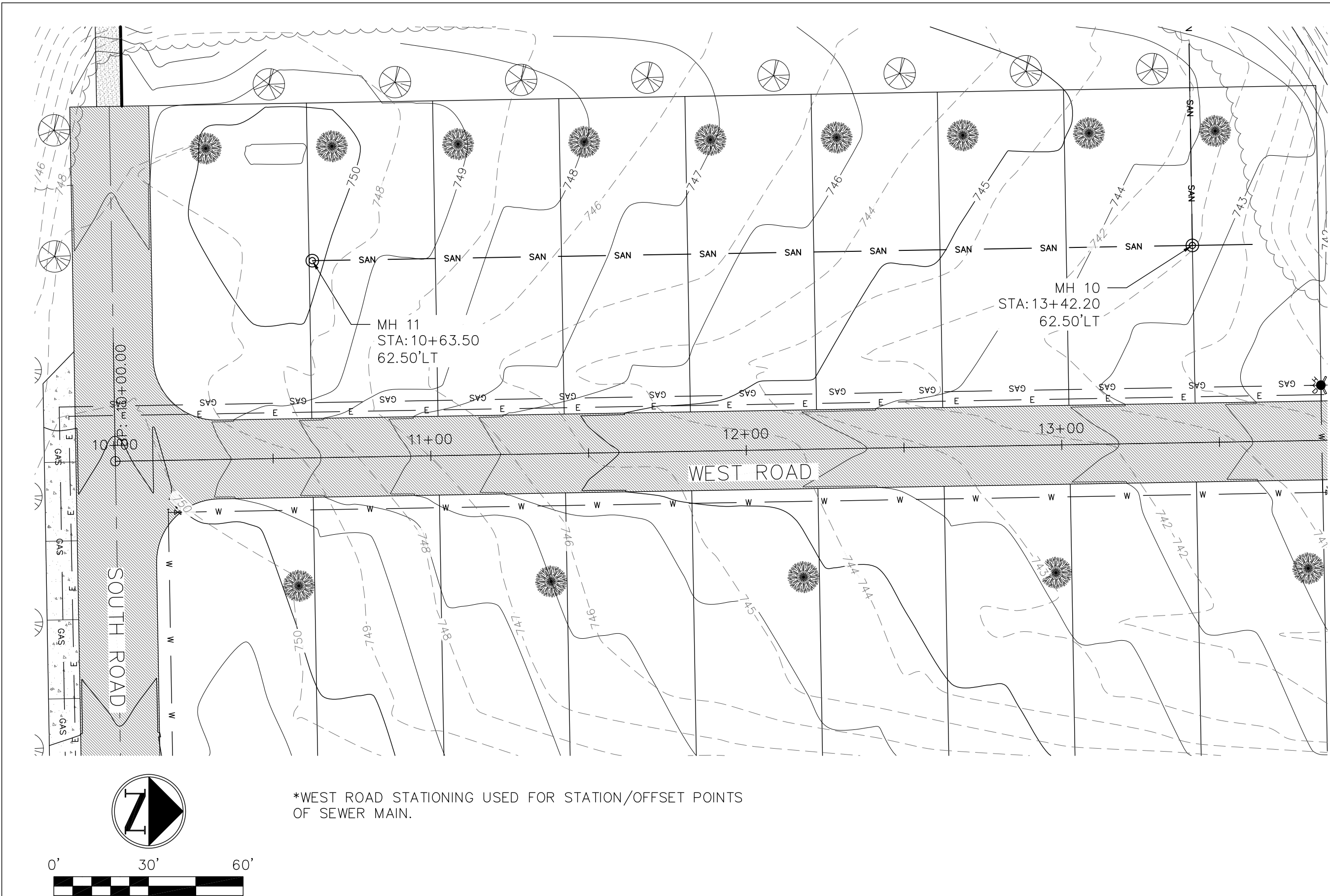
CLEARWELL

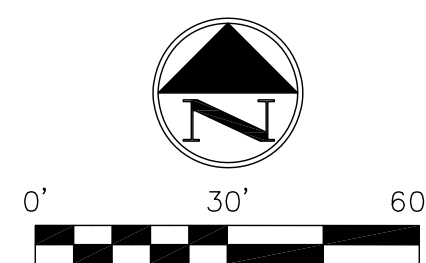
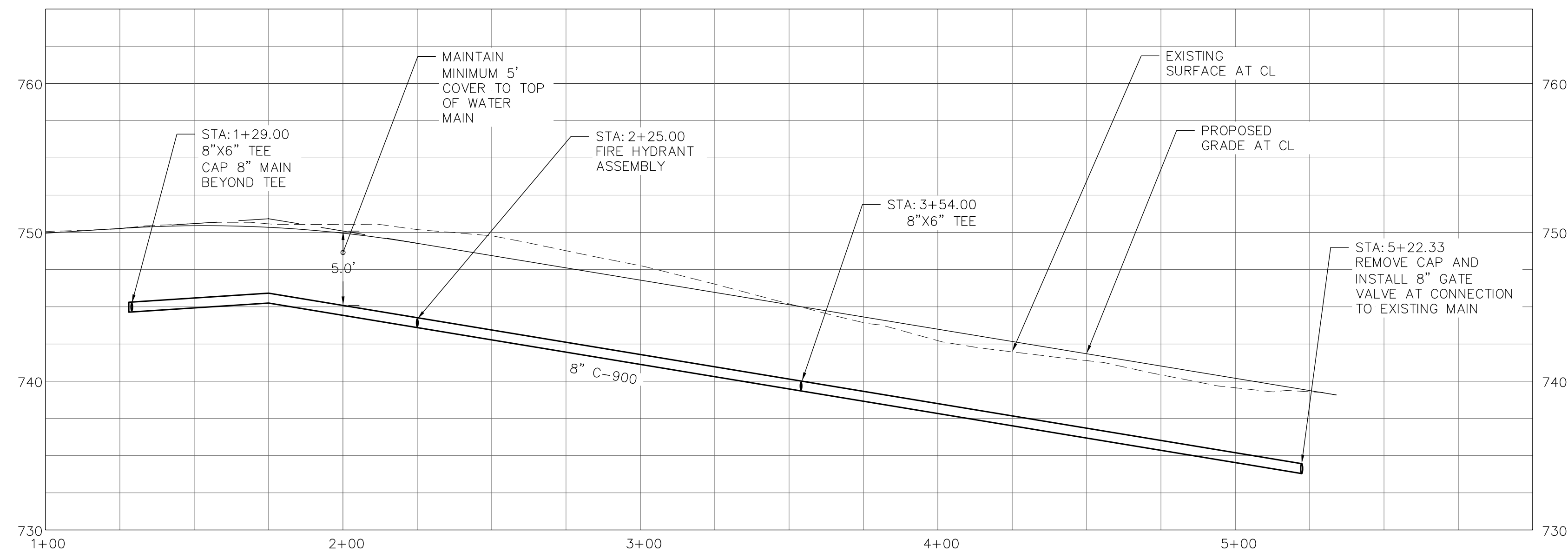
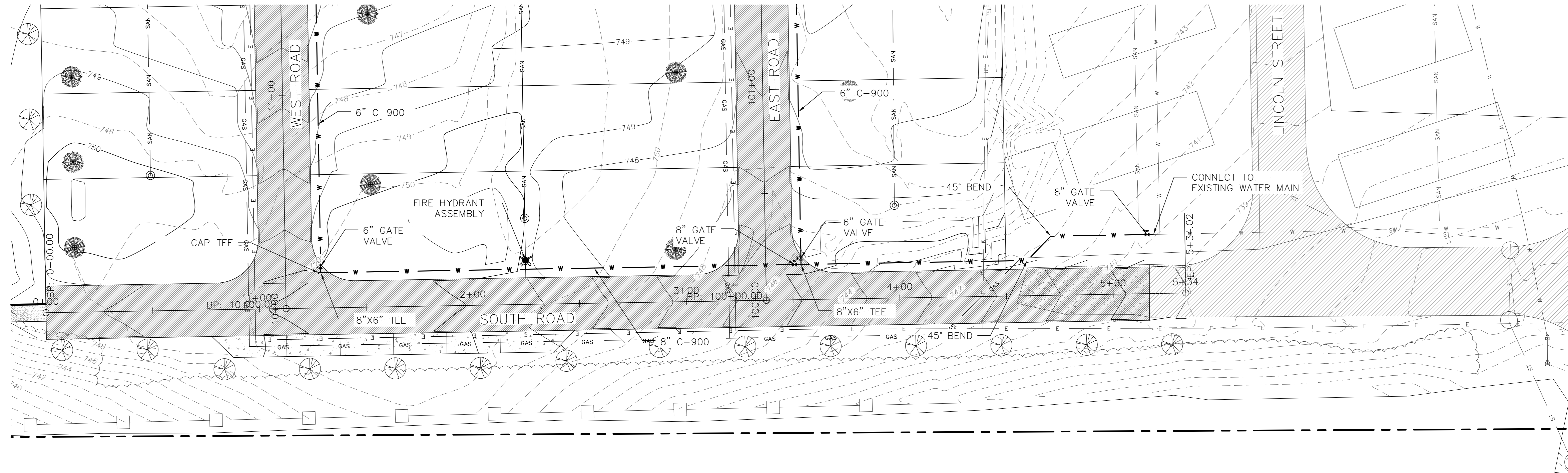
2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLEN.G.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

SANITARY SEWER MAIN PLANS
BACK OF LOTS

SHEET NO.
S.03





DRAWN BY: RLC APPROVED BY: JWM
 DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | W.01

NO.	REVISION DESCRIPTION	APPROVED	DATE

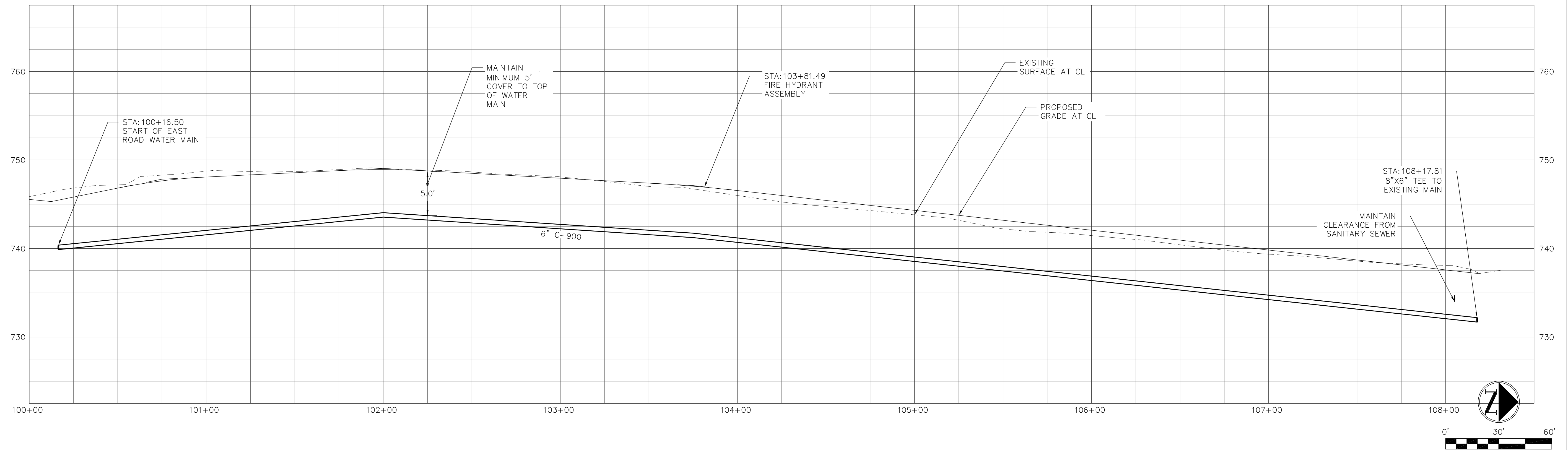
CLEARWELL

2135 BLAKE BLVD SE
 CEDAR RAPIDS, IOWA 52403
 319-654-4911
 CLEARWELLEN.G.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

WATER MAIN PLANS
SOUTH ROAD

SHEET NO.
W.01



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | W.02

NO.	REVISION DESCRIPTION	APPROVED	DATE

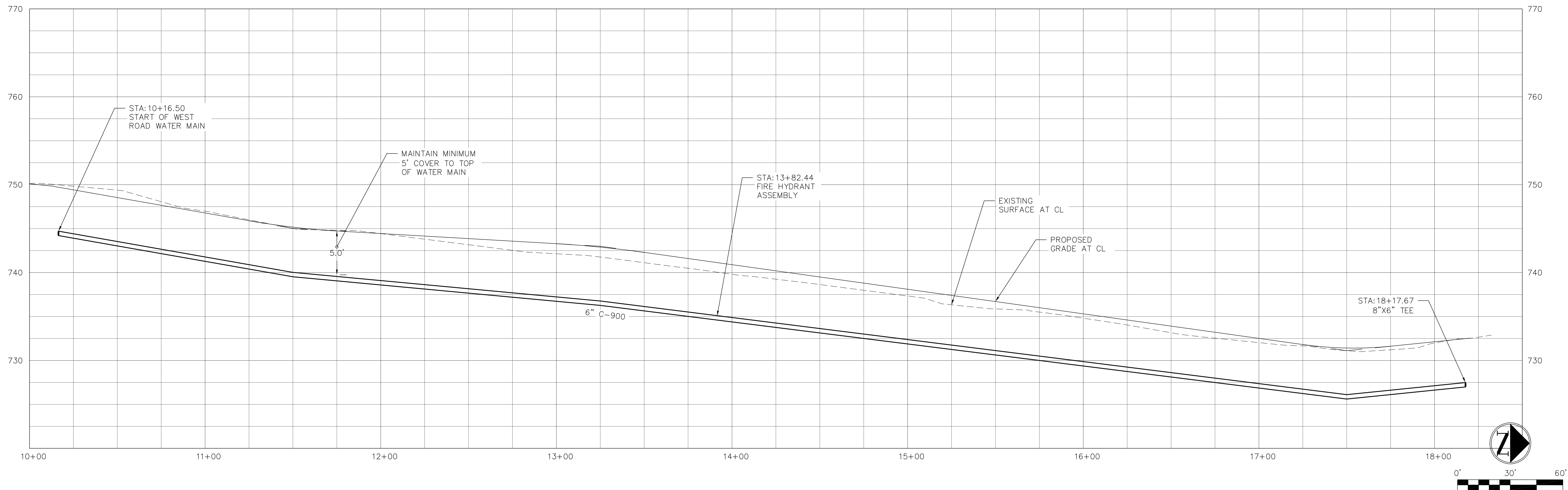
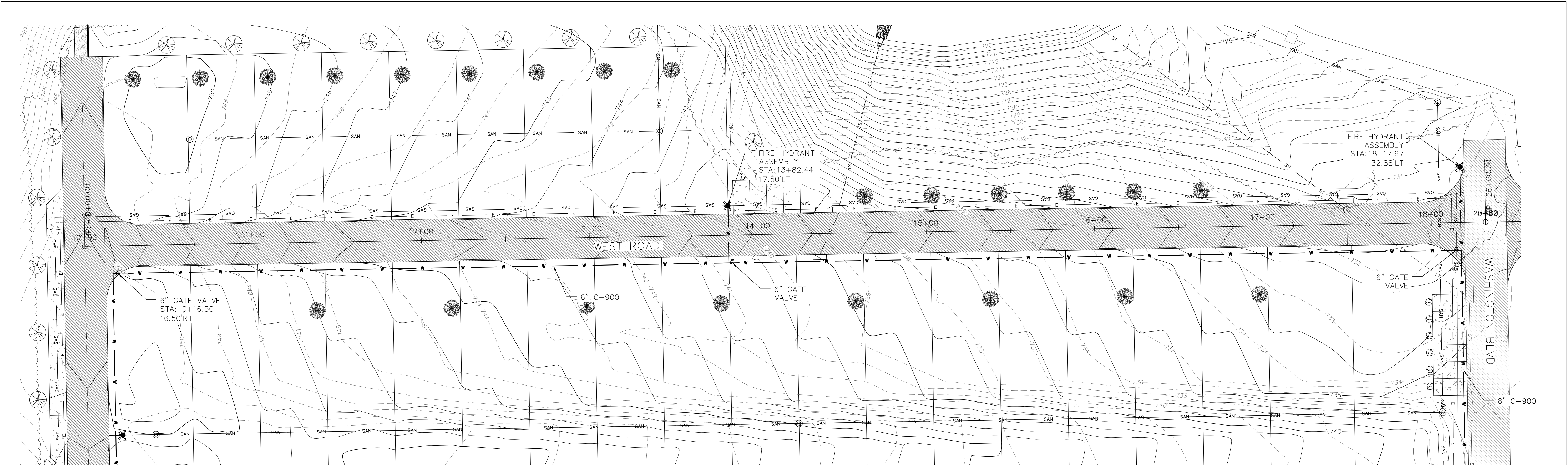
CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENGL.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

WATER MAIN PLANS
EAST ROAD

SHEET NO.
W.02



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | W.03

NO.	REVISION DESCRIPTION	APPROVED	DATE

CLEARWELL

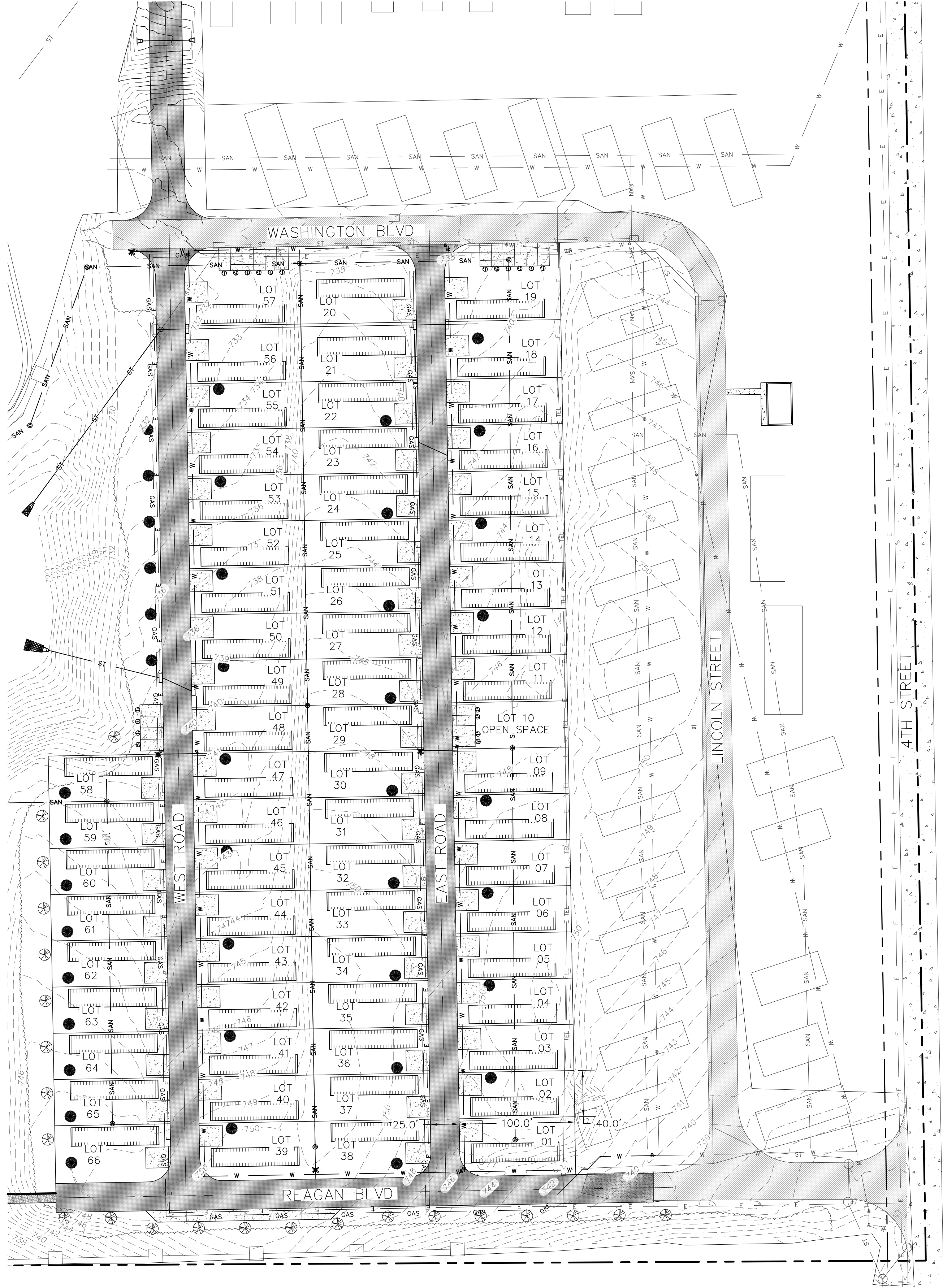
2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLEN.G.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

WATER MAIN PLANS
WEST ROAD

SHEET NO.
W.03

- GENERAL LANDSCAPE NOTES
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8989) OR 811 AT LEAST 48 HOURS PRIOR TO DIGGING. CONTRACTOR TO REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY AT CONTRACTORS EXPENSE.
 - PRIOR TO PLANT MATERIAL INSTALLATION, THE OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES, TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS AND/OR IN CONSIDERATION OF OTHER FACTORS.
 - PRIOR TO INSTALLATION, ALL TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR LAYOUT APPROVAL.
 - ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - PROVIDE A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS AND TREE RINGS. MULCH RINGS FOR TREES SHALL BE A MINIMUM SIX FOOT (6') DIAMETER. ALL MULCH BEDS AND TREE RINGS SHALL CONTAIN SPADE/SHOVE CUT EDGING AT MULCH EDGE.
 - NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
 - CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
 - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS, METALS, OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
 - AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/3 THE PLANT.
 - CONTRACTOR SHALL WATER AND MAINTAIN ALL SEEDED AREAS AS WELL AS ALL PLANT MATERIAL UNTIL GROUND FREEZES. MAINTENANCE IS INCIDENTAL AND INCLUDES, BUT IS NOT LIMITED TO, WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE. INITIAL ACCEPTANCE IS CONSIDERED TO BE THE DATE AT WHICH PLANTING AND MULCHING, ETC., PER LANDSCAPE PLAN, HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE. REPLACE ALL PLANT MATERIAL UP TO ONE YEAR OF INITIAL ACCEPTANCE, IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - ALL AREAS DISTURBED BY CONSTRUCTION SHALL HAVE FULL SURFACE RESTORATION IMPLEMENTED BY MEANS OF TURF GRASS LAWN SEED AND/OR SOD, CONTRACTOR TO VERIFY/COORDINATE WITH OWNER UNLESS NOTED OTHERWISE.
 - FOR ALL OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS OR NOT COVERED WITHIN THESE GENERAL NOTES, CONTRACTOR SHALL FOLLOW SUDAS OR CITY STANDARDS AS APPLICABLE. THE PLAN AND NOTES ON THIS SHEET SHALL SUPERCEDE SUDAS OR CITY STANDARDS AS APPLICABLE.
 - ALL LANDSCAPE TO BE INSTALLED PER APPLICABLE SUDAS OR CITY STANDARDS.
 - NURSERY SOURCE FOR LANDSCAPE PLANTS SHOWN HEREON SHALL BE WITHIN A 500 MILE RADIUS OF WEST BRANCH, IOWA AND GROWN IN A CLIMATE ZONE OF 5A OR COLDER.
 - PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.



PROPOSED TREE SPECIES – DECIDUOUS TREES		
D1	ALDER, BLACK	ALNUS GLUTINOSA
D2	BIRCH, RIVER	BETULA NIGRA
D3	BIRCH, YELLOW	BETULA ALLEGHANIENSIS
D4	MAPLE, BLACK	ACER NIGRUM

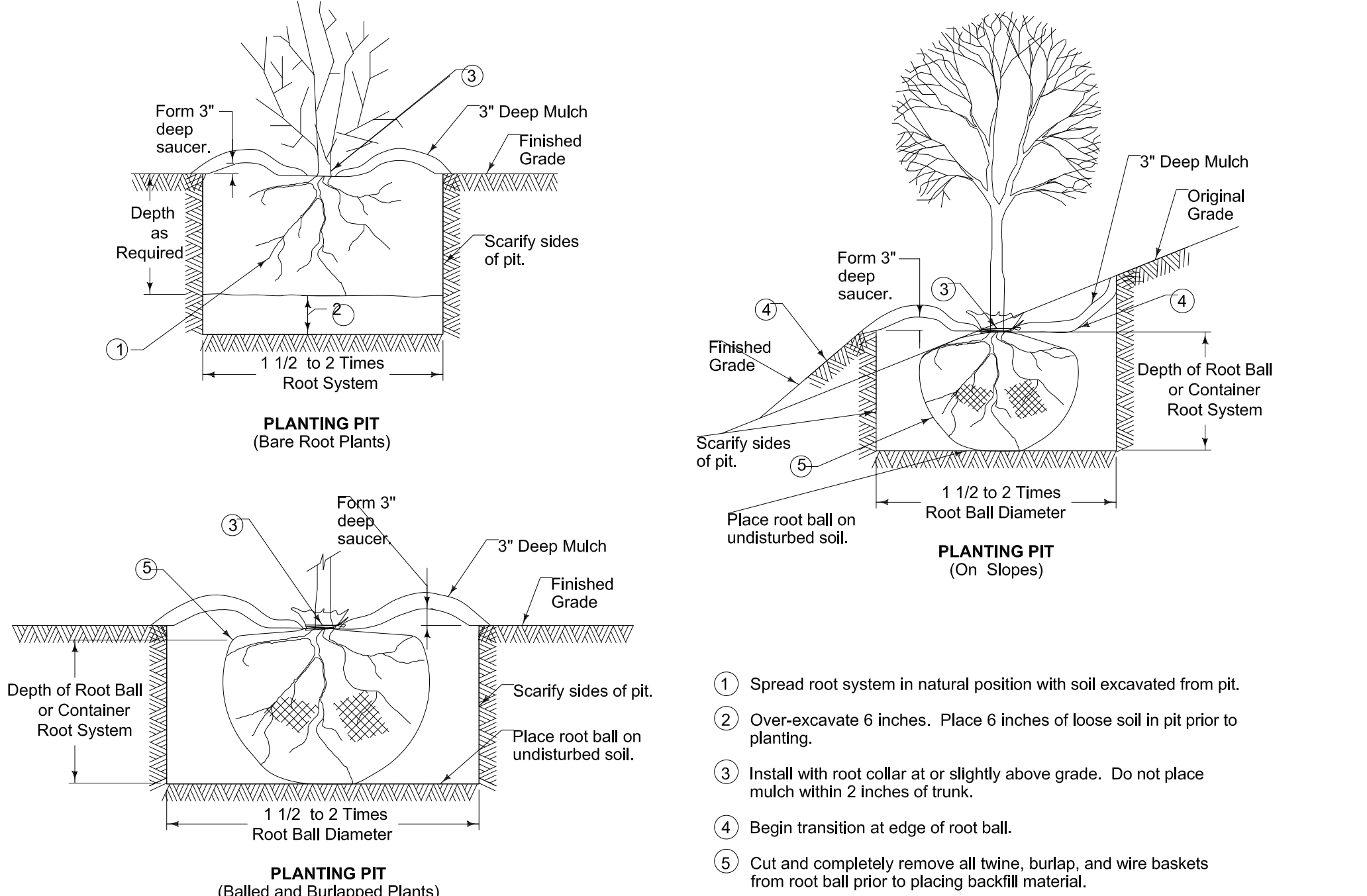
PROPOSED TREE SPECIES – CONIFEROUS TREES		
C1	PINE, WHITE	PINUS STROBUS
C2	SPRUCE, WHITE	PICEA GLAUCA
C3	FIR, DOUGLAS	PSEUDOTSUGA MENZIESII

- NOTES:
- DECIDUOUS TREES SHALL BE PLACED AS STREET TREES ALONG PROPOSED DRIVEWAYS.
 - REFER TO PLANTING DETAILS ON C.06.
 - DECIDUOUS TREES SHALL BE ALTERNATED BETWEEN VARITIES SHOWN ABOVE.

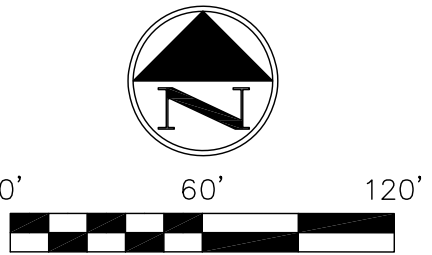
REQUIRED CONIFEROUS TREES = 22 TREES
PROPOSED CONIFEROUS TREES = 23 TREES

REQUIRED DECIDUOUS TREES = 43 TREES
PROPOSED DECIDUOUS TREES = 45 TREES

- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB



TREE PLANTING PIT DETAIL
NOT TO SCALE



DRAWN BY: RLC APPROVED BY: JWM
DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | L.01

NO.	REVISION DESCRIPTION	APPROVED	DATE

CLEARWELL

2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
CLEARWELLENG.COM

WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

SITE PLAN

SHEET NO.
L.01

Leslie Brick

From: Dave Schechinger <dschechinger@v-k.net> on behalf of Dave Schechinger
Sent: Tuesday, June 29, 2021 4:37 PM
To: 'leslie'
Subject: Fwd: West Branch Village Improvement Plans
Attachments: WEST BRANCH VILLAGE IMP PLANS.pdf

Dave Schechinger
Veenstra & Kimm, Inc.

From: Joseph Mailander <jmailander@clearwelleng.com>
Sent: Monday, June 28, 2021 8:36:31 AM
To: Dave Schechinger <dschechinger@v-k.net>
Cc: Dirt Boys Inc. Dirt Boys Inc. <dirtboyssa@yahoo.com>
Subject: RE: West Branch Village Improvement Plans

Dave,

Attached are the revised plans for the West Branch Village expansion. Per your comments we have added the following changes:

- A sanitary sewer metering manhole is shown downstream of the communities last connection to the existing city sewer line. The proposed manhole will be built over the exiting 8" line and a flume insert is proposed in the manhole invert. I noted that the meter will need to meet City requirements, which we can finalize with Matt.
- A second access point to the proposed development area is shown in the NW corner of the expansion area. This road will connect the exiting community with the proposed community.
- A open lot, proposed for future play area, is shown at Lot 10. Each lot is still sized for a single wide home, but available to be combined if a double lot user is found. Additionally there is a substantial amount of open/undisturbed area to the west of the expansion area.
- Guest parking areas with 26 , are proposed throughout the expansion. 26 stalls are proposed.
- The proposed parking area along the southern road is proposed to be available for snow storage in the winter as needed.
- An emergency shelter is proposed along the east side of the property, within the slope from 4th Street. This building will be designed and submitted for building plan approval under a separate submittal, but the location is shown on these plans.
- The community will install No Parking signs along proposed streets to allow for fire access throughout the site.
- A connection to the Hoover Trail is shown at the west end of the South Road. The trail is proposed as an 8' wide granular surfaced connection.
- Lighting will be installed through the expansion area in a similar fashion to the existing roads.
- A landscaping plan is shown on Sheet L.01 of the plans.
- Detention is shown for the proposed expansion area, south of the existing lagoons. A drainage report will follow shortly with sizing calculations.

Please review and let me know if you have any questions. I hope that we have addressed the Planning Commissions comments sufficiently to allow a special meeting to be schedule prior to the 7/13 Council meeting. I appreciate your help and assistance through this project.

Sincerely,
Joseph W. Mailander, PE
Civil Engineer / Clearwell, PLLC

CLEARWELL

319-654-4911

jmailander@clearwelleng.com

www.clearwelleng.com

Joe,

As discussed at the meeting with West Branch P&Z, the items that they were concerned with include the following:

- Sanitary sewer/wastewater treatment issues
- Second access point (99 units on one access)
- Density
- Parking – guest parking & on street parking
- Snow removal
- Emergency Shelter capacity/access
- Fire truck access (on street parking)
- Trail access
- Lighting
- Landscaping
- Drainage / stormwater fees

Also, if you could show contours on the grading plan, it would be helpful in evaluating drainage, elevation concerns, etc.

Let me know if you have questions regarding any of these comments or concerns.

Thank you,

Dave Schechinger, P.E.
Veenstra & Kimm, Inc.
860 22nd Avenue, Suite 4
Coralville, Iowa 52241-1565
Ph. 319-466-1000
dschechinger@v-k.net

From: Joseph Mailander <jmailander@clearwelleng.com>
Sent: Monday, May 24, 2021 11:37 AM
To: Dave Schechinger <dschechinger@v-k.net>
Subject: RE: West Branch Village Improvement Plans

Thank you Dave.

Joe

From: Dave Schechinger <dschechinger@v-k.net>
Sent: Monday, May 24, 2021 11:24 AM

FINAL PLAT
CEDARS EDGE
WEST BRANCH, IOWA

NTI VA - NTI VA
SECTION 6 TTN RAN














LEGAL DESCRIPTION

BEING A PART OF THE SOUTH HALF (S 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M. CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTH HALF 1/4 OF S4D NORTHWEST QUARTER (NW 1/4), THENCE N60°45'04"E, 453.73 FEET TO THE WEST LINE OF LOT 9 OF GIBBSVIEW ESTATE, AN OFFICIAL MAP IN THE CITY OF WEST BORDEN, THENCE ALONG SAID WEST LINE N08°24'54"W, 40.96 FEET TO THE NORTHWEST CORNER OF SAID LOT 9; THENCE ALONG THE NORTH LINE OF LOT 9 N08°42'34"E, 139.73 FEET TO THE SOUTHWEST CORNER OF AUDITORS PARCEL A AS RECORDED IN BOOK PAGE 12 OF THE CEDAR COUNTY RECORDS OFFICE, THENCE ALONG SAID NORTH LINE OF LOT 9 N08°42'34"E, 139.73 FEET TO THE NORTHWEST CORNER OF SAID PARCEL A, THENCE ALONG THE NORTH LINE OF SAID PARCEL A N07°02'00"E, 170.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL A, THENCE N01°02'20"W, 128.83 FEET; THENCE S05°13'35"E, 55.60 FEET TO THE WEST LINE OF SAID SOUTH HALF, THENCE S01°02'20"E, 133.24 FEET TO THE POINT OF BEGINNING.

DESCRIBED PARCEL CONTAINS 27.53 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

PLAY PREPARED BY: XEROX CONSULTANTS 60 E. COURT STREET, UNIT 3 IOWA CITY, IA 52240	OWNER/SUBDIVIDER: CEDARS EDGE PROPERTIES 29 GREENVIEW DRIVE WEST BRANCH, IA 52336
ATTORNEY: JOHN E. BEASLEY PHELAN TUCKER MULLEN WALKER TUCKER GELMAN LLP 323 EAST MARKET STREET IOWA CITY, IOWA 52244	

LEGEND	
	SECTION CORNER
	PROPERTY CORNER - FORM 3/2" x 1/2" x 1/2" CAP OR A 3/2" x 1/2" x 1/2"
	PROPERTY CORNER - FORM 1/2" x 1/2" x 1/2" BELLS
	PROPERTY CORNER - SET SET 1/2" x 1/2" x 1/2"
	PROPERTY CORNER - BELLS
	ORANGE PLASTIC CAP
	YELLOW PLASTIC CAP
	RED PLASTIC CAP
	WELDING ON PROPERTY
	EXISTING PROPERTY LINE
	SECTION LINE
	ELEMENT
	PROPERTY CORNER

NOTES:

1. REFER TO PAGE 2 FOR ADDITIONAL INFORMATION FOR THE EASEMENTS
2. ACCESS TO JOHNSON CEDAR ROAD SHALL ONLY BE GRANTED FOR LOTS 12, 13, 14, AND 15. ALL OTHER LOTS SHALL ACCESS ROADS WITHIN THE SUBDIVISION
3. LOTS 11 - 16 ARE ZONED R-1
4. LOTS 17 - 25 ARE ZONED R-2
5. LOTS 26 & 27 ARE ZONED A-1

SE 1/4 - NW 1/4
SECTION 6 T14N R47E

	RECORDERS INDEX
COUNTY:	CEBAR
SECTION:	6-29-4
QUARTER SECTION:	SW 1/4 - NW 1/4
CITY:	WEST BARNHART
SUBDIVISION:	CEBAR'S EDGE
BLOCK:	NA
LOT:	NA
PROPRIETOR:	CEBAR'S EDGE PROPERTIES, LLC
REQUESTED BY:	CEBAR'S EDGE PROPERTIES, LLC
PREPARED BY:	AXIOM CONSULTANTS, LLC, 601 E. Court St. Unit Iowa City, IA 52240 - PH: 319.519.6220

LOCATION MAP - NOT TO SCALE

PLAT APPROVALS
CEDAR COUNTY AUDITOR:

SUBDIVISION NAME
APPROVED BY
CEDAR COUNTY AUDITOR
DATE 4/30/2018 INITIAL du

OWNER / DEVELOPER	DATE
30000 North	4-25-19
WEST BRANCH CITY CLERK	DATE
4/25/19	4/25/19
WEST BRANCH PLANNING & ZONING	DATE
4-25-19	4-25-19
WEST BRANCH MAYOR	DATE

UTILITY APPROVALS	
<u>WATER</u>	4/24/19
ADJUTANT ENGINEER	DATE
<u>Jeffery M. Beninger</u>	4/24/19
LINE COORDINATOR	DATE
<u>James L. J.</u>	4-24-19
MISCELLANEOUS	DATE
<u>SPUR</u>	7/23/19
CENTURION	DATE
<u>Maureen B. B.</u>	4/23/19

US DEPT OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION

DATE 10/20/79

SIGNED BEFORE ME THIS 26th DAY OF April, 2019.
John M. Brien
NOTARY PUBLIC, IN AND FOR THE STATE OF IOWA.

NOTARY PUBLIC STATE OF IOWA
COMMISSION EXPIRES 12/31/80

I CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF KANSAS.

Paul G. Galt 4/22/19
PAUL G. GALT, P.L.S., P.E. DATE
LAND SURVEYOR

EXPIRATION DATE: 12/31/2019

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT
 MEDICAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE
 STATE OF IOWA.

Brad Meats 4/22/19

BRADLEY R. MEATS, P.L.S., P.E. DATE
 LICENSE NUMBER 10089

MY EXPIRATION DATE IS DECEMBER 31, 2019.

Book 1465 Page 65-95
Document 2019 1268 Pages 31
Date 5/23/2019 Time 1:57:18PM
Rec Amt \$157.00 **pd**

[illegible]

BOOK 445 PAGE 65

CHAPTER 137

VACATION AND DISPOSAL OF STREETS

137.01 Power to Vacate

137.02 Planning and Zoning Commission

137.03 Notice of Vacation Hearing

137.04 Findings Required

137.05 Disposal of Vacated Streets or Alleys

137.06 Disposal by Gift Limited

137.01 POWER TO VACATE. When, in the judgment of the Council, it would be in the best interest of the City to vacate a street, alley, portion thereof or any public grounds, the Council may do so by ordinance in accordance with the provisions of this chapter.

(Code of Iowa, Sec. 364.12 [2a])

137.02 PLANNING AND ZONING COMMISSION. Any proposal to vacate a street, alley, portion thereof or any public grounds shall be referred by the Council to the Planning and Zoning Commission for its study and recommendation prior to further consideration by the Council. The Commission shall submit a written report including recommendations to the Council within thirty (30) days after the date the proposed vacation is referred to the Commission.

(Code of Iowa, Sec. 392.1)

137.03 NOTICE OF VACATION HEARING. The Council shall cause to be published a notice of public hearing of the time at which the proposal to vacate shall be considered.

137.04 FINDINGS REQUIRED. No street, alley, portion thereof or any public grounds shall be vacated unless the Council finds that:

1. Public Use. The street, alley, portion thereof or any public ground proposed to be vacated is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified.
2. Abutting Property. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

137.05 DISPOSAL OF VACATED STREETS OR ALLEYS. When in the judgment of the Council it would be in the best interest of the City to dispose of a vacated street or alley, portion thereof or public ground, the Council may do so in accordance with the provisions of Section 364.7, Code of Iowa.

(Code of Iowa, Sec. 364.7)



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

G:\6992\6992-306\6992-306Y.DWG

SITE LAYOUT AND DIMENSION PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19

Designed by: BJC Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: RLA Sheet No:

Project No: WEST BRANCH

6992-306 of: 7

SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

SHEET INDEX
1 SITE LAYOUT AND DIMENSION PLAN
2 DEMOLITION PLAN
3 GRADING AND EROSION CONTROL PLAN
4 UTILITY PLAN
5 LANDSCAPE PLAN
6 PUBLIC IMPROVEMENTS
7 GENERAL NOTES AND DETAILS

PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC	558 SY
	6" PCC	2,807 SY
	4" PCC	255 SY

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

STANDARD LEGEND AND NOTES

	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

LEGAL:
401 PARKSIDE DRIVE IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 0.92 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

SITE DEVELOPMENT SUMMARY:
CLASS: B-2
SQUARE FOOTAGE: 7,318 SF COMMERCIAL
PROPOSED USE: COMMERCIAL

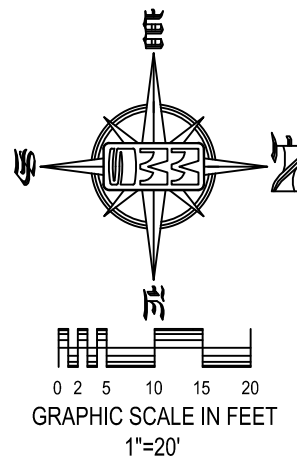
DEVELOPMENT CHARACTERISTICS:
401 PARKSIDE DRIVE IS TO BE A 0.92 ACRE. THE PLAN WILL CONSIST OF 1 (ONE) PROPOSED COMMERCIAL BUILDING IN ADDITION TO REMODELING OF EXISTING COMMERCIAL BUILDING.

DEVELOPMENT SCHEDULE
APPLICANT PLANS TO BEGIN CONSTRUCTION ON SPRING 2020, WITH AN ESTIMATED COMPLETION DATE IN SUMMER 2020.

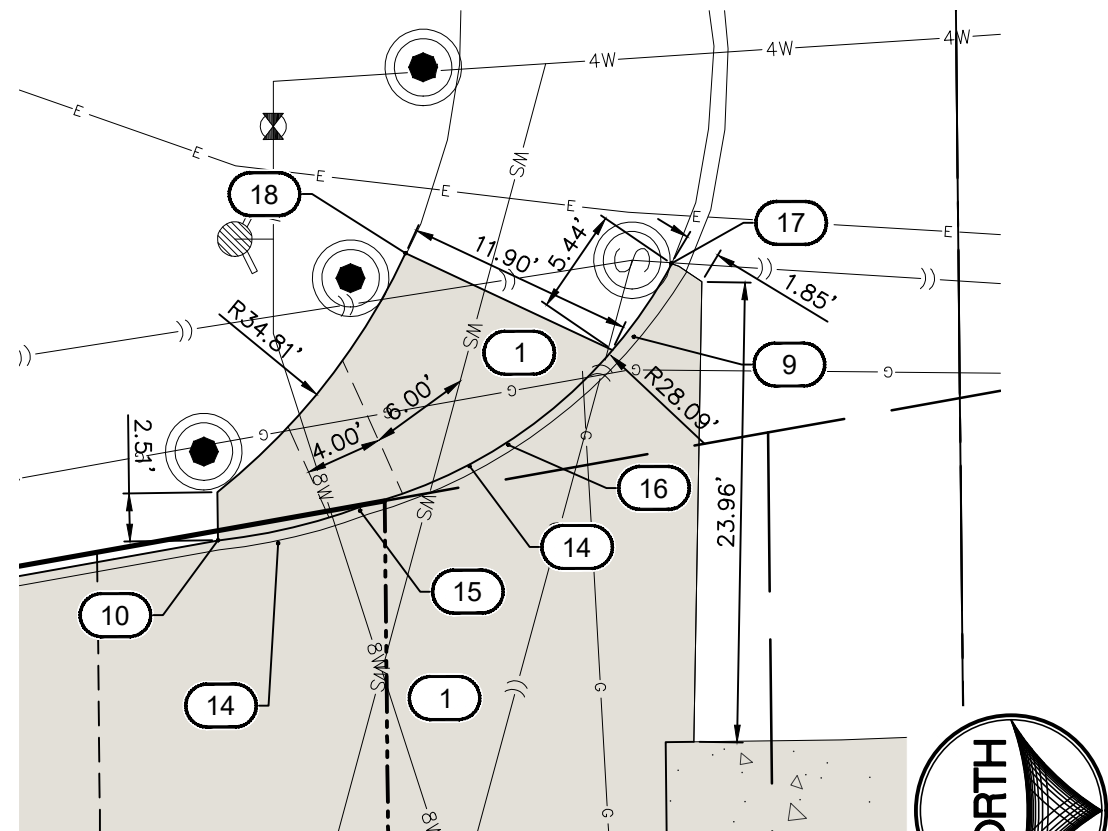
SITE COVERAGES:
TOTAL LOT AREA 40,075 S.F. (100%)
PROPOSED BUILDING AREA 5,013 S.F. (12.5%)
PROPOSED PAVING AREA 27,053 S.F. (67.5%)
EXISTING BUILDING AREA 2,305 S.F. (5.8%)
TOTAL IMPERVIOUS AREA 34,371 S.F. (85.8%)
TOTAL OPEN AREA 5,704 S.F. (14.2%)

LOT REQUIREMENTS:
FRONT YARD SETBACK 25 FEET
SIDE YARD SETBACK 8 FEET
REAR YARD SETBACK 25 FEET

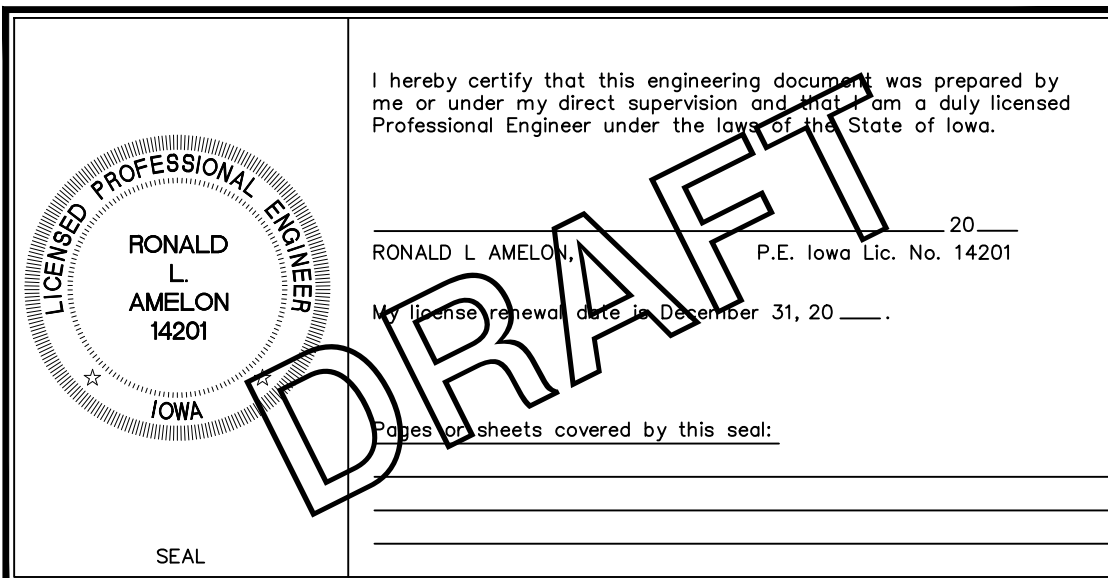
PARKING REQUIREMENTS:
1 SPACE PER 200 SF
7,318SF/200 = 37 SPACES
TOTAL PARKING REQUIRED = 37 SPACES
TOTAL PARKING PROVIDED = 38 SPACES (2 ADA)



KEYNOTES	DETAIL
1. INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2. INSTALL STANDARD 6" CURB AND GUTTER	
3. INSTALL THICKENED EDGE SIDEWALK	
4. INSTALL 4" PCC SIDEWALK	
5. CONNECT TO EXISTING PCC PAVING W/ 'BT-5' JOINT	
6. INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7. HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
8. CROSSWALK STRIPING	
9. INSTALL 3" ROLL CURB AND GUTTER	
10. TRANSITION TO 6" CURB	
11. NO PARKING ZONE	
12. END OF PAVEMENT BARRICADE	
13. END PCC PAVING WITH BT-5 JOINT	
14. INSTALL TAPERED CURB	
15. NO CURB	
16. TRANSITION TO 3" ROLL CURB	
17. MATCH EXISTING CURB AND GUTTER	
18. MATCH EXISTING CONCRETE	
19. PROPOSED FUEL TANK	
20. EXISTING FUEL TANK	
21. INSTALL SIGN PER PROVIDER DETAILS	

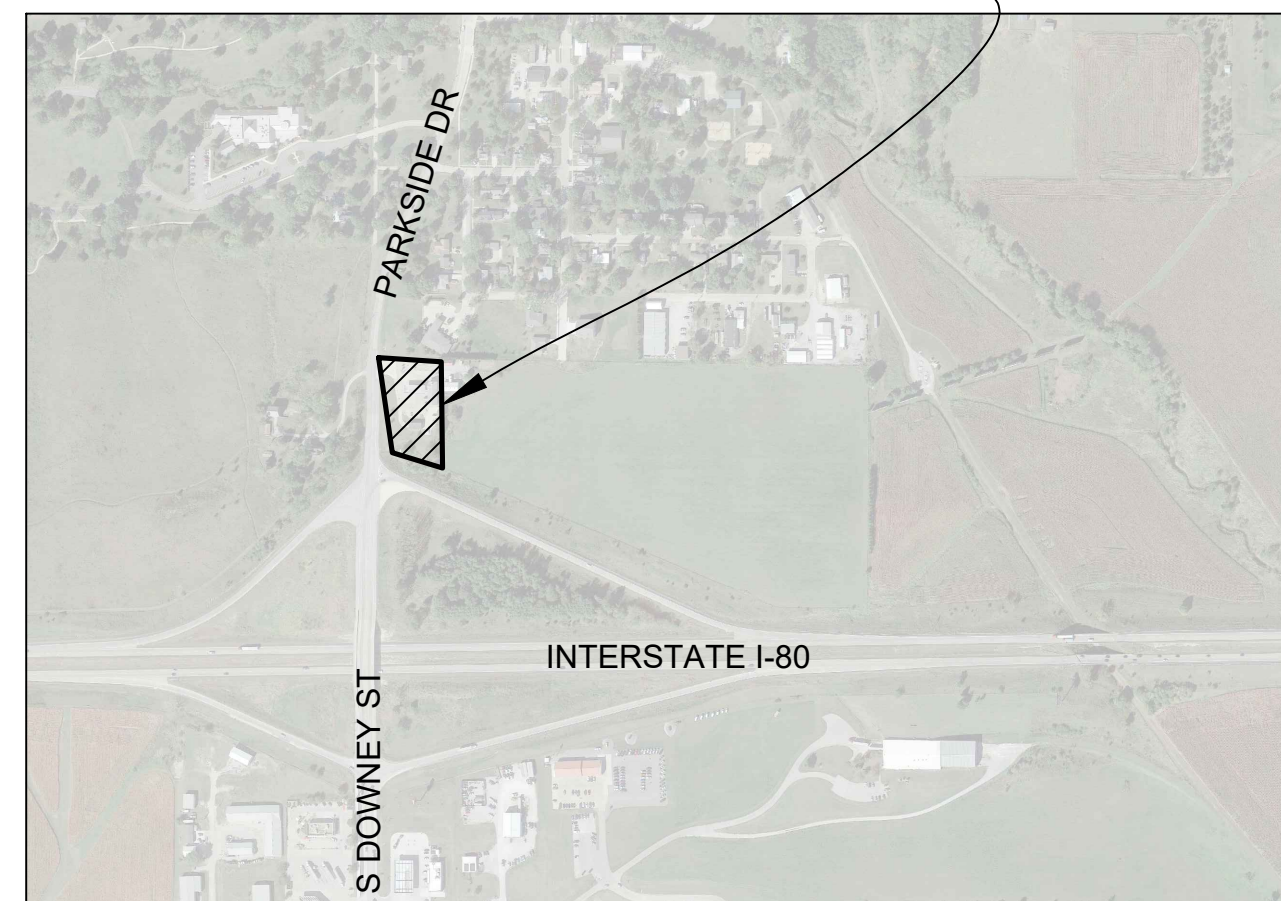


ENLARGED PLAN
SCALE: 1"=10'



DRAFT

401 PARKSIDE DRIVE
WEST BRANCH, IOWA



LOCATION MAP
NOT TO SCALE

BENCHMARK INFORMATION			
POINT	ELEVATION	DATUM	DESCRIPTION
NO. 1	768.968	NAVD88	BOLT ARROW HEAD FOUND AT NORTING 614540.67, EASTING 2228751.20, MMS POINT 14466
NO. 2	751.157	NAVD88	BOLT ARROW HEAD FOUND AT NORTING 614627.10, EASTING 2229386.31, MMS POINT 15486
HORIZONTAL CONTROL			
POINT	NORTHING	EASTING	DESCRIPTION
H1	614604.59	2228636.17	IDOT ALUM PIN ON EAST SIDE OF PARKSIDE DRIVE APPROX. 82 FEET EAST OF 401 PARKSIDE DRIVE ENTRANCE, MMS POINT 140000.

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

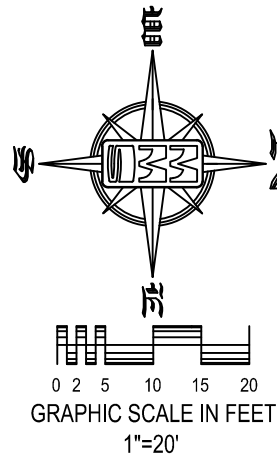
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



SITE PLAN
401 PARKSIDE DRIVE
WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317



STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS
	PROPOSED GROUND
	CONTOUR LINES (1' INTERVAL)
	GAS LINES
	TELEPHONE LINES
	ELECTRICAL LINES
	WATER LINES
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	FENCE LINE
	CURB INLET
	DRAINAGE MANHOLE
	WATER VALVE
	FIRE HYDRANT
	SANITARY MANHOLE
	LIGHT POLE
	GUY POLE
	POWER POLE W/LIGHT
	POWER POLE W/TRANS
	POWER POLE W/DROP
	POWER POLE
	EXISTING TREE
	PROPOSED TREE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- SHEET INDEX
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 GRADING AND EROSION CONTROL PLAN
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 PUBLIC IMPROVEMENTS
 - 7 GENERAL NOTES AND DETAILS

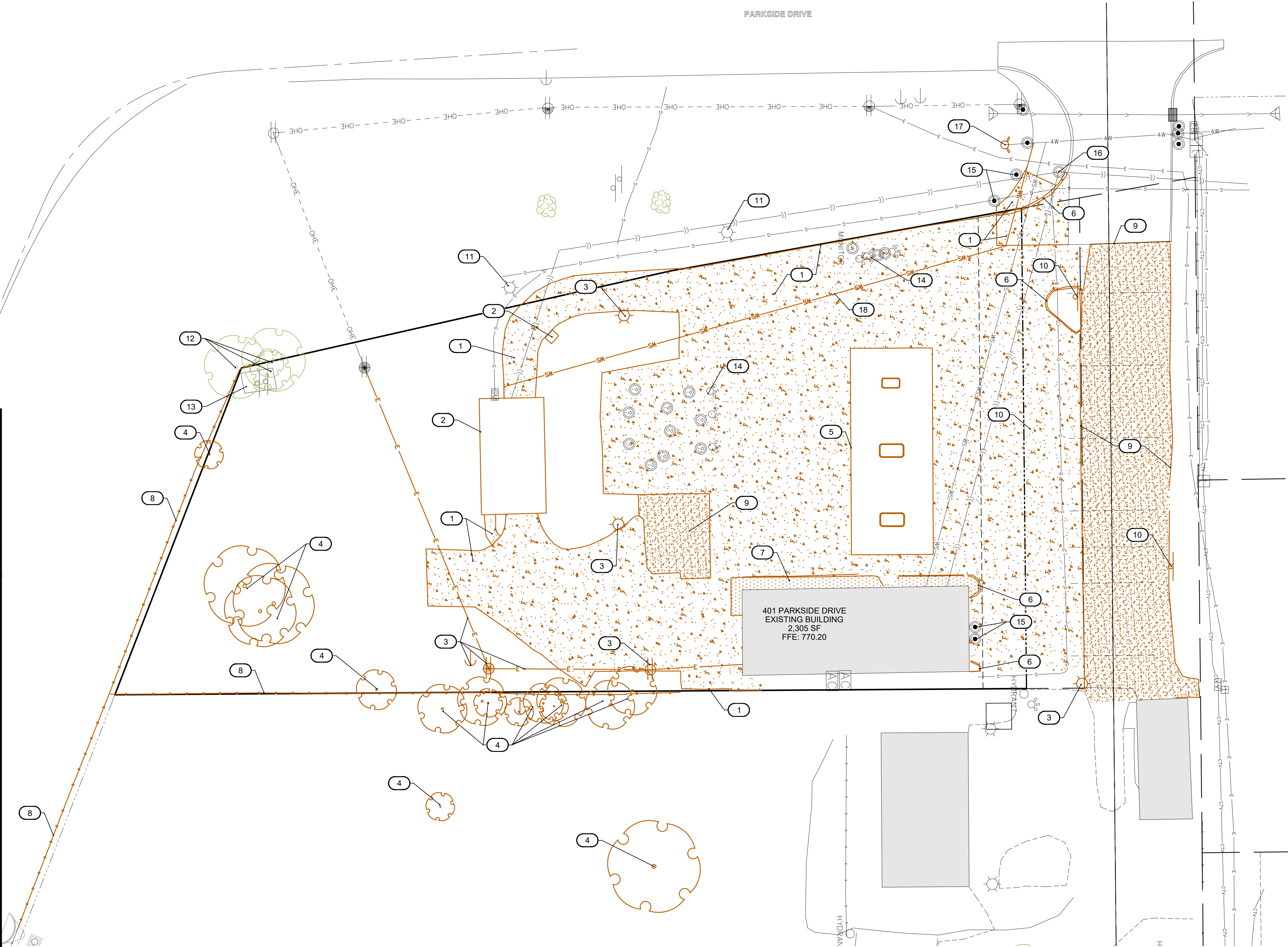
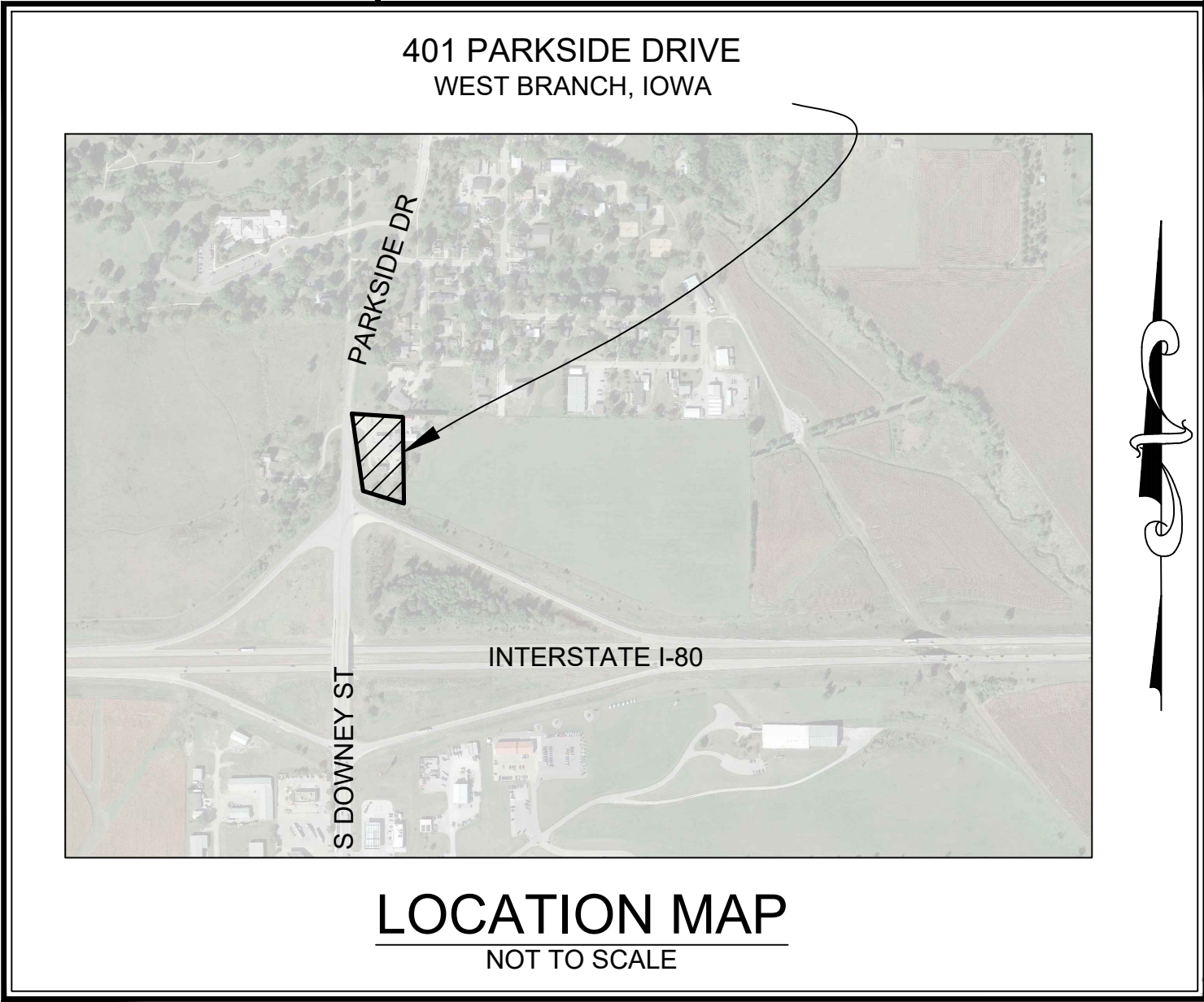
KEYNOTES		
NUMBER	KEYNOTE	DETAIL
1	REMOVE EXISTING CONCRETE	
2	REMOVE EXISTING CARWASH	
3	REMOVE EXISTING ELECTRICAL	
4	REMOVE EXISTING TREES	
5	REMOVE EXISTING GAS STATION PUMPS	
6	SAW CUT AND REMOVE EXISTING CURB AND GUTTER	
7	REMOVE EXISTING SIDEWALK	
8	REMOVE EXISTING FENCE	
9	REMOVE EXISTING ASPHALT	
10	REMOVE EXISTING SIGN	
11	PROTECT EXISTING ELECTRICAL	
12	PROTECT EXISTING TREES	
13	PROTECT EXISTING SIGN	
14	PROTECT EXISTING GAS MANHOLES	
15	PROTECT EXISTING BOLLARDS	
16	PROTECT EXISTING SANITARY MANHOLE	
17	REMOVE EXISTING FIRE HYDRANT	
18	ABANDON EXISTING WATER SERVICE	

IOWA 811 ONE CALL

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8999 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



0.92 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

G:\6992\6992-306\6992-306Y.DWG

DEMOLITION PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=20'
Sheet No:	2
of:	7

SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

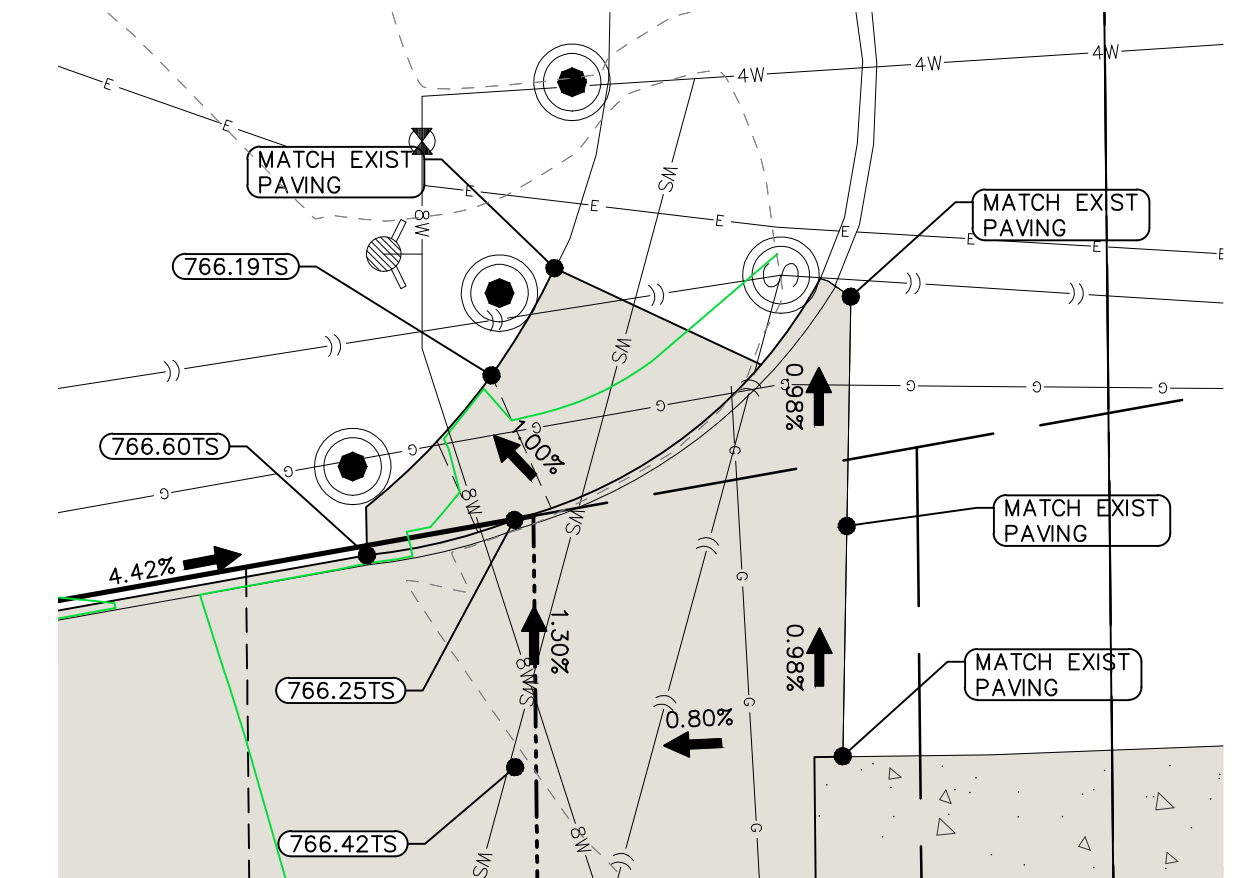
PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

GRADING LEGEND	
	0000.00EG - EXISTING GRADE
	0000.00FG - FINISHED GRADE
	0000.00TC - TOP CURB
	0000.00TS - TOP SLAB
	0000.00TW - TOP WALK
	0000.00TR - TOP RIM
	0000.00WB - BOTTOM WALL*
	0000.00WT - TOP WALL*
*REPRESENT GROUND ELEVATION AT WALL	

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.	

- SHEET INDEX
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 GRADING AND EROSION CONTROL PLAN
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 PUBLIC IMPROVEMENTS
 - 7 GENERAL NOTES AND DETAILS



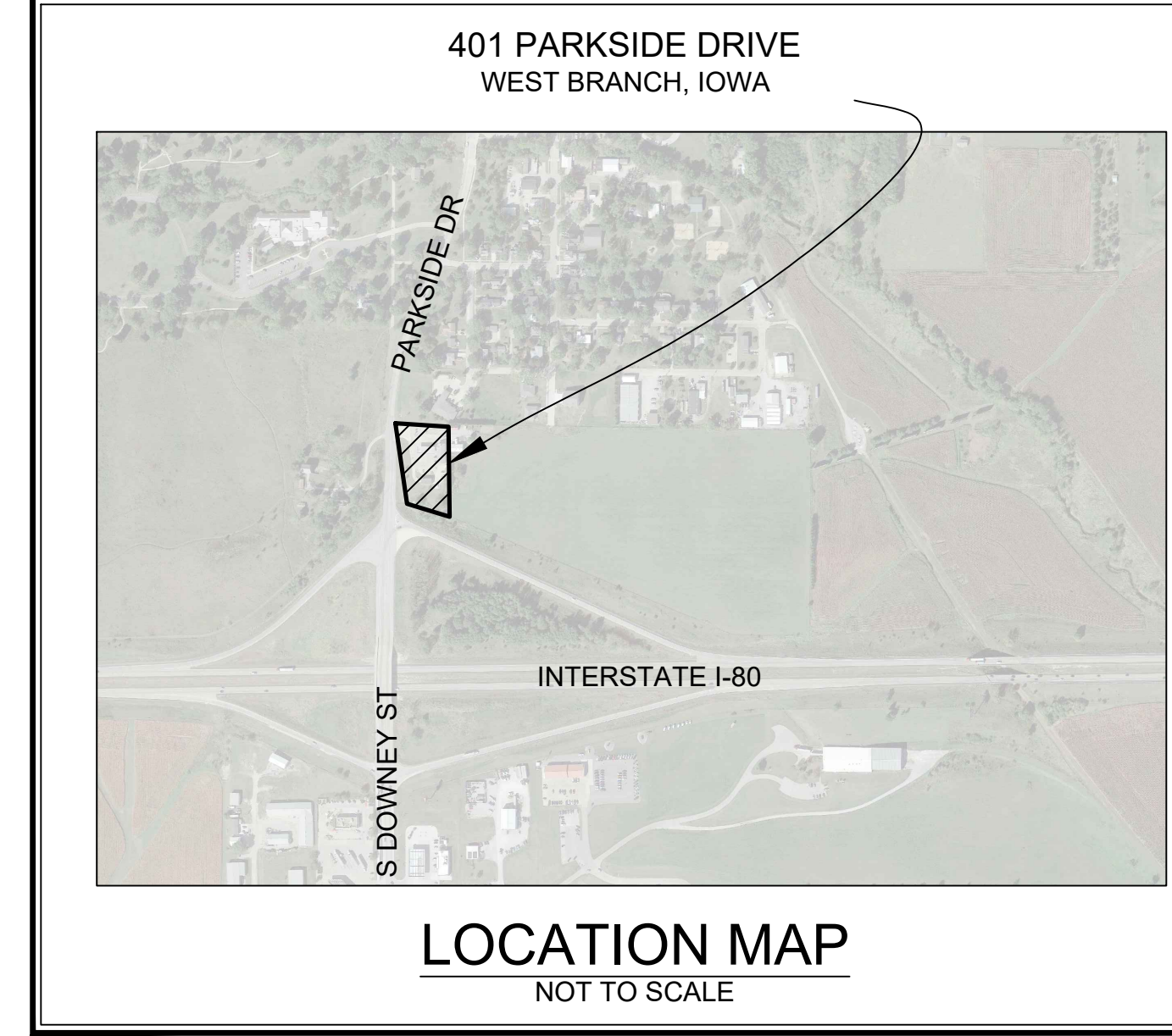
ENLARGED GRADING PLAN
SCALE: 1"=10'

EROSION CONTROL LEGEND	
	FINAL FILTER SOCK
	SILT FENCE
	FILTER SOCK
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
	TEMPORARY PARKING AND STORAGE
	CONCRETE TRUCK/EQUIPMENT WASHOUT
	PORTABLE RESTROOM
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
	FILTER SOCK INLET PROTECTION
	FILTER SOCK BEHIND CURB AT CURB RAMP
	PERIMETER SILT FENCE
	EROSION CONTROL MATTING
	TEMPORARY SOIL STOCKPILE AREA
	DIRECTION OF OVERLAND FLOW
	DUMPSTER FOR CONSTRUCTION WASTE
	RIP RAP OUTLET PROTECTION
	OTHER MEASURE: 01
	OTHER MEASURE: 02
	OTHER MEASURE: 03
THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.	

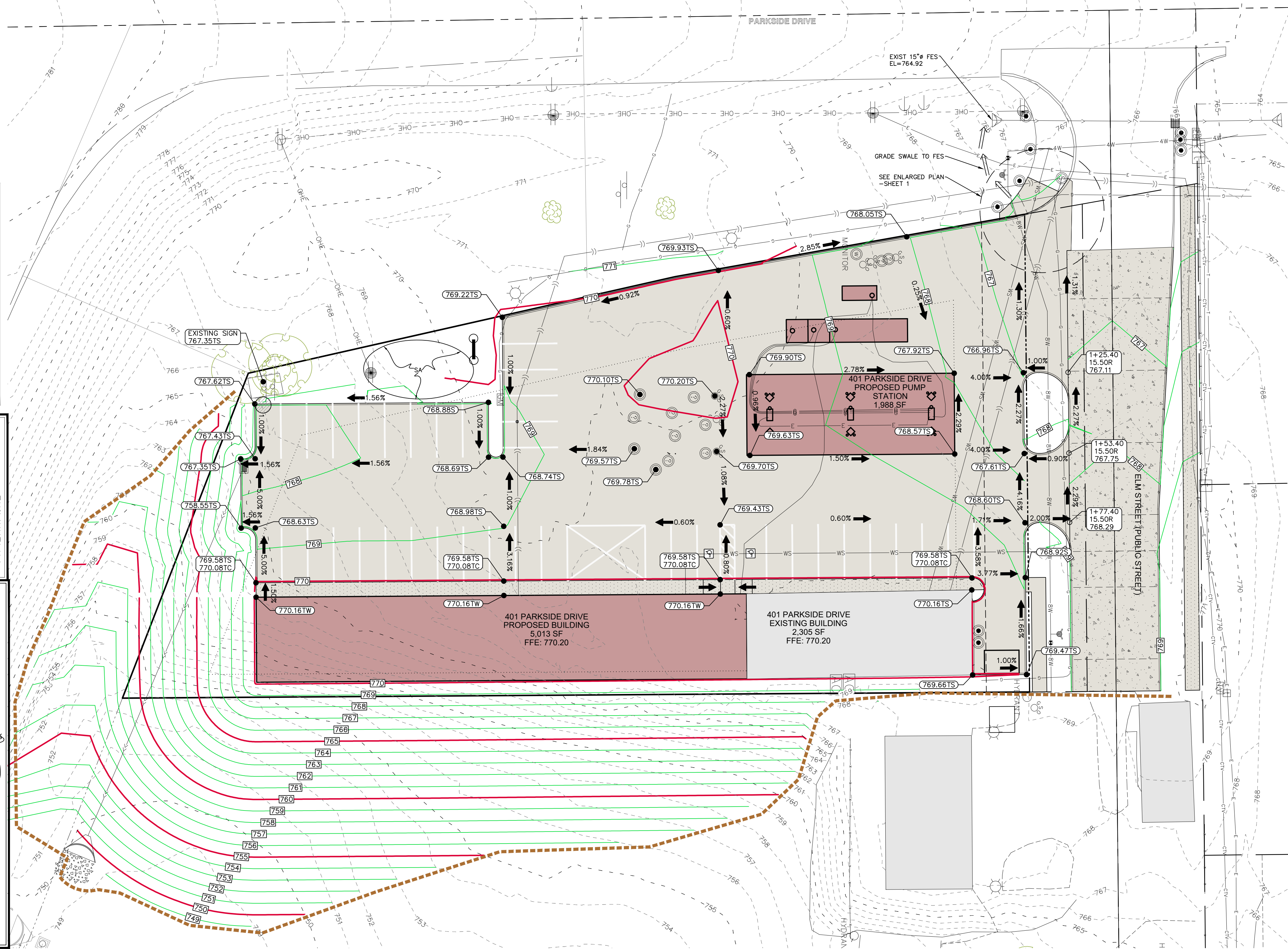
IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREBY. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



LOCATION MAP
NOT TO SCALE



Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

GRADING AND EROSION CONTROL PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.	
Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=20'
Sheet No:	3
of:	7

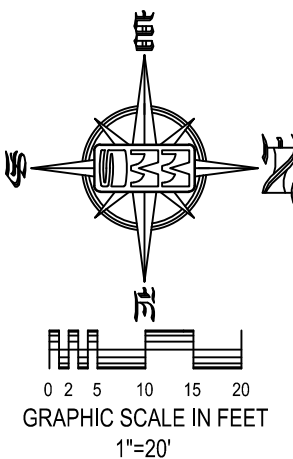
SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317



- SHEET INDEX
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 GRADING AND EROSION CONTROL PLAN
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 PUBLIC IMPROVEMENTS
 - 7 GENERAL NOTES AND DETAILS

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

EXIST-
22-1

PROP-
22-1

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

0.92 ACRES

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

UTILITY PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19

Designed by: BJC Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: RLA Sheet No:

Project No: WEST BRANCH 6992-306 of: 7

IOWA ONE CALL

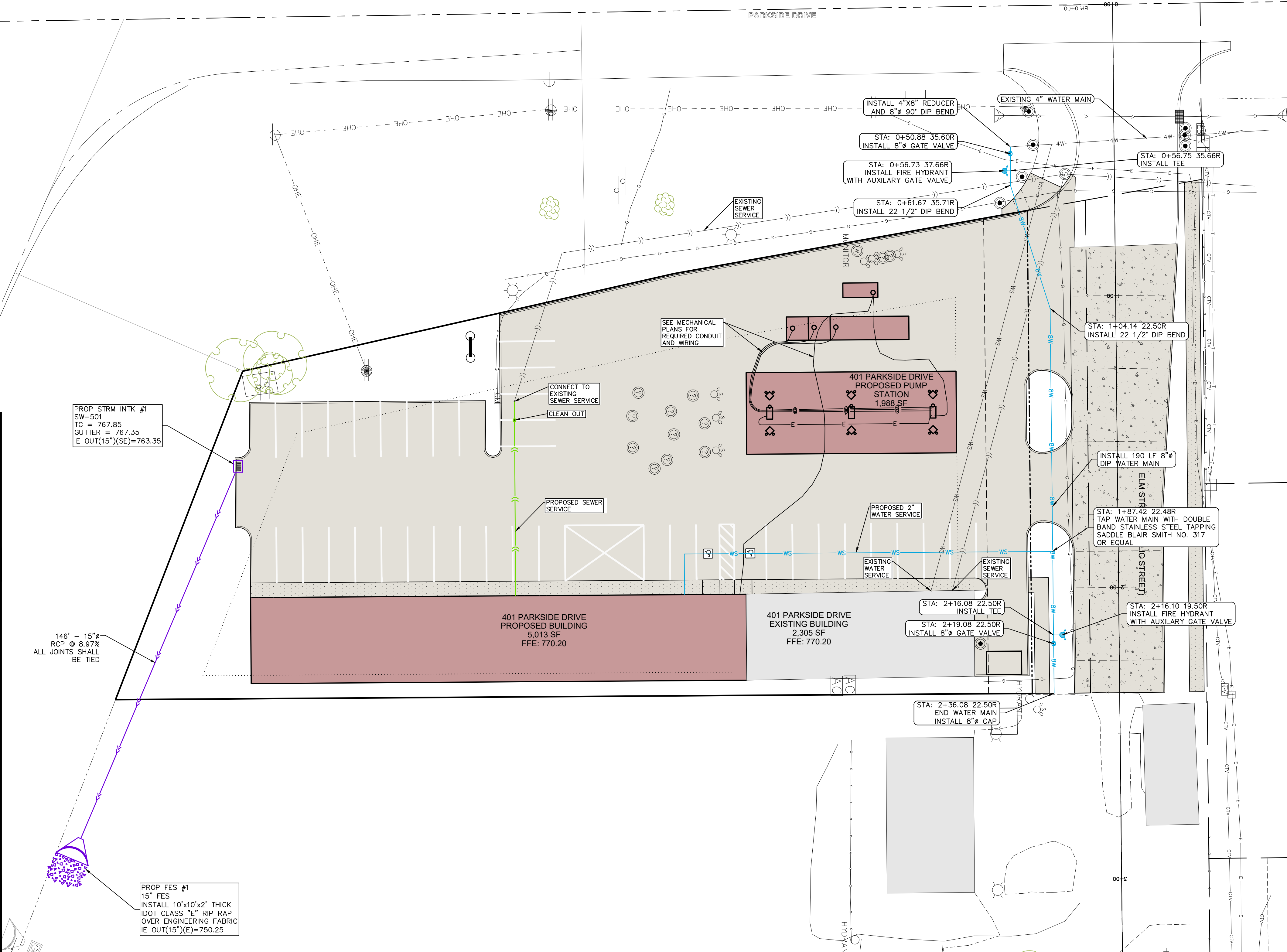
UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8999 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

401 PARKSIDE DRIVE
WEST BRANCH, IOWA

LOCATION MAP
NOT TO SCALE





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

G:\6992\6992-306\6992-306Y.DWG

LANDSCAPE PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19

Designed by: BJC Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: RLA Sheet No:

Project No: 5

WEST BRANCH

6992-306 of: 7

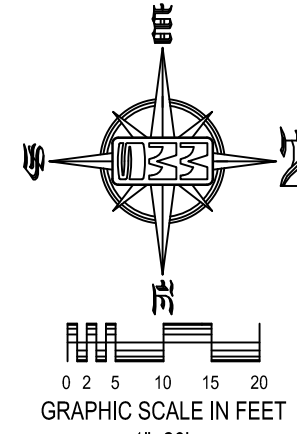
SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317



SHEET INDEX
1 SITE LAYOUT AND DIMENSION PLAN
2 DEMOLITION PLAN
3 GRADING AND EROSION CONTROL PLAN
4 UTILITY PLAN
5 LANDSCAPE PLAN
6 PUBLIC IMPROVEMENTS
7 GENERAL NOTES AND DETAILS

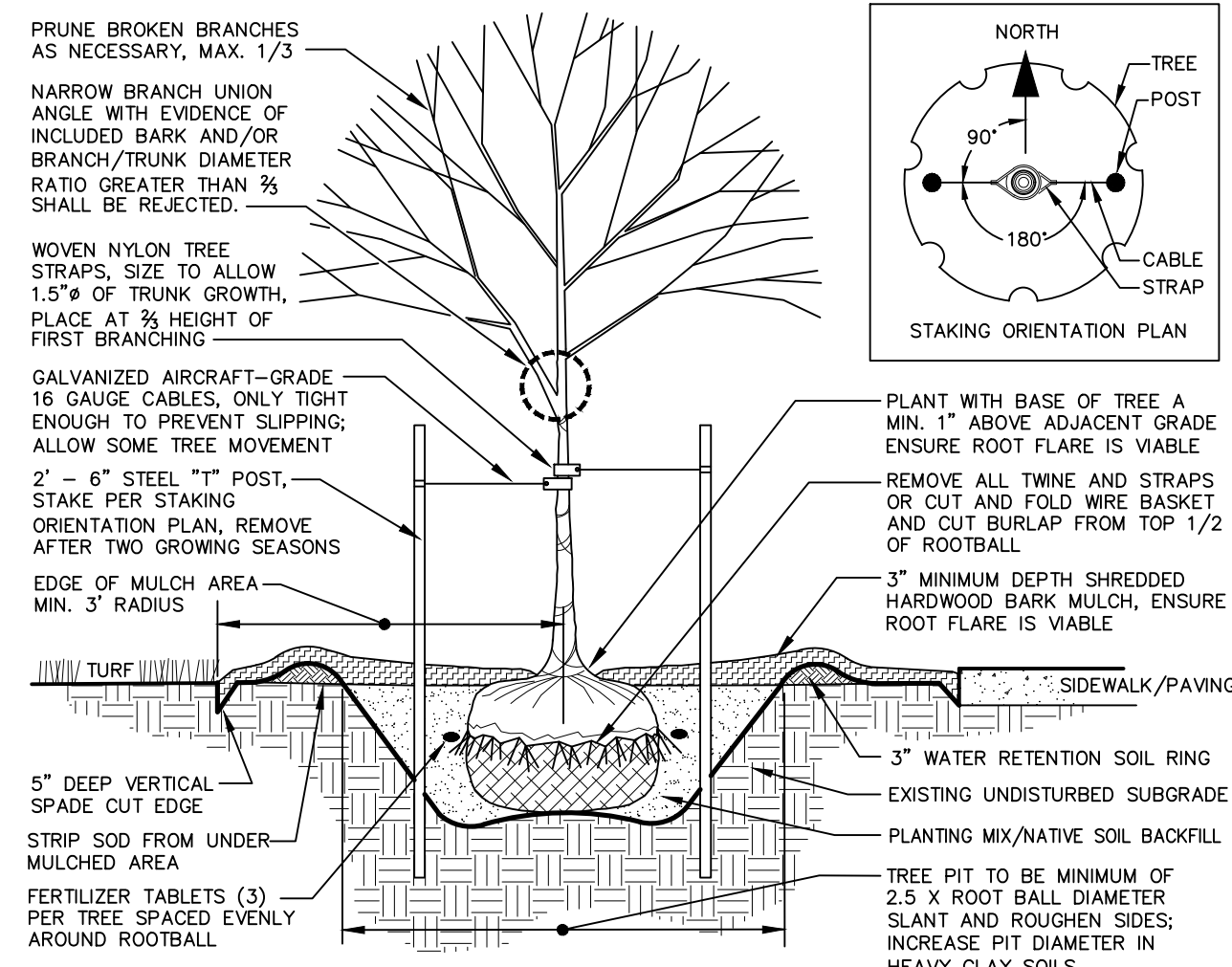
STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	EXIST- POWER POLE
---	PROP- POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

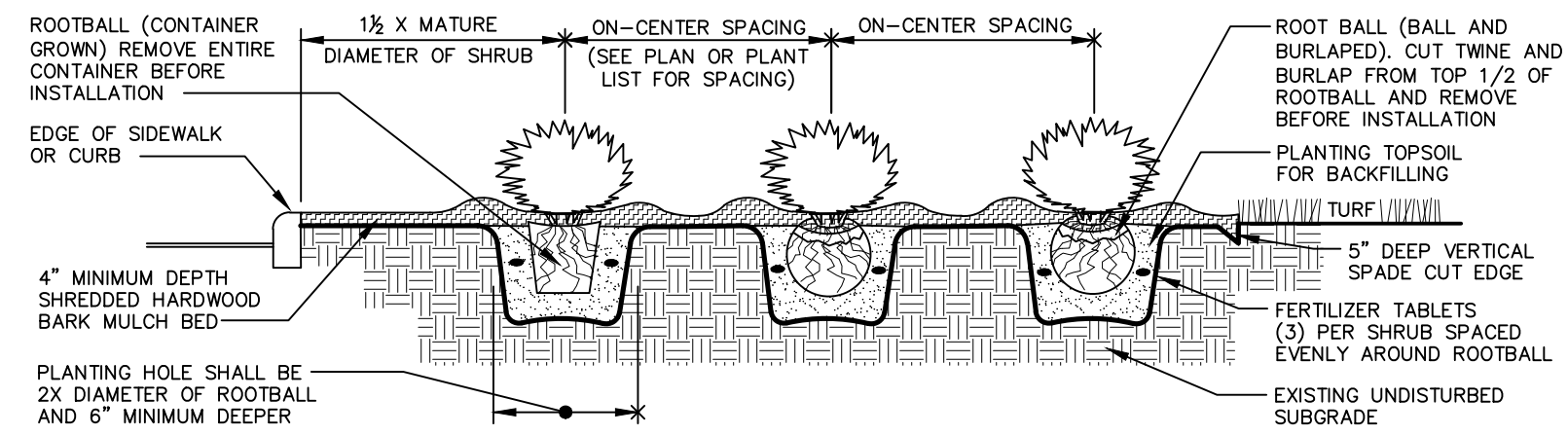
TYPICAL TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)

N.T.S.



QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
1	PA	PLUEA ARES	NORWAY SPRUCE	9'-4' HT.	D & D	20' X 25'
1	QR	QUERCUS RUBRA	RED OAK	7' CAL	D & D	20' X 25'
1	SR	SYRINGA RETICULATA 'NORY SILK'	NORY SILK JAPANESE TREE LILAC	1 1/2" CAL	D & D	15' X 25'

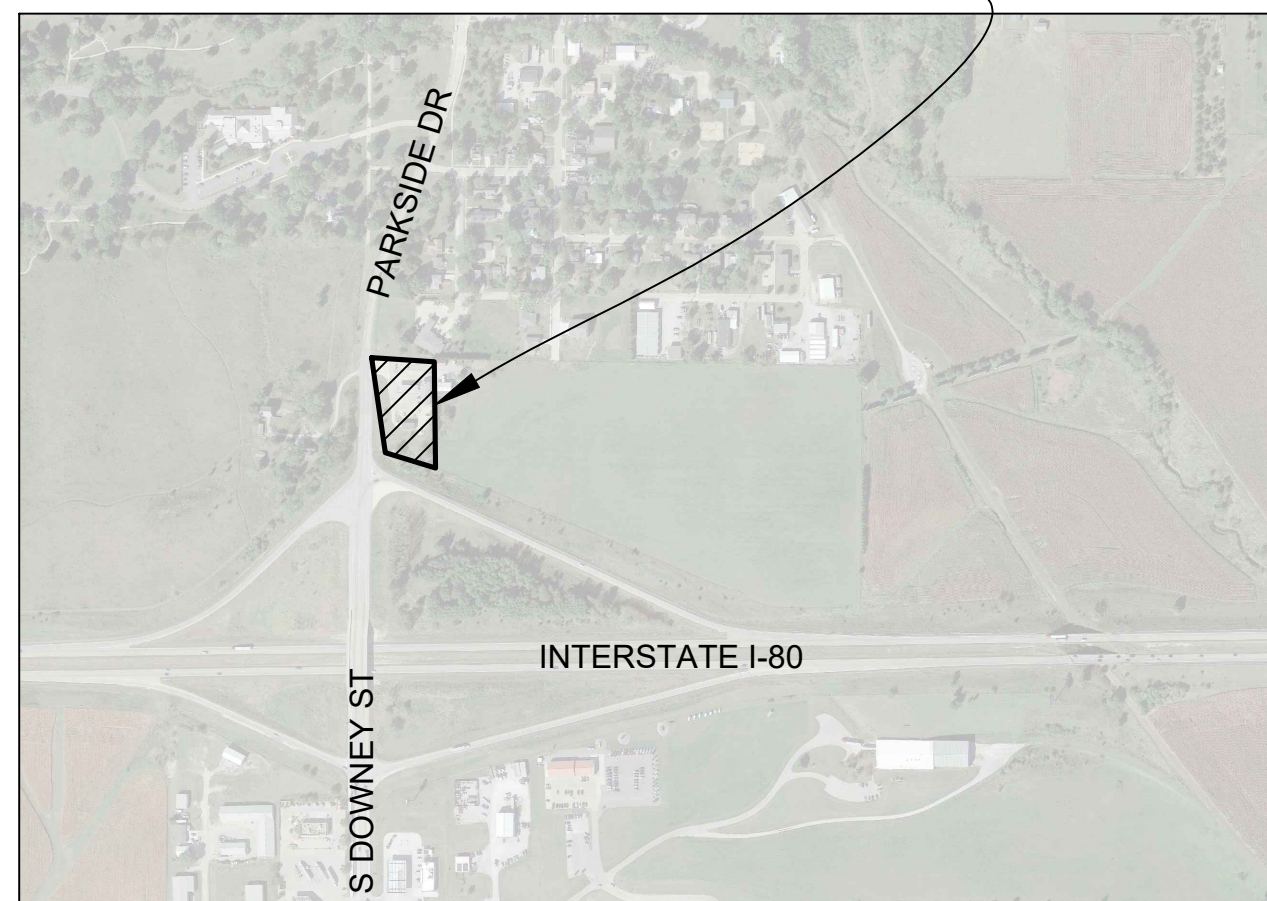
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
4	EA	ELONANUS ALATUS 'COMPACTUS'	COMPACT WINEED ELONANUS	24" HT.	CONT.	5' X 5'
12	MS	MISCANTHUS SINEENSIS 'SILVERFEATHER'	SILVER FEATHER MISCANTHUS	24" HT.	CONT.	6' X 4'
10	TO	THUJA OCCIDENTALIS 'WOODWARDII'	GLOBE ARBORVITAE	18" HT.	CONT.	5' X 5'

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8999 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

401 PARKSIDE DRIVE
WEST BRANCH, IOWA

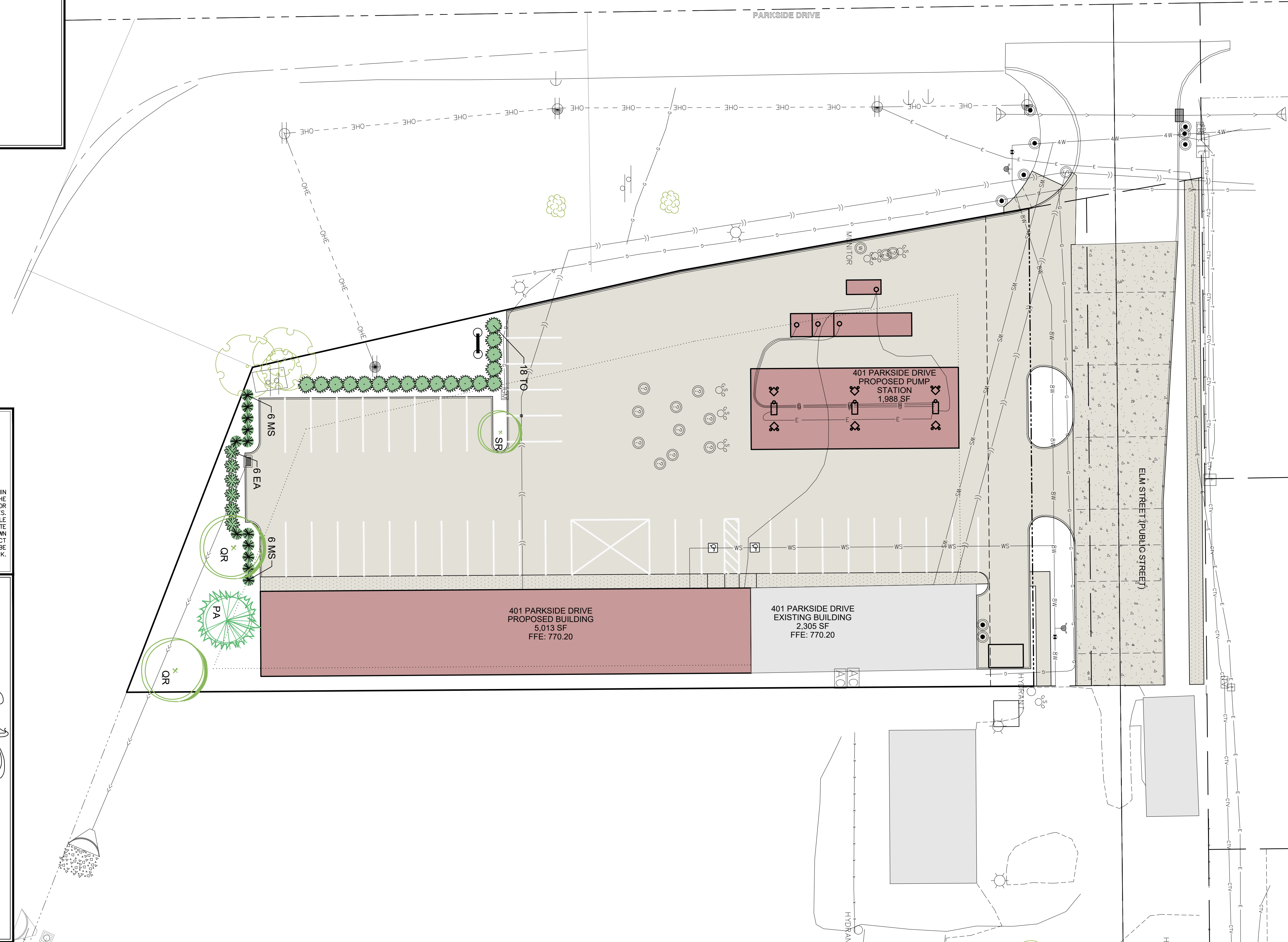


LOCATION MAP

NOT TO SCALE

LANDSCAPE REQUIREMENTS:

- OPEN SPACE REQUIRED. 25% OF TOTAL LOT AREA SHALL BE OPEN SPACE.
TOTAL LOT AREA = 40,416 SF (100%)
REQUIRED = 10,104 SF (25%)
PROVIDED = 6,105 SF (15.11%)
- LANDSCAPE REQUIRED.
1 TREE PER 1,500 SF OF OPEN SPACE
6,179 / 1,500 = 4 TREES REQUIRED
6 SHRUBS PER 1,000 SF OF OPEN SPACE
6,179 / 1,000 = 6 X 6 = 36 SHRUBS REQUIRED





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

G:\6992\6992-306\6992-306Y.DWG

PUBLIC IMPROVEMENTS

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=50'(H), 1"=5'(V)
Sheet No:	6
of:	7

SITE PLAN 401 PARKSIDE DRIVE WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

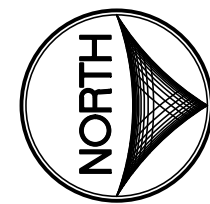
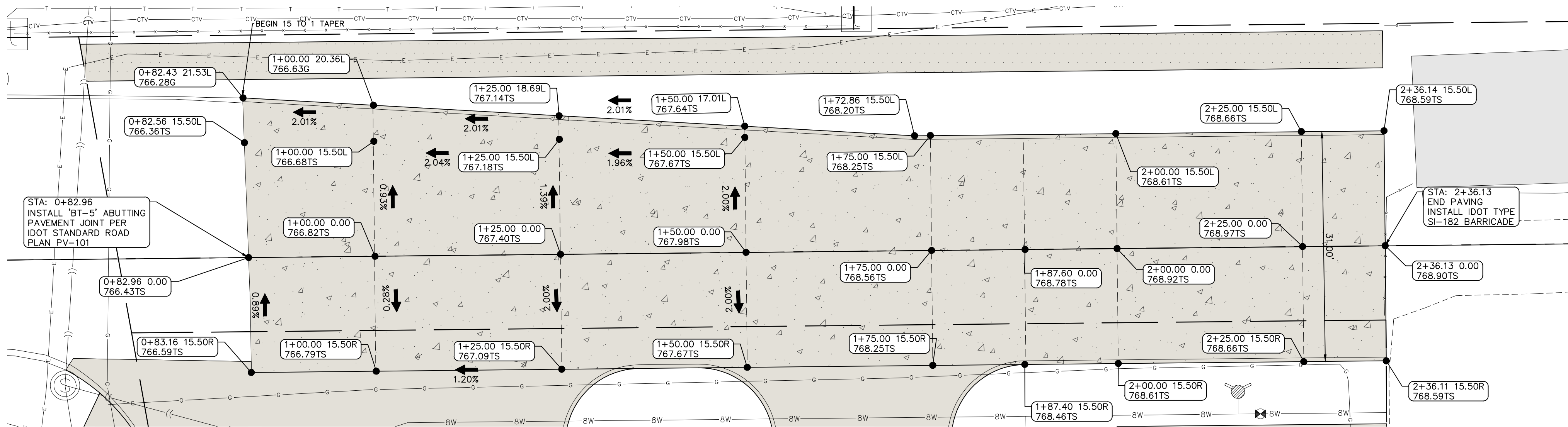
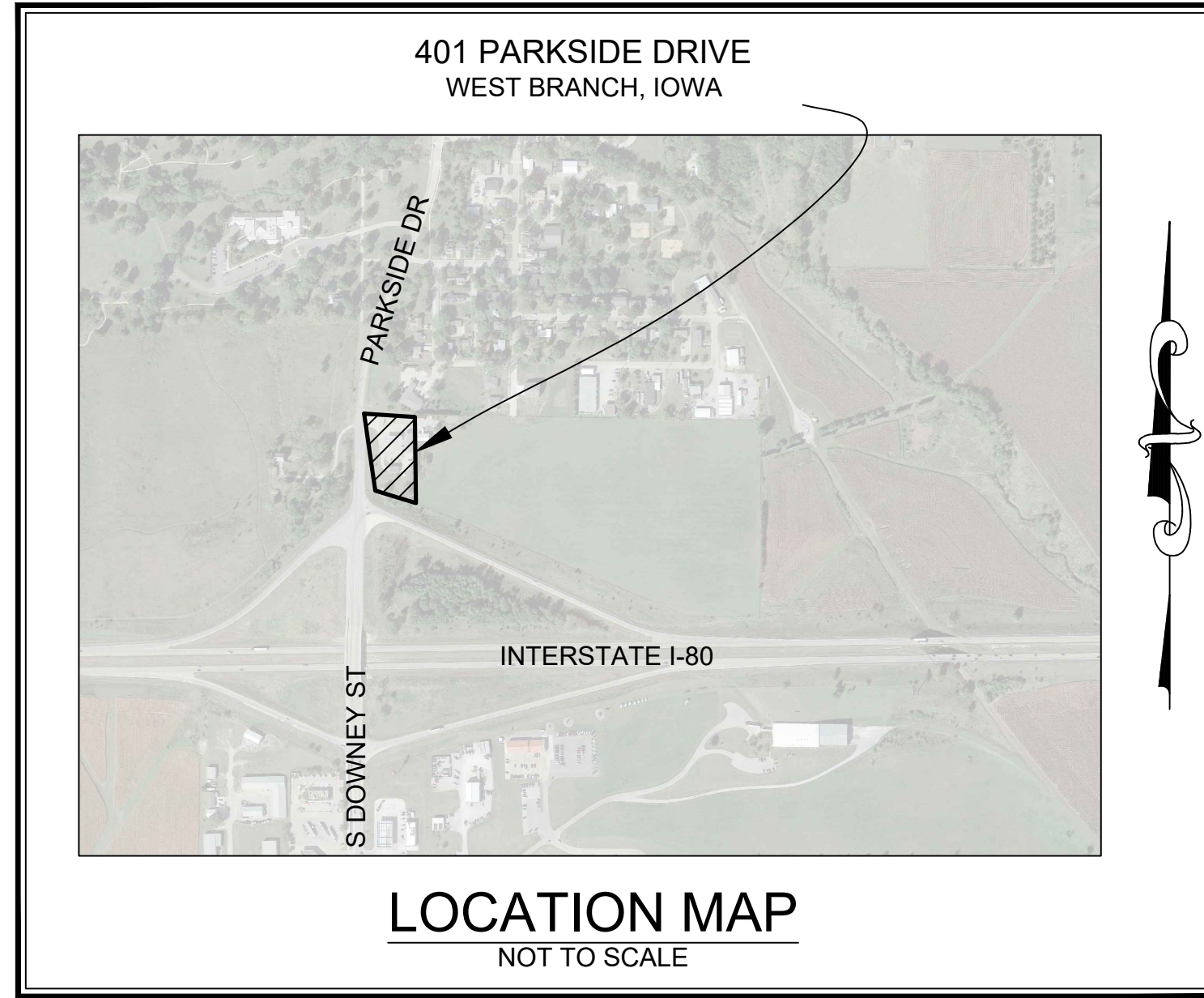
OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

- SHEET INDEX
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 GRADING AND EROSION CONTROL PLAN
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 PUBLIC IMPROVEMENTS
 - 7 GENERAL NOTES AND DETAILS

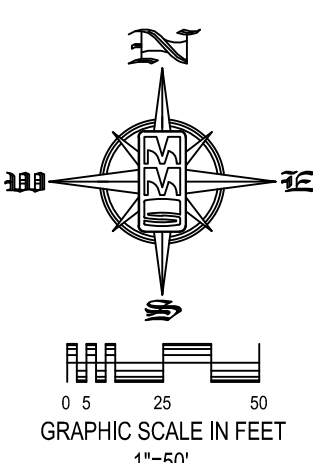
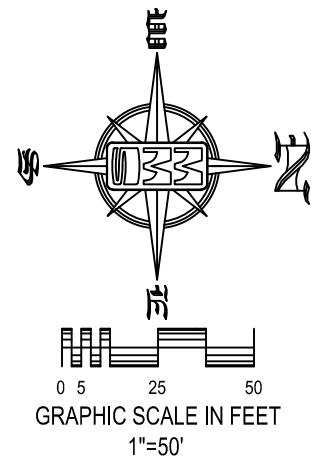
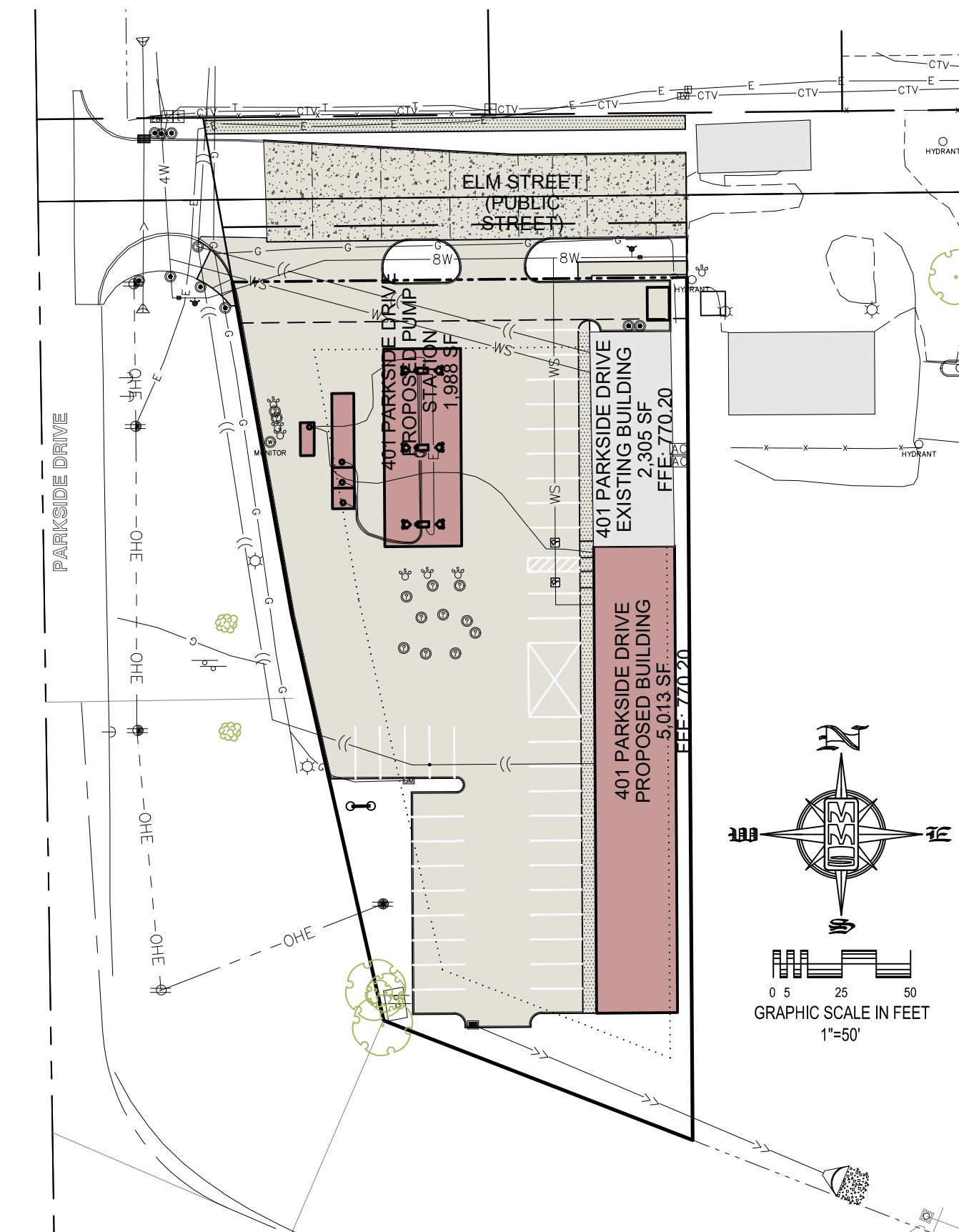
STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- EXIST- 22-1
- PROP-
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



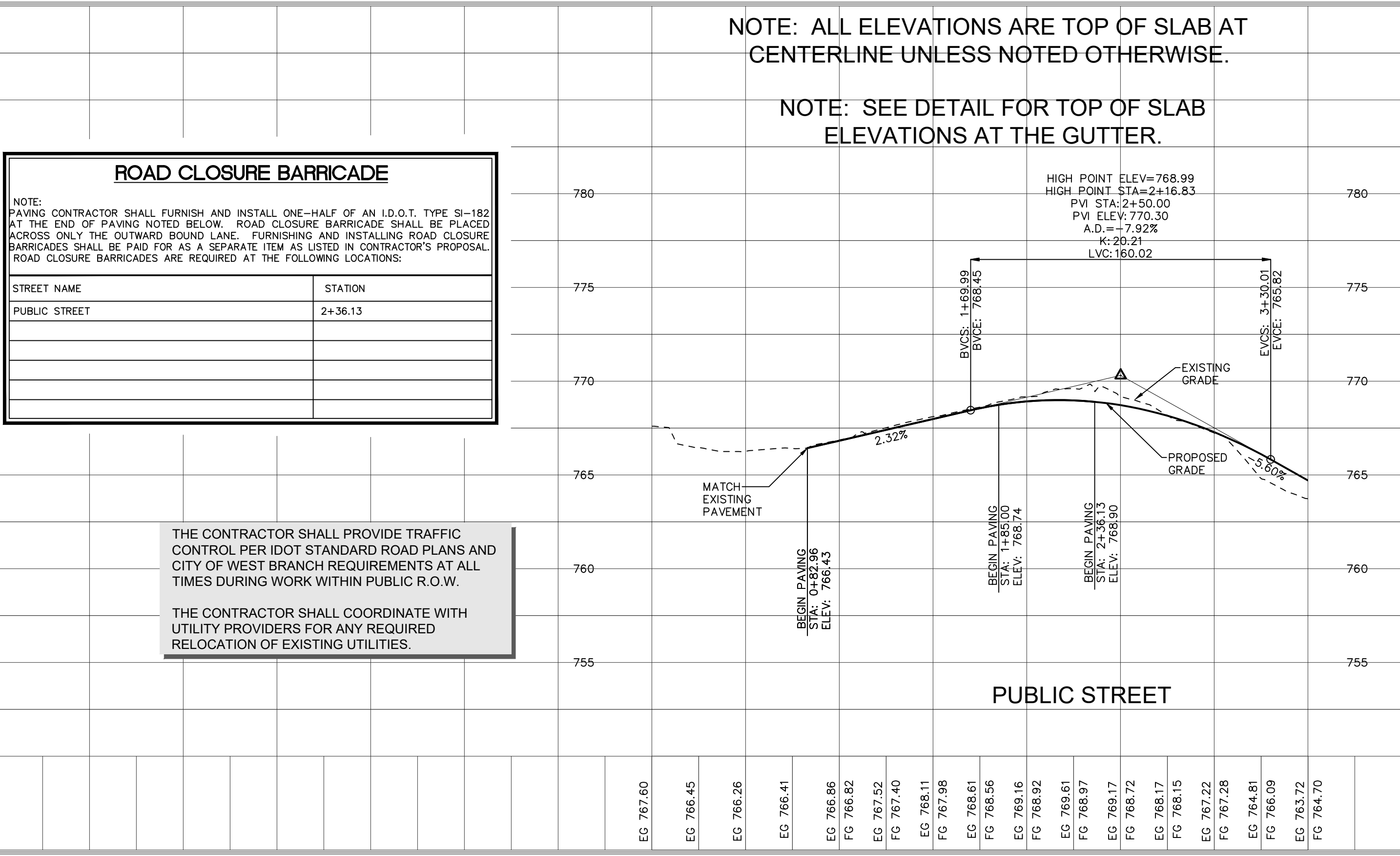
ENLARGED PAVING PLAN
SCALE: 1"=10'



IOWA ONE CALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY UTILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



SANITARY SEWER AND WATERMAIN NOTES

- 1) SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2016) AS AMENDED.
- 2) SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.2.01.E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- 3) WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- 4) CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- 5) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 6) ALL SANITARY SEWERS SHADED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
- A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
- B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- 7) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- 8) CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- 9) ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- 10) ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
- 1) WILL NOT SHOW STEPS.
- 2) WILL HAVE EXTERNAL CHIMNEY SEAL BY INFISHIELD UNIBAND, CRETEX, OR APPROVED EQUAL.
- 3) WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
- 4) WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, I.E. WOOD, BRICK, ROCKS, ETC.
- 5) WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :

- 9) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
- 10) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- 11) THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4. PAINTED GREEN.
- 12) ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING

AIR TESTING

- 13) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
- NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.
- A. PERFORM FROM MANHOLE--TO-MANHOLE AFTER BACKFILL.
- B. PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
- C. INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psi & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
- D. LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
- E. ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
- F. MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

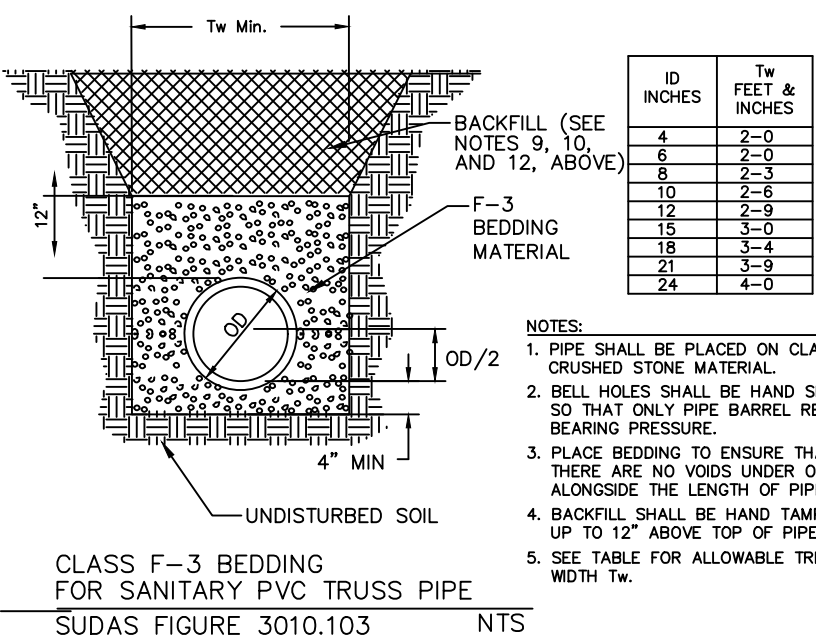
PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5

G. IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.

H. LOCATE, REPAIR AND RETEST LEAKS.

I. AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.

- ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
- A) DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
- B) DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
- C) NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED :

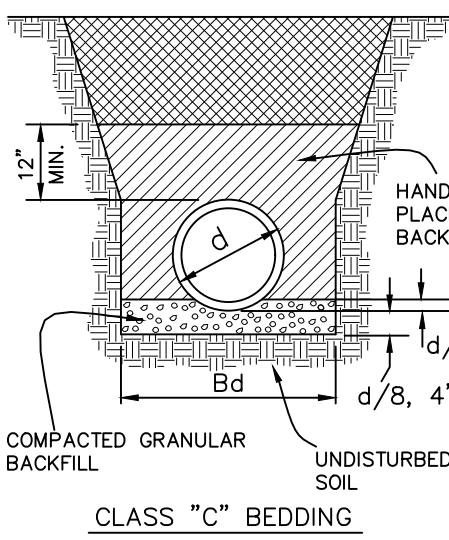
- 14) WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- 15) WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- 16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- 17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
- 18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- 19) EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- 20) THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- 21) WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- 22) FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- 23) BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- 24) ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STORM SEWER NOTES

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
- A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
- B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 7) ALL STORM SEWERS SHALL HAVE CONFINED "10" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

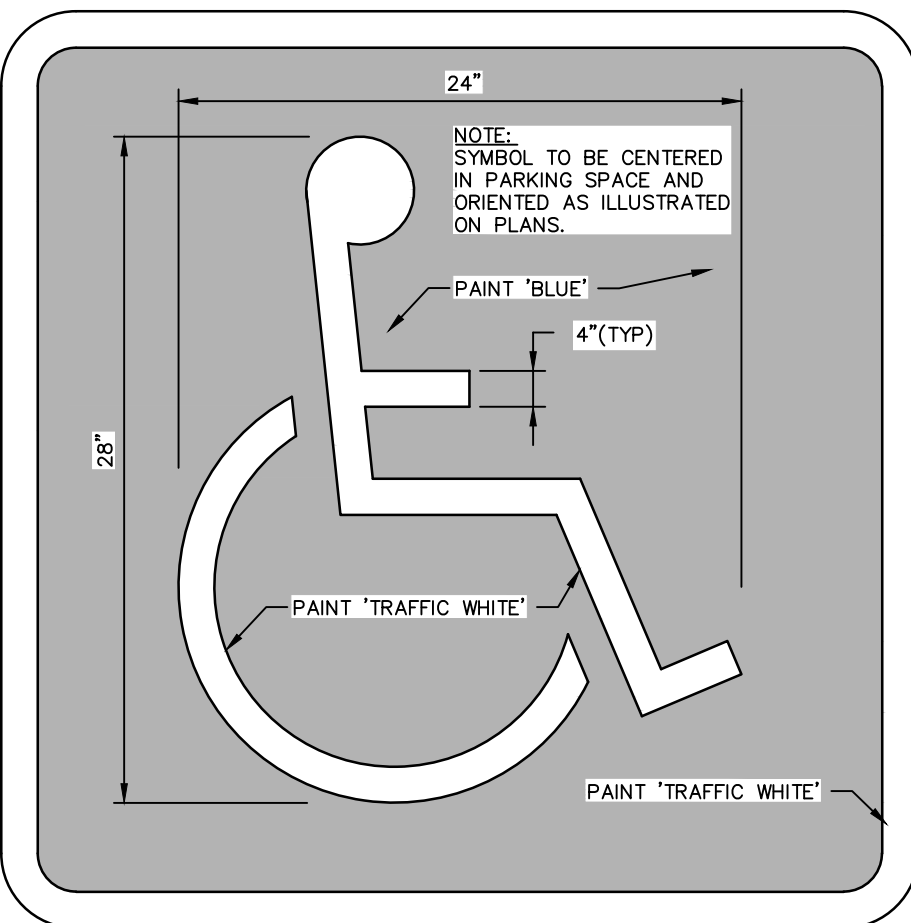


- NOTES:
1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bd.

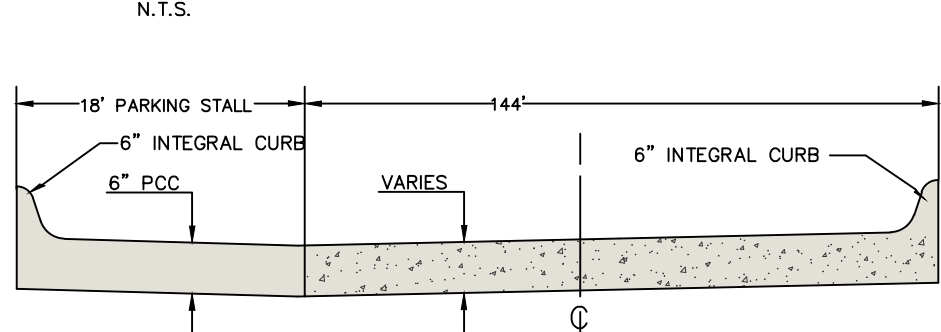
ID INCHES	Bd FEET & INCHES
12	2'-3
15	2'-9
18	3'-0
21	3'-3
24	3'-6
27	4'-0
30	4'-3
36	4'-9
42	5'-6
48	6'-3

ACCESSIBLE PARKING SYMBOL

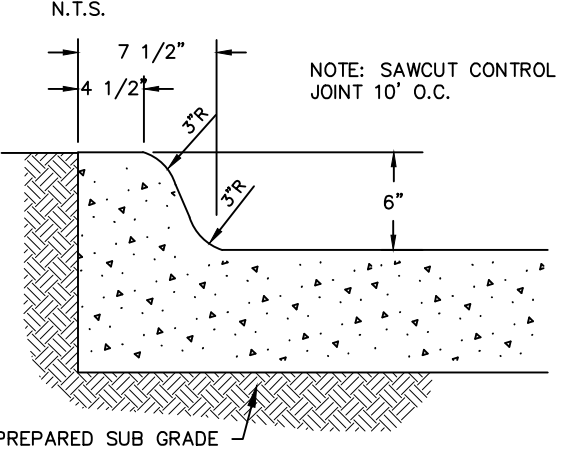
N.T.S. IOWA STANDARD ROAD PLAN DETAIL: PM-111 "WSPB"



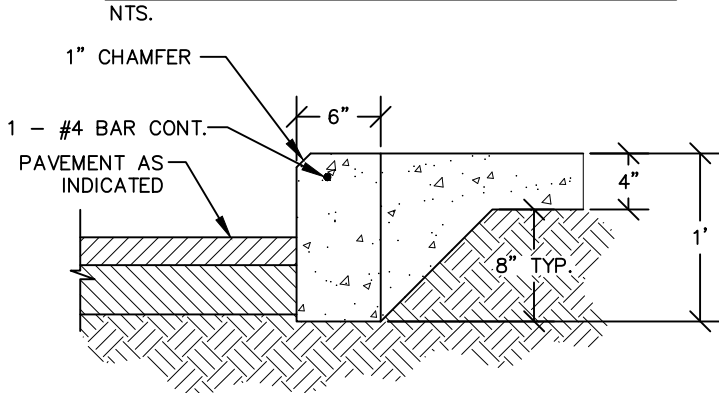
TYPICAL DRIVE/PARKING SECTION



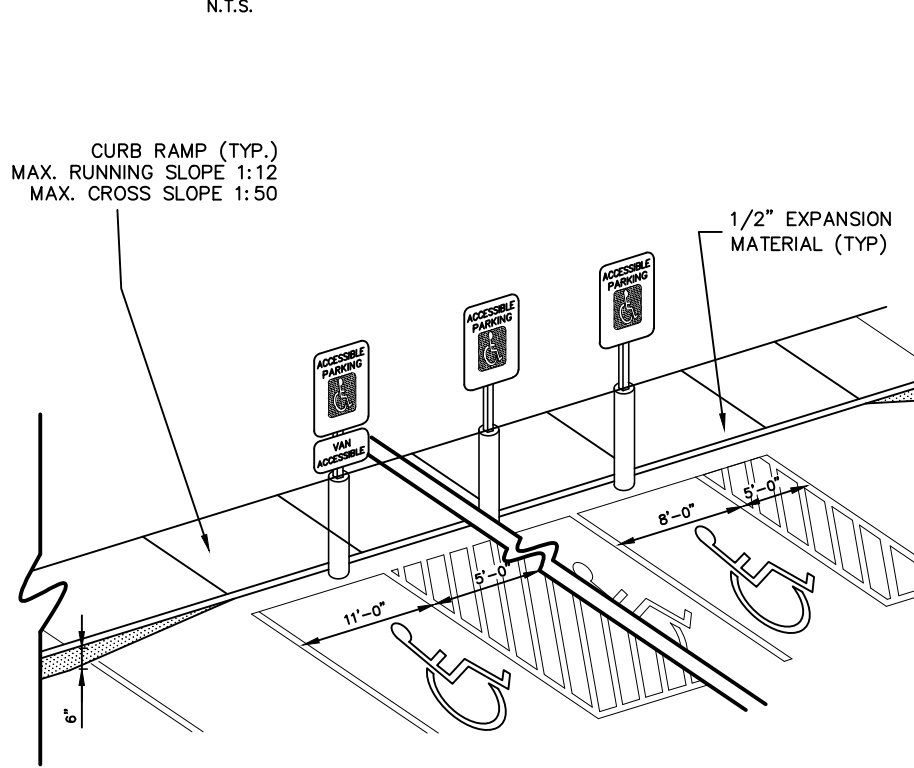
6" STANDARD CURB DETAIL



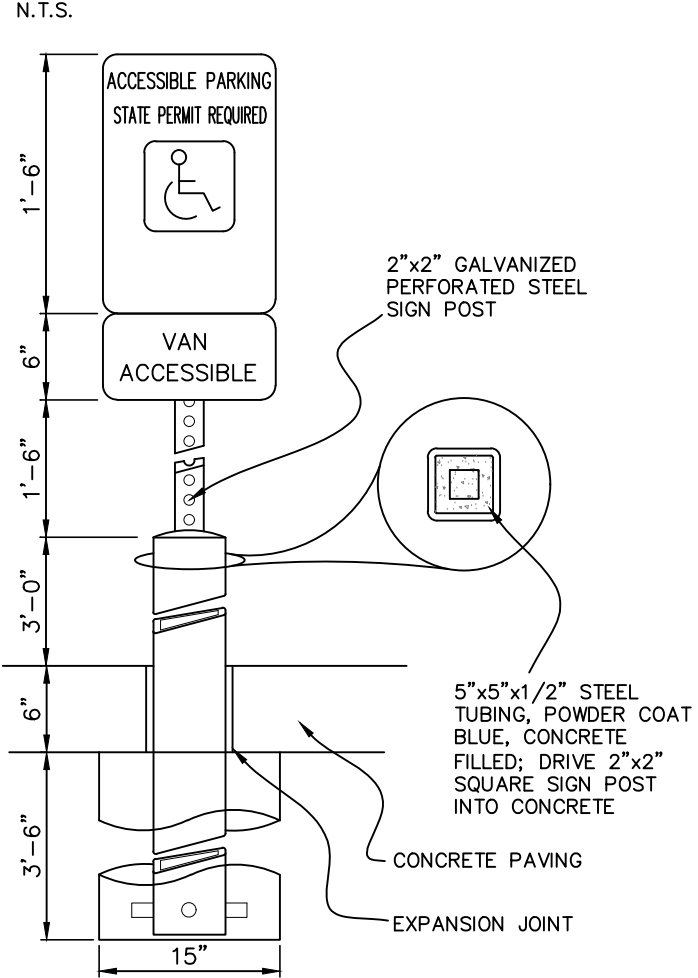
SIDEWALK THICKENED EDGE



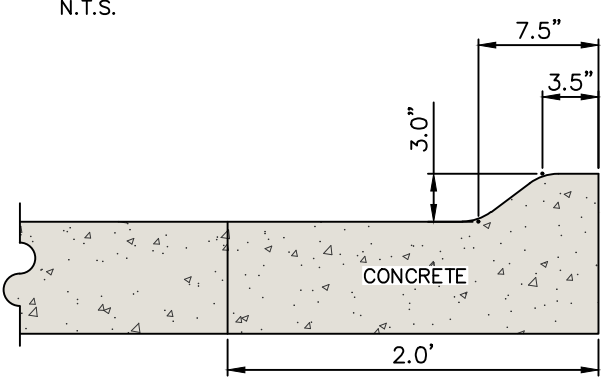
ACCESSIBLE PARKING DETAIL



ACCESSIBLE SIGN DETAIL



3' ROLL CURB DETAIL



0.92 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - JLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

G:\6992\6992-306\6992-306Y.DWG

GENERAL NOTES AND DETAILS

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	NTS
Sheet No:	7
of:	7

SHEET INDEX

- 1 SITE LAYOUT AND DIMENSION PLAN
2 DEMOLITION PLAN
3 GRADING AND EROSION CONTROL PLAN
4 UTILITY PLAN
5 LANDSCAPE PLAN
6 PUBLIC IMPROVEMENTS
7 GENERAL NOTES AND DETAILS

APPROVAL		
<input type="checkbox"/> Approved	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Not Approved Resubmit with Changes
_____ Print Name	_____ Title	
_____ Signature	_____ Date	

Approved

Approved as Noted

Not Approved
Resubmit with Changes

Print Name

Title

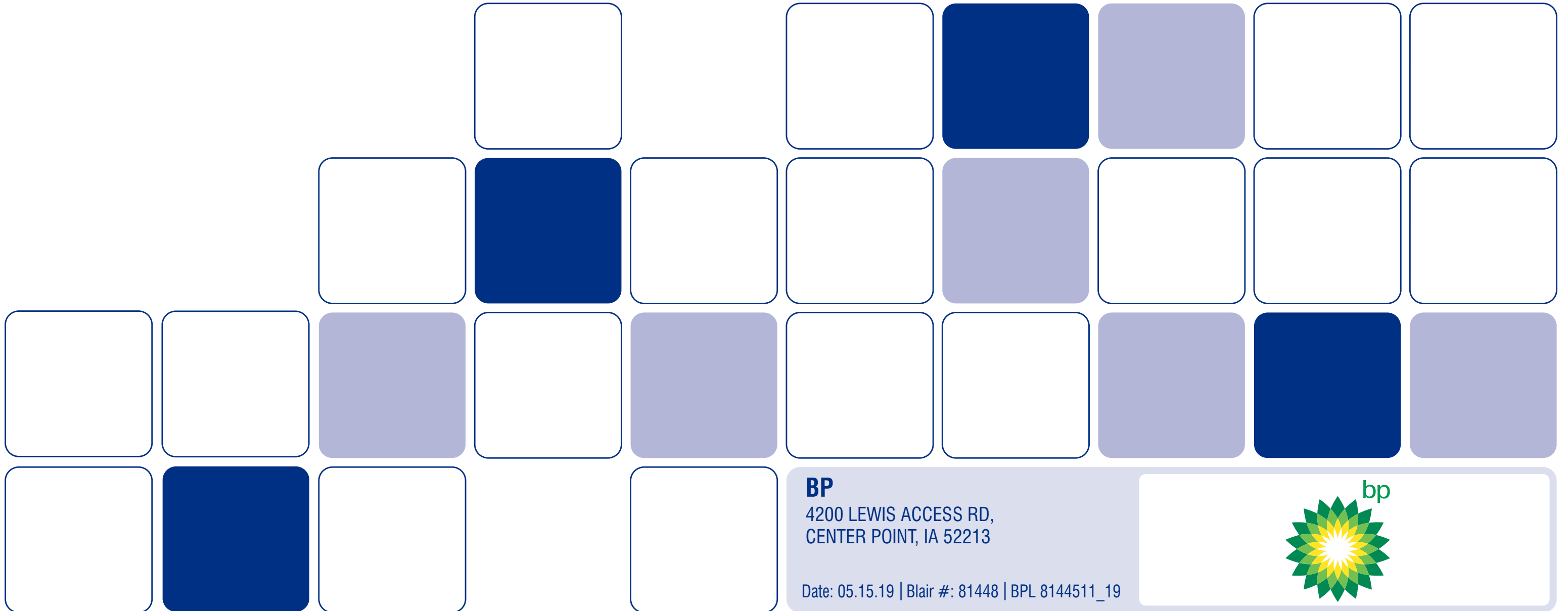
Signature

Date _____



ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING





REV #:









SCOPE OF WORK - INCLUDED	
BUILDING	1. 2. 3. 4.
CANOPY	1. 2. 3. 4.
MID 1	1. NEW BLAIR 81" GOAL POST ON NEW FOUNDATION 30' OAH 2. 3.
MID 2	1. 2. 3. 4.
ADDITIONAL SCOPE	1. 2. 3. 4.

SCOPE OF WORK - NOT INCLUDED	
BUILDING	1. 2. 3. 4.
CANOPY	1. 2. 3. 4.
MID 1	1. 2. 3. 4.
MID 2	1. 2. 3. 4.
ADDITIONAL SCOPE	1. 2. 3. 4.

BP COLOR SPECIFICATIONS		
	VINYL MATCH	PAINT MATCH
	DIGITALLY PRINTED TO MATCH	PMS 348 GREEN SATIN FINISH
	3M 3630-136 LIME GREEN VINYL	NA
	DIGITALLY PRINTED TO MATCH	NA
	3M 11-03-40L WHITE VINYL	WHITE SATIN FINISH

BP COLOR SPECIFICATIONS		
	VINYL MATCH	PAINT MATCH
	3M 3630-8549 SULTAN BLUE VINYL	NA
	3M 3630-8043 LIGHT BLUE VINYL	NA
	DIGITALLY PRINTED GRAPHIC	NA
	CUSTOM SCREENED GRAPHIC	NA

BRAND STANDARD REVISION DATE:	<input type="checkbox"/> All provided image elements and/or services meet the current brand revision.
	<input type="checkbox"/> The following image elements and/or services do not meet the current brand standard due to municipal code and/or specific site conditions. _____

CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

RENDERED:
FD

FILE NAME:
BPL 8144511_19

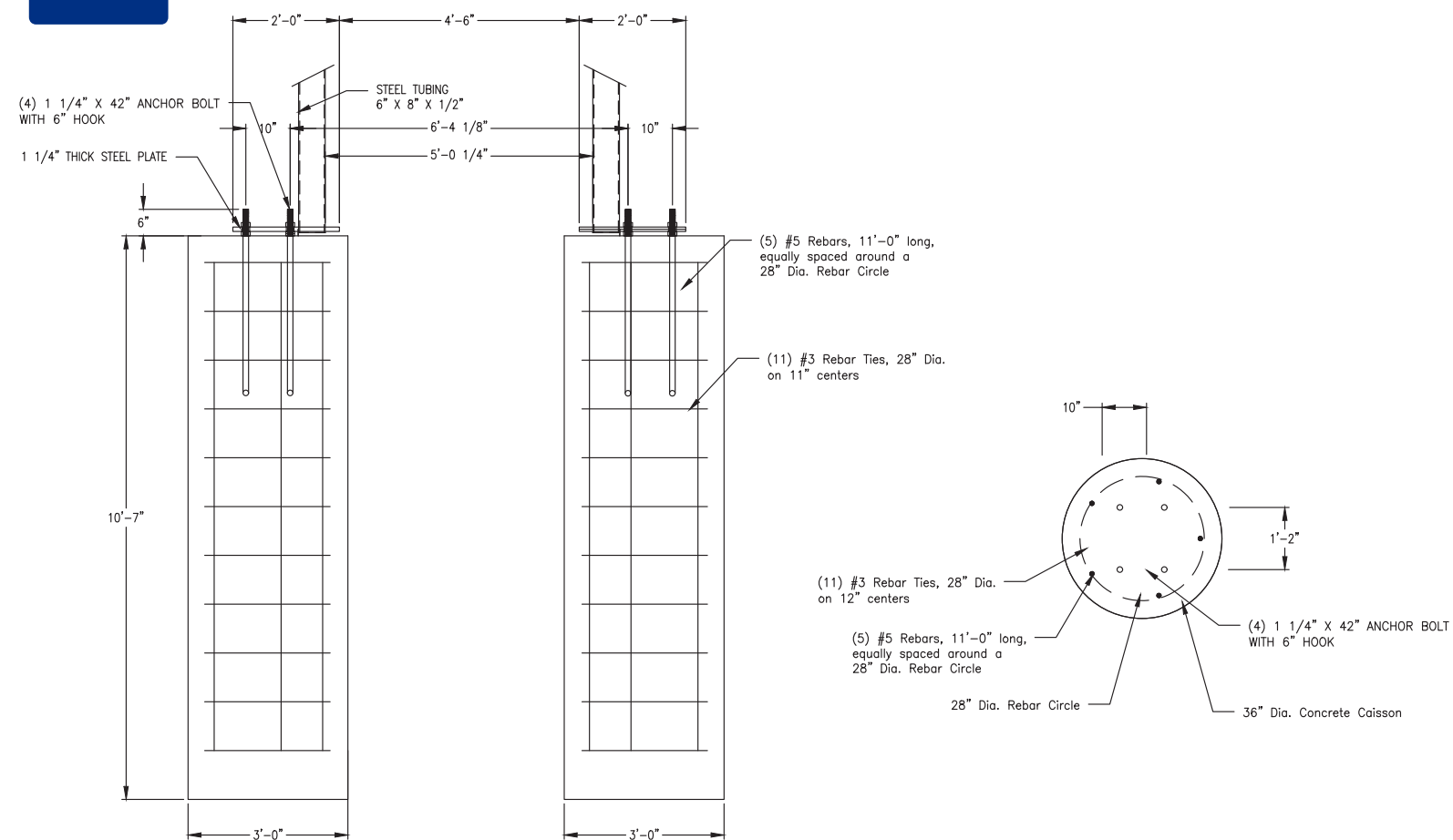
CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



PROPOSED - BP MID



1.

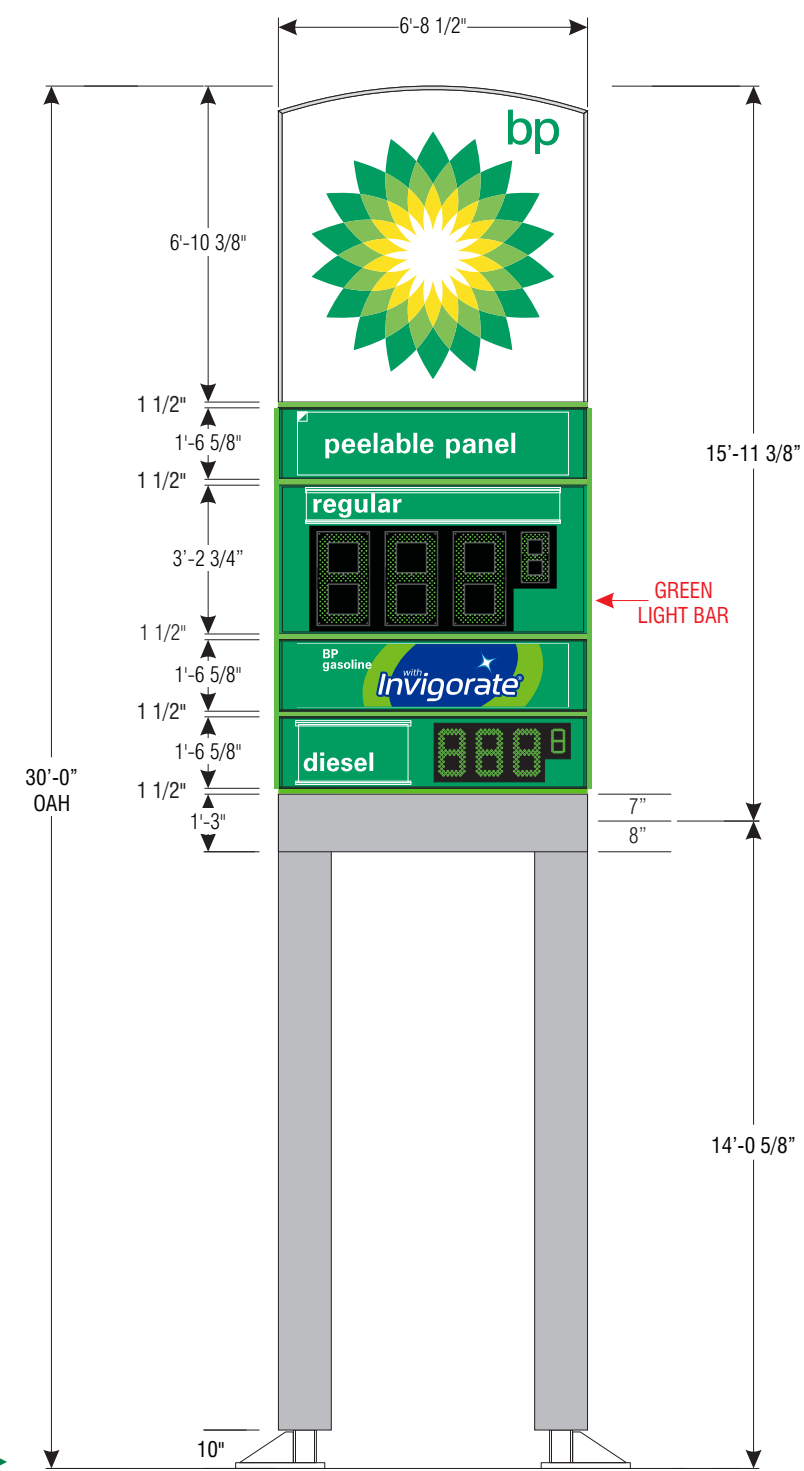
1. NEW BLAIR 81" GP ON NEW FOUNDATION

CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only.
This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.

GOAL POST FOUNDATION DETAIL
NOT FOR CONSTRUCTION PURPOSES - REQUIRES ENGINEERING APPROVAL



NEW 81" MID GOAL POST SIGN ON NEW FOUNDATION

SCALE: 1:50



BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: _____
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: 81448

DATE: 05.15.19

RENDERED: _____
FD

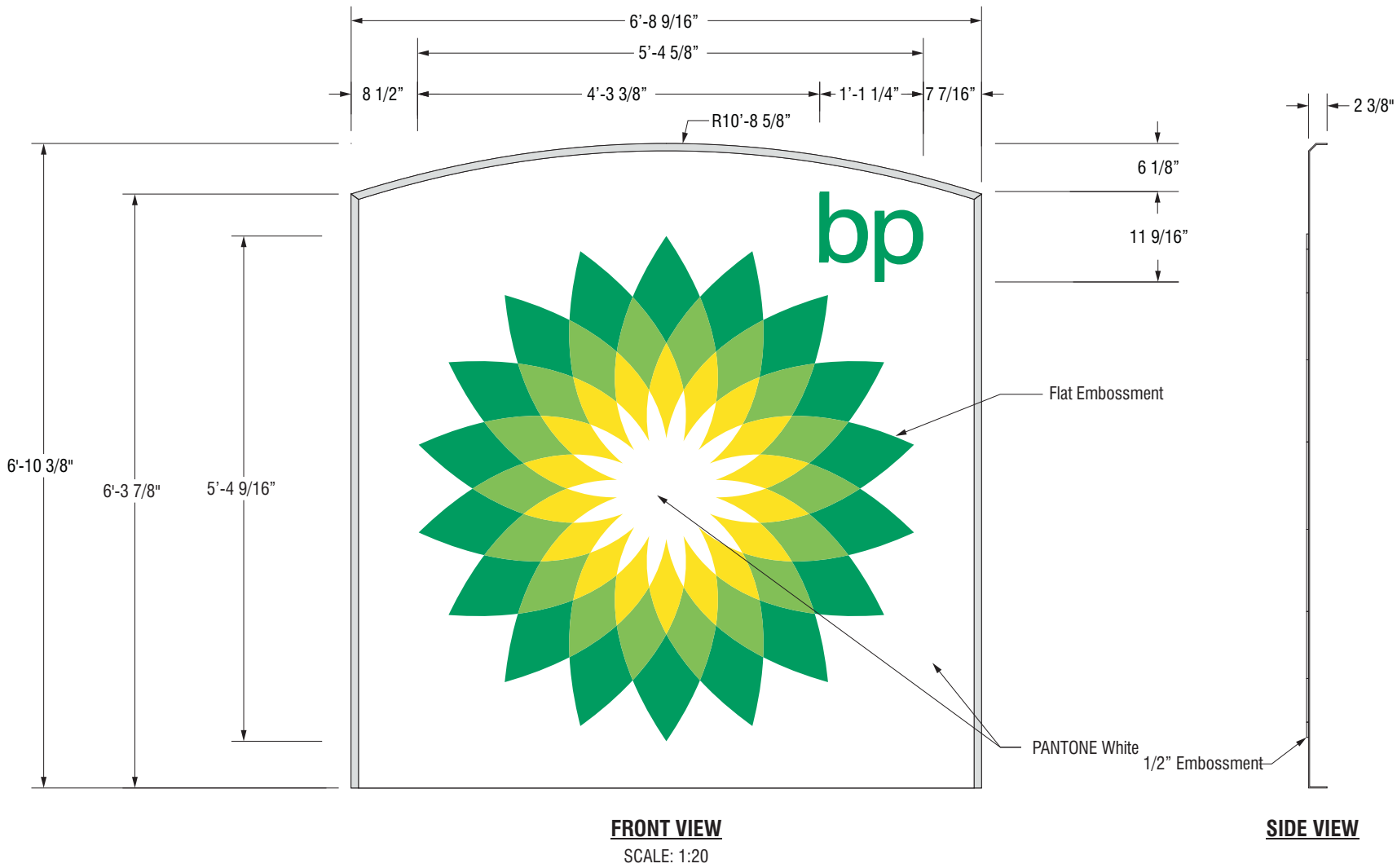
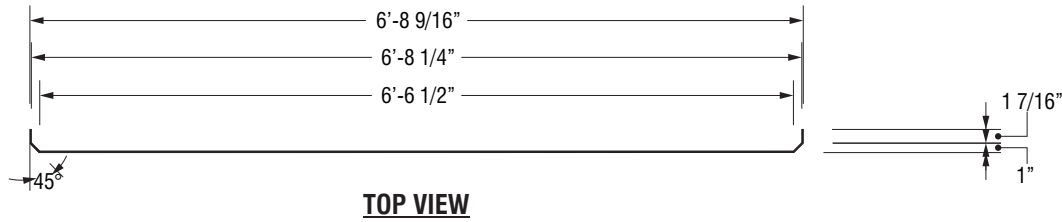
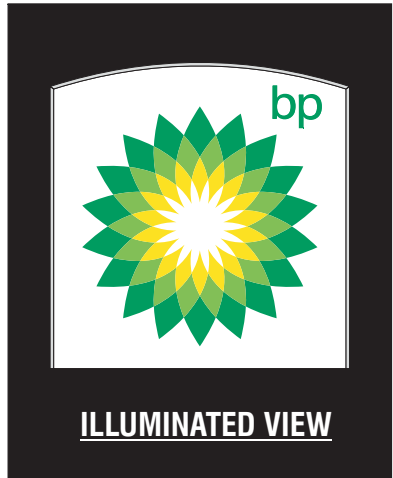
FILE NAME:
BPL 8144511 19

CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.





5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: BP
ADDRESS: 4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213
M NUMBER: 81448
DATE: 05.15.19
RENDERED: FD
FILE NAME: BPL 8144511_19
CATEGORY: _____

REVISION

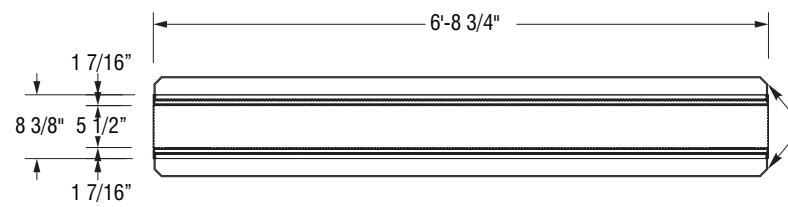
Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.

CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



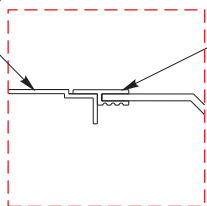


TOP VIEW

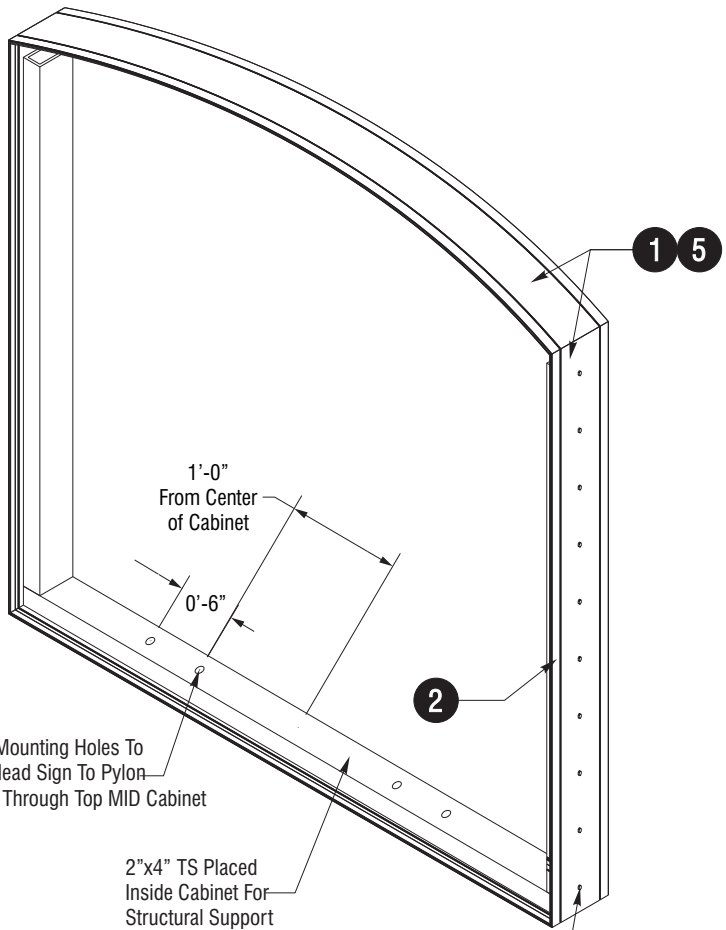
Faces Shown For Reference Only

1

2



Detail-A

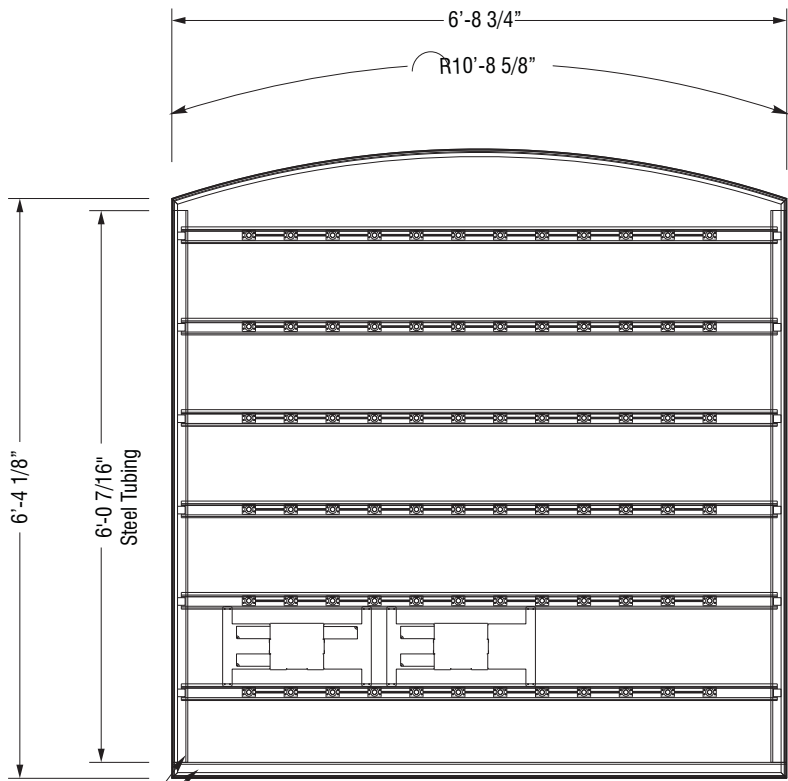


ISOMETRIC VIEW

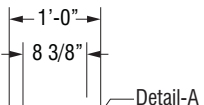
3/4" Mounting Holes To Bolt Head Sign To Pylon Poles Through Top MID Cabinet

2"x4" TS Placed Inside Cabinet For Structural Support

Cabinet Body Secured To Tube Steel Using Tek Screws



FRONT VIEW



SIDE VIEW

- SPECIFICATION:**
- 1. EXTRUSION PENNEX #12200-S 7" x *15'-8" DOUBLE FACE BODY
 - 2. 26" H-1 INTERNAL RETAINER MILL FINISH
 - 3. ALUMINUM, ANGLE, 1-1/2" X 1-1/2" X 1/8", 25FT LENGTH, 6061, T6 - ** Corner Angles **
 - 4. STEEL, TUBING, 2" X 4" X 1/4", 40FT LENGTH, A500B
 - 5. Paint PMS White - ** Semi Gloss **
 - 6. LED, WHITE
 - 7. POWER SUPPLY

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: BP
ADDRESS: 4200 LEWIS ACCESS RD, CENTER POINT, IA 52213
M NUMBER: 81448
DATE: 05.15.19
RENDERED: FD
FILE NAME: BPL 8144511_19
CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: BP

ADDRESS: 4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: 81448

DATE: 05.15.19

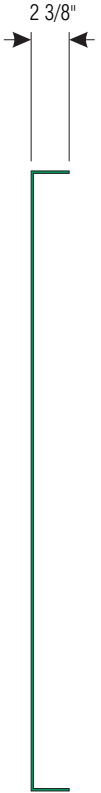
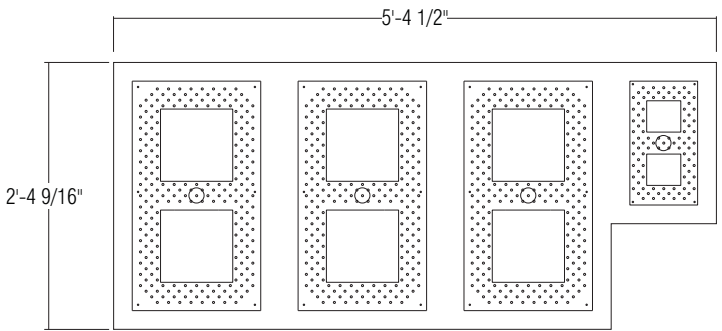
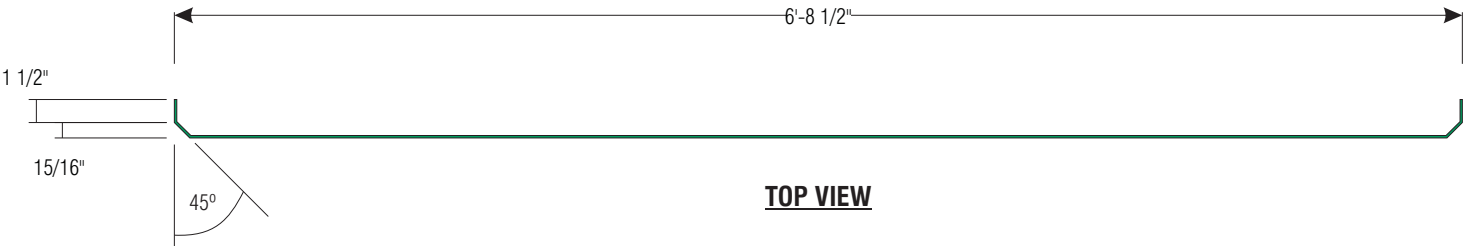
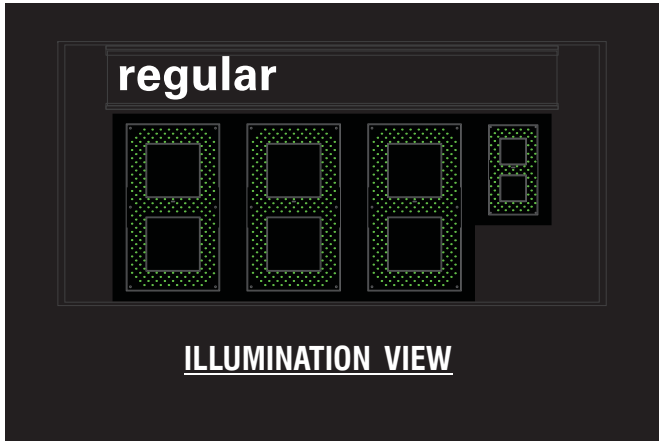
RENDERED: FD

FILE NAME: BPL 8144511_19

CATEGORY: _____

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



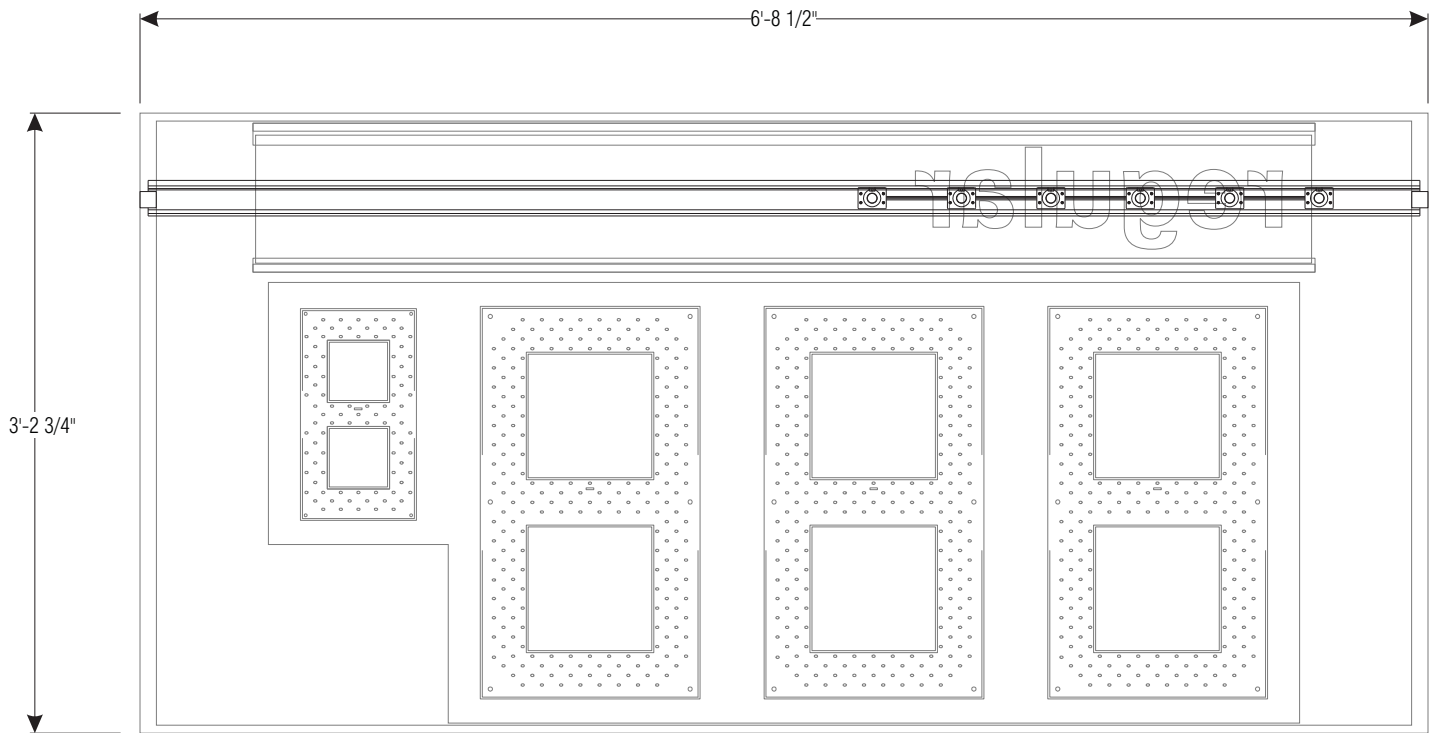
FRONT VIEW
SCALE: 1"= 1'-0"

SIDE VIEW

CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only.
This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: BP

ADDRESS: 4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: 81448

DATE: 05.15.19

RENDERED: FD

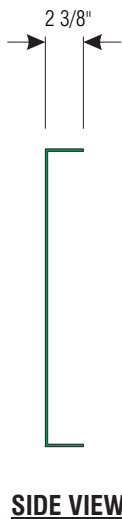
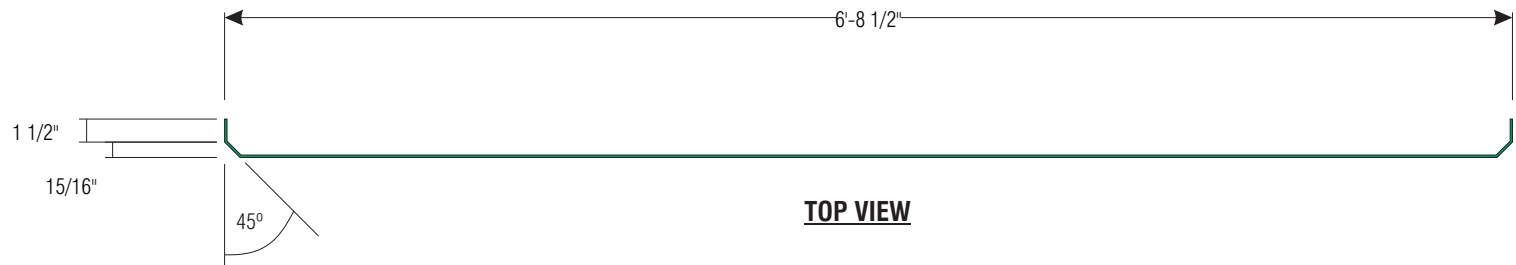
FILE NAME: BPL 8144511_19

CATEGORY: _____

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.





5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: BP

ADDRESS: 4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: 81448

DATE: 05.15.19

RENDERED: FD

FILE NAME: BPL 8144511_19

CATEGORY: _____

REVISION

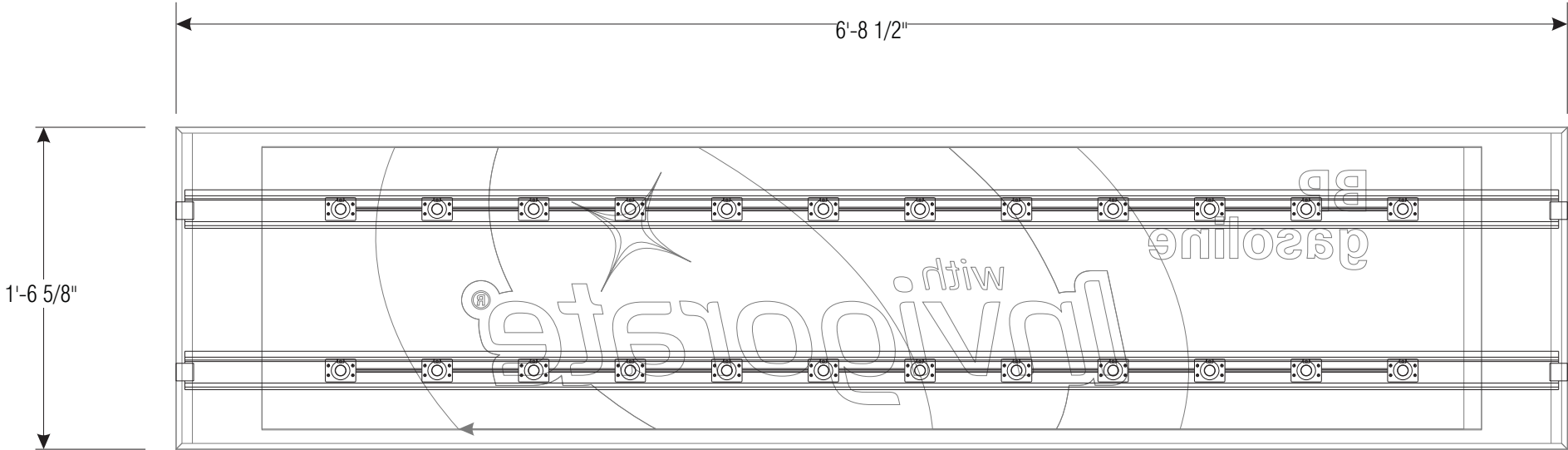
Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only.
This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: _____
BP

ADDRESS: _____
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: _____
81448

DATE: _____
05.15.19

RENDERED: _____
FD

FILE NAME: _____
BPL 8144511_19

CATEGORY: _____

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

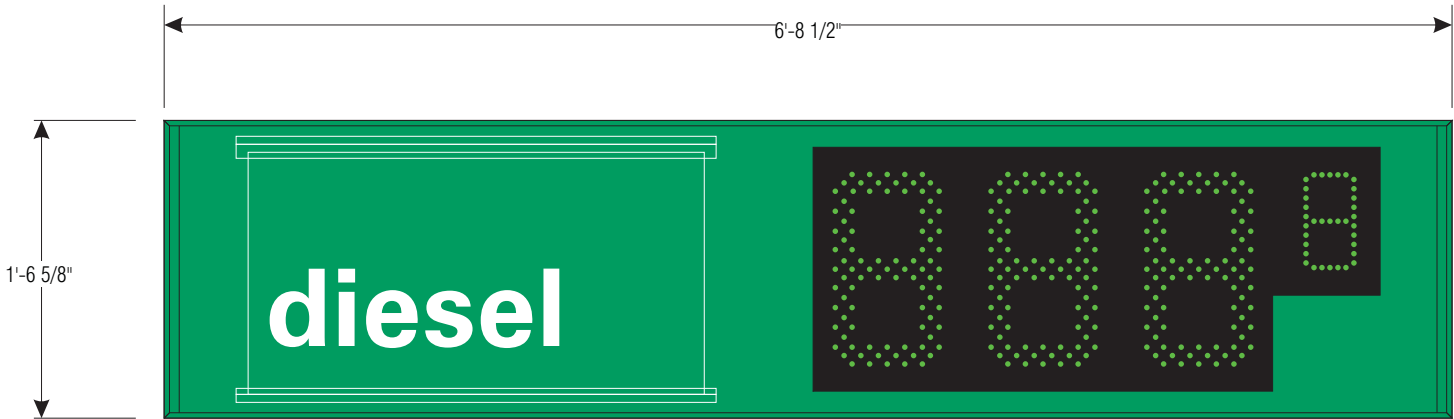
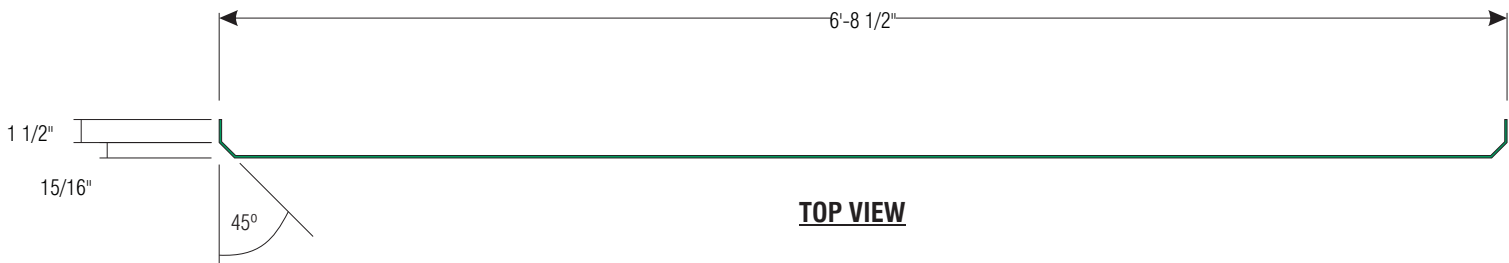
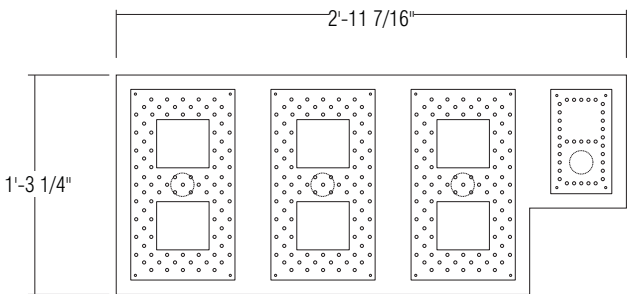
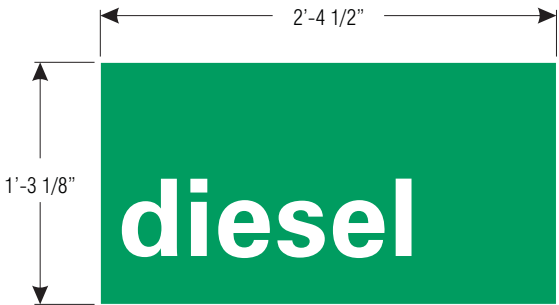
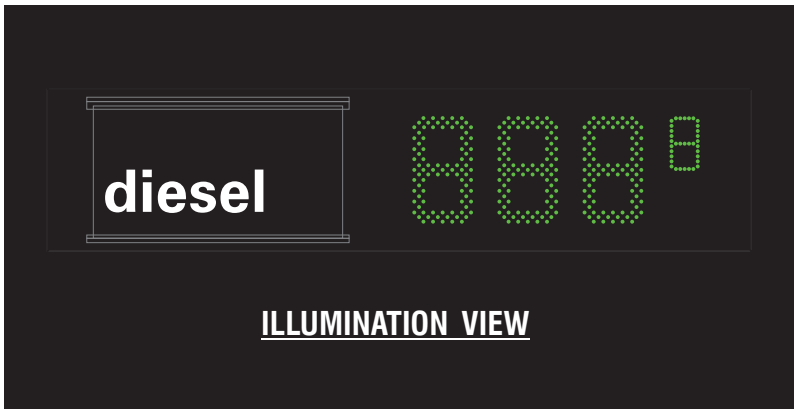
RENDERED:
FD

FILE NAME:
BPL 8144511_19

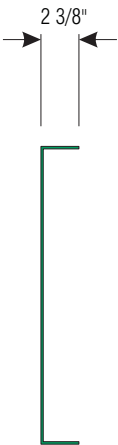
CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



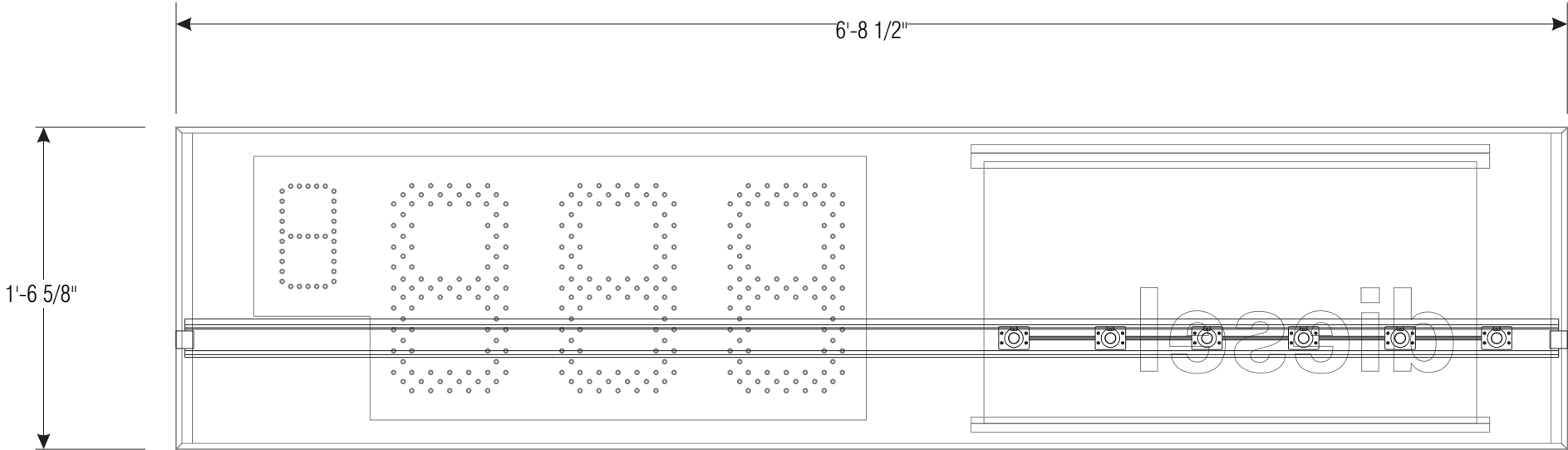
SCALE: 1"=1'-0"



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only.
This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.


BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: _____
BP

ADDRESS: _____
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: _____
81448

DATE: _____
05.15.19

RENDERED: _____
FD

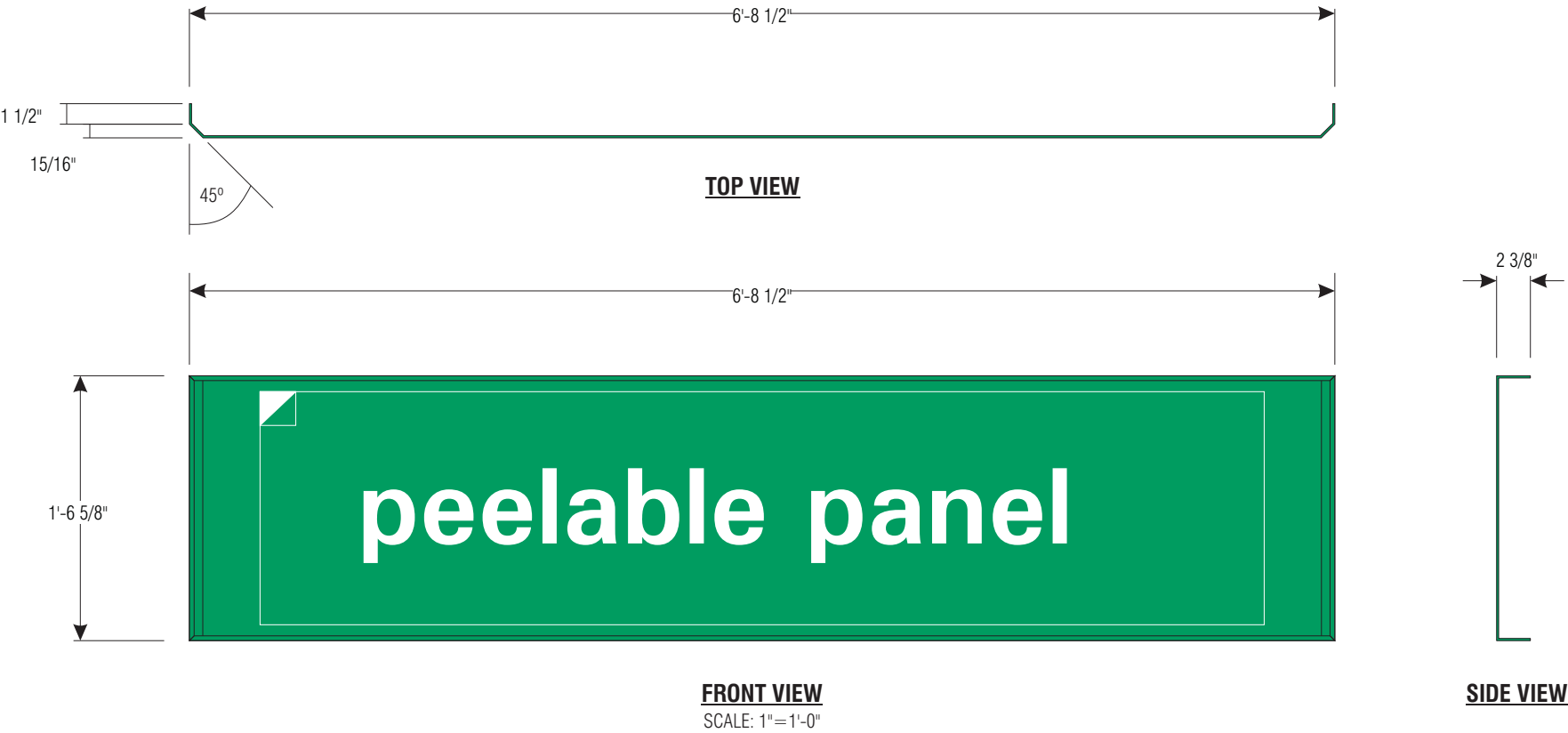
FILE NAME: _____
BPL 8144511_19

CATEGORY: _____

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.





CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

RENDERED:
FD

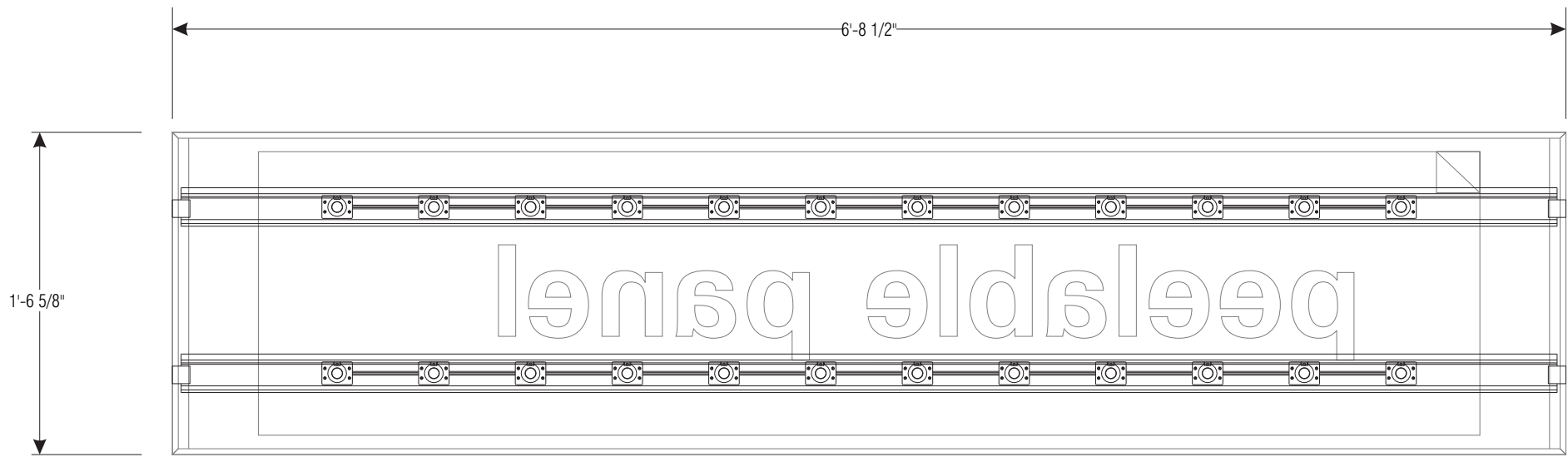
FILE NAME:
BPL 8144511_19

CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.





CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

RENDERED:
FD

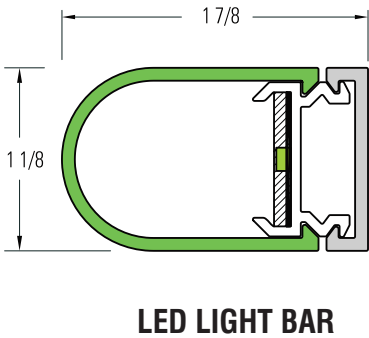
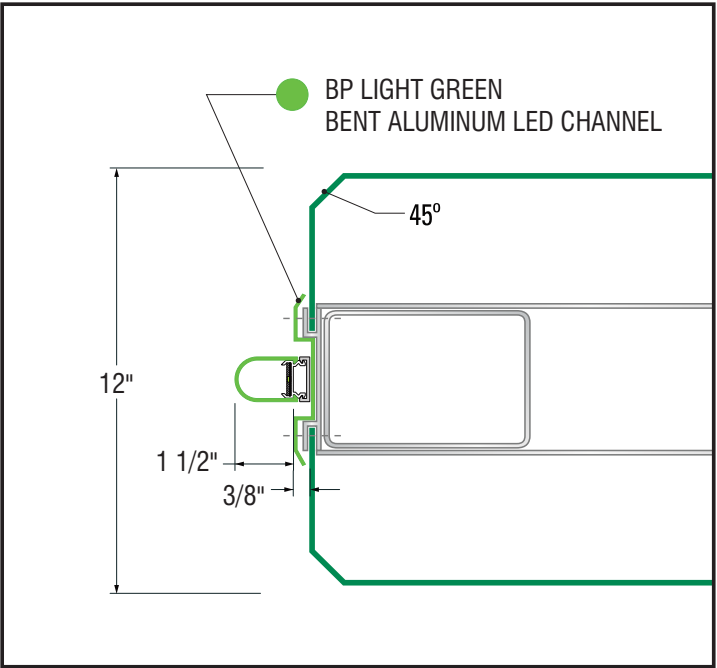
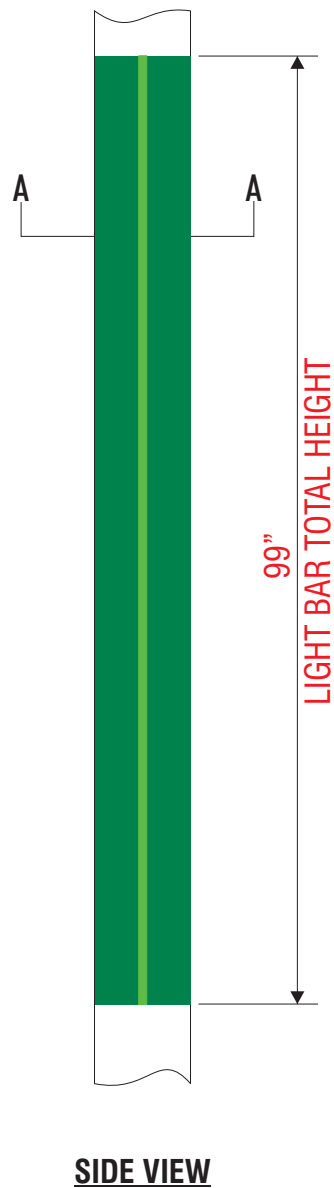
FILE NAME:
BPL 8144511_19

CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.





PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

RENDERED:
FD

FILE NAME:
BPL 8144511_19

CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.

CUSTOMER INITIALS

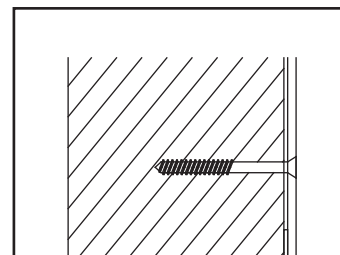
Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.



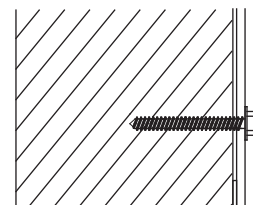


INSTALLATION EXAMPLES



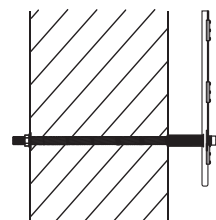
1. #8 DRYWALL SCREW COARSE THREAD

FLUSH-MOUNT / DRYVIT



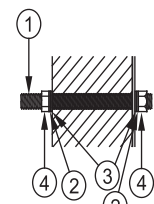
1. 3/16" TAPCON

FLUSH-MOUNT / BRICK



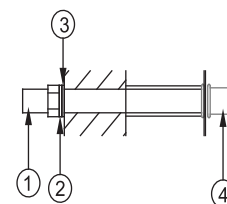
1. 1/4" ALL-TREAD

PIN MOUNTED



1. 3/8" ALL-THREAD
2. 3/8" LOCK WASHER
3. 3/8" FLAT WASHER
4. 3/8" NUT

RACEWAY / DRYVIT

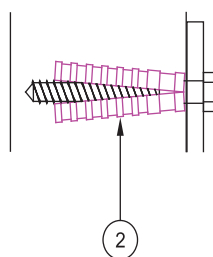


1. 3/8" ALL-THREAD
2. 3/8" LOCK WASHER
3. 3/8" FLAT WASHER
4. 3/8" NUTSERT

RACEWAY / DRYVIT

LAG & SHIELD ACROSS TOP & BOTTOM

ALL THREAD ON TOP LEFT & RIGHT ONLY

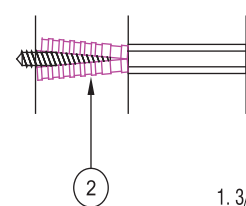


1. 2" X 2" X 1/4" ALUM MOUNTING SHOE
2. 3/8" X 3" LAG & SHIELD
3. 3/8" X ALL THREAD
4. 3/8" LOCK WASHER
5. 3/8" FLAT WASHER
6. 3/8" NUT

RACEWAY / BRICK

LAG & SHIELD ACROSS TOP & BOTTOM

ALL-THREAD ON TOP LEFT & RIGHT ONLY



1. 3/8" NUTSERT
2. 3/8" X 3" LAG & SHIELD
3. 3/8" X ALL THREAD
4. 3/8" LOCK WASHER
5. 3/8" FLAT WASHER

RACEWAY / BRICK

All necessary hardware to be supplied by the installer.

Service contact: 814-283-2177

Service hours: 8:00 am to 4:30 pm est, Monday -Friday
For after hours/holiday emergencies, please call 800-563-9598
www.blaircompanies.com/bpsupport

SAFETY CRITERIA

All employees are recommended to possess a valid API certification, follow the established guidelines set forth by API as well as follow any local, state, or federal laws.

- Perform a Pre-Task Job Safety Analysis
- Understand how and where to obtain First-Aid and Medical treatment, including CPR.
- Use the proper level of PPE per the assigned task.
- Only use tools that are in safe working order before using them.
- Always use tools for their intended purpose and never over their safe working limit.
- Employees operating vehicles must conform to all DOT requirements as well as API regulations.
- Use proper fall arrest equipment.
- Understand the requirements for working at height on a job site.
- Properly barricaded the work area from the public in accordance with Section 8 of the API guidelines.
- Only competent and trained people using approved equipment in a manner in accordance with Section 10 of the API guidelines should perform lifting duties.
- Follow all approved lock-out tag-out policies when de-energizing equipment.

Examples of Equipment Include: Personal Protective Equipment, Barricade, Crane, Hoist, Bucket Truck, Scissor Lift, Ladder, Vinyl Applicators (Squeegee or Application Liquid), Welder/Torch and Hand Tools/Power Tools



BLAIR COMPANIES
ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

RENDERED:
FD

FILE NAME:
BPL 8144511_19

CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



CUSTOMER INITIALS

Initials

These drawings are not for construction purposes. The information contained herein is intended to express design intent only.
This original design is the sole property of Blair Companies. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Companies.