



CITY COUNCIL MEETING NOTICE
MONDAY, JULY 12, 2021 - 7:00 P.M.
CITY COUNCIL CHAMBERS
110 N. POPLAR STREET, WEST BRANCH, IOWA

<https://zoom.us/j/5322527574>

or dial in phone number 1-312-626-6799 with Meeting ID 532 252 7574.

AGENDA

1. Call to order
2. Pledge of Allegiance
3. Roll call
4. Welcome
5. Approve Agenda/Consent Agenda/Move to action.
 - a. Approve minutes from the June 28, 2021 City Council Meeting.
 - b. Approve a Class C Liquor License (LC) (Commercial) with Sunday Sales privileges for Mexico Lindo Inc., DBA: Mexico Lindo Grill and Cantina – 711 S. Downey St.
 - c. Approve Outdoor Service for The Down Under, 102 W. Main St., on August 6th-7th, 2021 for Hoover's Hometown Days.
 - d. Approve certain records to be destroyed per the Iowa Record Retention Manual for Iowa Cities.
 - e. Approve the claims.
6. Communications/Open Forum
7. Public Hearing/Non-Consent Agenda
 - a. Resolution 2019, accepting the resignation and approving an agreement with Redmond Jones II. /Move to action.
 - b. Resolution 2020, adjusting the salaries of certain appointed officers. / Move to action.
 - c. Resolution 2021, approve adding the title 'Deputy Clerk' to the Finance Officer/Treasurer's job title for the purpose of obtaining certification with Iowa Municipal Finance Officers Association (IMFOA). / Move to action.
 - d. Resolution 2022, approving the revised site plan for Parkside Petroleum LLC, located at 401 Parkside Drive, West Branch, Iowa. / Move to action
 - e. Resolution 2023, approving the West Branch Village Expansion Site Plan. / Move to action.
 - f. Motion to approve installing the University of Iowa Public Art project mural at the City Office. / Move to action.
 - g. Discussion – Herbert Hoover Highway/ Cedar-Johnson Rd intersection.
 - h. Discussion – moving forward with the Wapsi Creek widening project.
8. City Staff Reports
9. Comments from Mayor and Council Members
10. Motion to Adjourn.

Mayor: Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Tom Dean, Jerry Sexton

City Administrator/Clerk: • **Fire Chief:** Kevin Stoolman • **Library Director:** Nick Shimmin

Parks & Rec Director: Melissa Russell • **Police Chief:** John Hanna • **Public Works Director:** Matt Goodale

(The following is a synopsis of the minutes of the West Branch City Council meeting. A video recording is available for inspection on the City of West Branch Website at westbranchiowa.org/city-of-west-branch/mayor-city-council/meetings/. The minutes are not approved until the next regularly scheduled City Council meeting.)

**West Branch, Iowa
Council Chambers**

**City Council
Regular Meeting**

**June 28, 2021
7:00 p.m.**

Until further notice, all of our Council Meetings will be held in person and electronically via Zoom. Persons may still attend, observe and participate in the meeting at the Council Chambers, City Office, 110 N. Poplar St, West Branch, Iowa.

Mayor Roger Laughlin called the West Branch City Council regular meeting to order at 7:00 p.m. Roll call: Council members: Colton Miller, Jodee Stoolman, Tom Dean, Jerry Sexton and Nick Goodweiler were present. City Staff present: City Administrator Redmond Jones II, Deputy Clerk Leslie Brick, Finance Officers Gordon Edgar & Heidi Van Auken, and City Attorney Kevin Olson. City Staff attending via Zoom: Library/IT Director Nick Shimmin, Park & Recreation Director Melissa Russell, Public Works Director Matt Goodale, Police Chief John Hanna and City Engineer Dave Schechinger.

GUEST SPEAKER PRESENTATIONS

Jennifer Walker, ECIA presented information on the Hometown Pride – A Keep Iowa Beautiful Program. Walker provided a summary of the state-wide non-profit organization's program. Walker said the program is designed to help communities with project planning, community engagement and helping cities win grants for projects. Walker stated that each participating city would receive the services from ECIA for writing two grants each year, one state and one federal. ECIA is hoping to expand the project to include Cedar County. Walker said the membership for the program will cost West Branch \$500 for the first year and \$1000 per year for the next four years. Laughlin questioned if the program's effort would duplicate that of the West Branch Community Development Group since they are doing some of the similar things in the community. Nicki Brick, Board Member of the WB CDG said she felt the program would be a fabulous collaboration if the two groups could work together since their main focus is more on the downtown rather than other city projects. Laughlin mused that the program could help with the cities future trails project and Miller said maybe the group could help the City find a grant for improving the remaining downtown sidewalks on West Main Street. Overall, the enticement of the assistance with grant applications intrigued the Council the most.

PUBLIC COMMENT - NONE

CONSENT AGENDA

Motion to Approve Meeting Minutes for City Council Meeting June 7, 2021.

Motion to Approve Meeting Minutes for Special and Closed Session Meeting June 21, 2021.

Motion to Approve the West Branch Fire Department Class B Beer (BB) (Includes Wine Coolers) with Outdoor Service for Hoover's Hometown Days.

Motion to Approve the Special Event Permit for the 2021 Hoover's Hometown Days Celebration.

Motion to Approve Street closures for the 2021 Hoover's Hometown Days Celebration.

Motion to Approve the Claims Report.

EXPENDITURES

6/28/2021

AERO RENTAL INC	STUMP GRINDING	469.82
AIRSPACE MONITORING SYSTEM	CO MONITOR ALARMS	1,070.89
AMAZON	BOOKS AND SUPPLIES	793.32
AMAZON.COM.CA., INC.	KEYPAD ENTRY SYSTEM	94.42
BARNHART'S CUSTOM SERVICES	CUBBY PARK CAPITAL IMPROVEMENT	95.00
BOWERS CUSTOM SERVICES LLC	SAND HAULING	270.00
CAPITAL ONE	PROGRAM SUPPLIES	173.79
CEDAR COUNTY RECORDER	RECORDING FEES	35.00
CROELL, INC.	TOWN HALL PARKING IMPROVEMENT	1,490.00
DIRK WIENEKE	LAWN CARE SERVICE	600.00
ELITE HOLDING COMPANY	STAFF SHIRTS	1,068.00
FELD FIRE EQUIPMENT CO. INC	VERIDIAN BUNKER GEAR	9,870.00
FRED'S FEED & SUPPLY LLC	GROUNDS SUPPLIES	38.07

GRAY BARN INDUSTRIES INC	GRIEBAHN INDUSTRIES INC	25.00
HARRY'S CUSTOM TROPHIES LT	SOFTBALL MEDALS	108.00
HAZELHASKY LLC DBA HERB & LOUS	CONCESSION MERCHANDISE	208.50
HEIMAN FIRE EQUIPMENT	FIRE HOSE	1,899.00
HY-VEE ACCOUNTS RECEIVABLE	CONCESSION MERCHANDISE	695.56
IOWA CITY PRESS-CITIZEN	SUBSCRIPTION 070121 TO 063022	221.02
IOWA DEPARTMENT OF PUBLIC	WARRANTS AND ARTICLES SYSTEM	1,200.00
IOWA MUNICIPAL FINANCE OFFICERS	DUES VAN AUKEN 21-22	50.00
JOHN DEERE FINANCIAL	SAFTEY SUPPLIES, SUPPLIES	406.98
JOHNSON COUNTY REFUSE INC.	GARBAGE STICKERS	285.00
JOURNEYED COM INC	SOFTWARE LICENSE	144.03
KANOPY	VIDEO RENTALS	30.00
KOCH OFFICE GROUP	COPIER MAINTENANCE	480.18
LENOCH & CILEK	SUPPLIES	17.86
LIBERTY COMMUNICATIONS	TELEPHONE SERVICES	1,515.96
LIBRARICA LLC	LICENSE RENEWAL	328.20
LINN COUNTY R.E.C.	STREET LIGHTS	213.10
LOGAN CONTRACTOR'S SUPPLY	SUPPLIES	243.00
MANATT'S INC	COLD MIX	492.70
MEDIACOM	CABLE SERVICE	41.90
MENARDS	SUPPLIES	1,097.81
PARKSIDE SERVICE	TIRES	1,115.48
PIP PRINTING & MARKETING SERVICES	OFFICE SUPPLIES	129.56
PITNEY BOWES INC	POSTAGE METER RENTAL	180.00
PLUNKETT'S PEST CONTROL INC	PEST CONTROL - CITY OFFICE	170.18
PORT 'O' JONNY INC.	SERVICE-CEMETERY	95.00
QC ANALYTICAL SERVICES LLC	LAB ANALYSIS	759.00
STATE HYGIENIC LAB	LAB ANALYSIS	27.00
U.S. POSTAL SERVICE	PO BOX RENT- ANNUAL	58.00
VERIZON WIRELESS	VERIZON WIRELESS	372.17
WATER SOLUTIONS UNLIMITED	CHEMICALS	2,611.00
WELTER STORAGE EQUIP CO INC	FILE CABINETS	736.00
WEST BRANCH REPAIRS	VEHICLE REPAIR	200.60
WEST BRANCH TIMES	PUBLISHED MINUTES & REPORTS	1,191.32
WESTRUM LEAK DETECTION INC	LEAK DETECTION SURVEY	1,300.00
WHITE CAP L.P.	SAFETY EQUIPMENT	368.77
XCESSORIES SQUARED	SIGN POSTS	429.89
TOTAL		35,516.08
PAYROLL-WAGES, TAXES, EMPLOYEE BENEFITS	6/11/2021	52,120.45
PAYROLL-WAGES, TAXES, EMPLOYEE BENEFITS	6/25/2021	66,812.49
PAID BETWEEN MEETINGS		
LYNCH, MADISON	UTILITY REFUND	164.59
GLOBAL PAYMENTS	CREDIT CARD FEES	389.68
MENTE CONSTRUCTION	ESCROW REFUND	5,000.00
ROB COPELAND	ESCROW REFUND	5,000.00
ADVANTAGE SIGNS & GRAPHICS	PLAQUES	232.99
AE OUTDOOR POWER	EQUIPMENT REPAIR	141.29
ALLIANT ENERGY	UTILITY SERVICE	9,495.68
BAKER & TAYLOR	BOOKS	730.64
CEDAR COUNTY COOP	VEHICLE FUEL	1,880.50
D & R PEST CONTROL	PEST CONTROL SERVICE	70.00
DEMCO	SUPPLIES	50.93
FINANCIAL ADJUSTMENT BUREAU INC	COLLECTION SERVICE FEE	2.60
INTERSTATE ALL BATTERY CENTER	SUPPLIES	49.95
LISBON LAZERS 2030	TOURNEY FEE	150.00
OVERDRIVE INC	BOOKS	429.43
PITNEY BOWES GLOBAL FINANCIAL	MAILING EQUIPMENT LEASE	77.37
PITNEY BOWES PURCHASE POWER	REPLENISH POSTAGE METER	500.00
QUILL CORP	CLEANING SUPPLIES	91.73
SWANK MOTION PICTURES INC	SITE LICENSE - MOVIE	104.00
SWIFT & SWIFT LLC	NUISANCE ABATEMENT SERVICES	1,593.25
THE GAZETTE	SUBSCRIPTION	210.60
THE HOME DEPOT PRO	BUILDING SUPPLIES	133.71
TYLER TECHNOLOGIES	SERVICE FEE	12.50
US BANK CORPORATE CARD	CONCESSION MERCHANDISE/SUPPLIES	14,584.79
US BANK EQUIPMENT FINANCE	LIBRARY COPIER LEASE	106.25
WEX BANK	VEHICLE FUEL	1,601.39
TOTAL		42,803.87

GRAND TOTAL EXPENDITURES

197,252.89

FUND TOTALS

001 GENERAL FUND	105,469.32
022 CIVIC CENTER	2,093.61
031 LIBRARY	16,049.40
110 ROAD USE TAX	11,838.69
112 TRUST & AGENCY	21,734.05
308 PARK IMP - PEDERSEN VALLEY	1,283.90
600 WATER FUND	22,471.33
610 SEWER FUND	16,312.59
TOTAL	197,252.89

REVENUE-FISCAL YEAR 2021

FUND	APR	MAY
001 GENERAL FUND	268,082.84	254,655.09
022 CIVIC CENTER	6,617.35	832.70
031 LIBRARY	102,401.27	109.81
036 TORT LIABILITY	37,900.09	747.78
110 ROAD USE TAX	62,401.18	23,660.29
112 TRUST & AGENCY	74,858.99	4,740.60
119 EMERGENCY TAX FUND	13,418.51	653.19
121 LOCAL OPTION SALES TAX	17,196.18	20,207.35
125 TIF	116,383.39	94.82
226 DEBT SERVICE	122,000.88	682,786.00
600 WATER FUND	44,337.53	54,438.63
610 SEWER FUND	61,680.28	56,639.25
740 STORM WATER UTILITY	5,221.03	5,491.12
TOTAL	932,499.52	1,105,056.63

Motion by Miller, second by Sexton to approve Consent Agenda. AYES: Miller, Sexton, Stoolman, Dean, Goodweiler. NAYS: None. Motion carried.

PUBLIC HEARING / NON-CONSENT AGENDA

Third Reading of Ordinance 781-A – Amending Chapter 165; Entitled, “Zoning Regulations” to add section 51 “Annexed Territory”. / Motion to approve.

ORDINANCE 781-A

AN ORDINANCE AMENDING CHAPTER 165; ENTITLED, “ZONING REGULATIONS” TO ADD SECTION 51, “ANNEXED TERRITORY”.

WHEREAS, the City of West Branch, Iowa, believes that the clarification of certain sections in the Zoning Code will lead to a clearer understanding of the process of Annexation; and

WHEREAS, the City of West Branch, Iowa, believes that a more uniform and consistent wording in the language contained within certain sections in the Zoning Code will aide interested parties better navigable the state and local process of annexation; thus, lead to more consistent interpretation of the requirements; and

WHEREAS, it is the goal to make development in the City of West Branch user friendly; thus, it is recommended that the City Council of the City of West Branch, adopt these amendment recommendations in the Zoning code; and

WHEREAS, the City Council of the City of West Branch, Iowa has reviewed these recommendations and concurs with the intention of providing a framework for proposals for annexed territory.

NOW, THEREFORE, BE IT ORDAINED:

BE IT ENACTED by the City Council of West Branch, Iowa, that Chapter 165 “ZONING REGULATIONS” of the Code of West Branch, Iowa is hereby amended by revising the following subsections to Chapter 165.

165.51 – Amend Chapter 165 by adding section 51: ANNEXED TERRITORY

165.51 ANNEXED TERRITORY

1. Annexation is defined as the addition or incorporation of a land / territory (private and/or commercial) into the City of West Branch.
2. Any area of proposed annexation to the City of West Branch shall be zoned by the City after a recommendation by the Planning and Zoning Commission prior to annexation. Any applicant for annexation must include a requested zoning classification along with the application for annexation. The Notice of Annexation must include the applicant’s requested zoning classification. If the Planning and Zoning Commission makes a recommendation for acceptance of the annexation to the Council, it must include a recommendation of zoning also. If the Council accepts the annexation, it must designate the zoning classification of the territory and it will become effective upon the recording of the resolution. The resolution will not be recorded sooner than three days after its passage, nor will the resolution be sent to the State of Iowa City Development Board until three days after passage. The applicant for annexation may withdraw the application if desired due to the zoning classification within the three-day period before the annexation is recorded or forwarded.
3. The ability to annex and approval of an annexation proposal are subject to section 368 (25, 0) of the Iowa Code.

Passed and approved this 28th day of June, 2021.

First Reading: May 17, 2021
Second Reading: June 7, 2021

Attest:

Leslie Brick, Deputy City Clerk

Motion by Sexton second by Stoolman to approve the third reading of Ordinance 781. AYES: Sexton, Stoolman, Miller, Goodweiler, Dean. NAYS: None. Motion carried.

Resolution 2016 – Approving Participation in the Hometown Pride a Program of Keep Iowa Beautiful (an East Central Intergovernmental Association Proposal). / Move to action.

Laughlin said he felt that the cost of the program was a decent investment with the added value of getting two grants written during each year of participation. Miller expressed that his only concern was that the City might not be ready for the program since a formal Capital Improvements Plan is not in place and wondered if the first year of the program ECIA could help the city create a ‘road map’ for future projects. After further discussion, the Council felt the small investment was worth it.

Motion by Dean, second by Stoolman to approve Resolution 2016. AYES: Dean, Stoolman, Miller, Sexton, Goodweiler. NAYS: None. Motion carried.

Resolution 2017 – Accepting Public Improvements Constructed in Cedar’s Edge First Addition, West Branch Iowa. / Move to action.

Olson explained that the public improvements being recommended for approval with this resolution is for the whole subdivision, excepting sidewalks as per the Subdividers Agreement. Sexton requested the Council to consider allowing him to vacate the future Birdie Lane (not yet constructed) as part of Cedar’s Edge Subdivision. The original sub-divider’s agreement stated that the street did not need to be constructed until Cedar-Johnson Road was improved. Sexton said in the mean time he has created a gravel lane to the golf course cart shed and that the road was no longer needed. He also stated that he has someone interested in the adjacent lot and is trying to determine the placement of the home on the property. Laughlin said the matter should be brought to the Planning & Zoning Commission for their recommendation and then brought back to the Council at a later date.

Motion by Goodweiler, second by Stoolman to approve Resolution 2017. AYES: Goodweiler, Stoolman, Miller, Dean. NAYS: None. Abstain: Sexton. Motion carried.

Resolution 2018 – Approving the purchase of a Police SUV vehicle from West Branch Ford. / Move to action.

Hanna said that the purchase of the new vehicle coincides with his budgeted set aside program as previously directed by Council during budget discussions. Hanna said he anticipates a long lead time in getting the vehicle due to a back log of vehicles being produced due to last year’s pandemic.

Motion by Miller, second by Dean to approve Resolution 2018. AYES: Miller, Dean, Sexton, Goodweiler, Stoolman. NAYS: None. Motion carried.

Discussion: Consider a Home Base Iowa Community Project / Program that Establishes a Home Buyer Rebate Program for Veterans.

Dean said he would like to see the City participate in the program and offer veteran’s the same tax rebate as the sunsetting Building Incentive Program which expires on June 30, 2021. The Council was agreeable with Dean’s proposal but wanted to put a two-year limit on the program to see the level of participation. The Council asked staff to draft a proposal in the form of a resolution for consideration.

CITY ADMINISTRATOR REPORT

Jones reported that he and the Public Works staff visited four towns who use ultra violet disinfectant operating systems to help determine which way the city would move forward. Jones said the group toured West Liberty, New London, Norway and Mount Vernon and the found that the system used by New London was preferred due to ease of maintenance. Jones reported that Parkside Hills Subdivision excavation is underway.

CITY ATTORNEY REPORT - No report

STAFF REPORTS

Hanna informed the Council that an error was recently discovered on the police department budget. Hanna said that part-time salaries he had requested were erroneously omitted with the final FY22 budget submission. Hanna said he would be meeting with Van Auken in the coming weeks and warned that a budget amendment would be necessary.

COMMENTS FROM MAYOR AND COUNCIL MEMBERS

Laughlin said he had been contacted by property owner Shirley Jensen (who owns property on S. 4th St.) that nobody had contacted her regarding the Parkside Hills Subdivision water and sewer tie in on her property. Laughlin said after some investigation and discussions with City Engineer Schechinger, the property does in deed have an easement on it and that is where the work was being done. Laughlin said the developer should have contacted Jensen. Miller asked why the developer hadn't addressed the ongoing water issue coming from the property and asked staff to talk to the developer about finding the issue sooner than later. Laughlin also added that the owners of Parkside Service approached a him about the possibility of purchasing the former Casey's site to use as a parking lot for his employees. Laughlin said he would support the idea and said he informed Hosier that the city had planned on placing the mural at the north end of the parking lot. Hosier verbally agreed that if he purchased the lot, the mural could still be located on the property. Sexton said he was concerned with the space being a private parking lot and wondered if over time, other business items would end up being stored there and how it would make Main Street look. Colton said the Council needs to decide what they want to do with the property and move forward with a decision. Brick added that the current zoning should be reviewed to see if that is a permitted use for the district. Laughlin asked the Council to prepare for a special meeting on July 1st.

Miller announced that a new speed sign has been placed on North Downey St at the city limit. Hanna added that another sign has been ordered and will be placed at the city limit on East Main Street when it arrives.

Stoolman asked for an update with the meeting with residents on N. 4th and N. 5th St. regarding the alley issue. Goodale said he had met with the residents and they were willing to try the tree sap method on the gravel surface to see if that would help with some of the erosion and gravel slide. The group also said they would consider other alternatives and maybe consider some cost sharing in a more permanent solution. Stoolman asked why a sidewalk recently installed by Public Works on E. College Street wasn't made ADA compliant. Goodale explained the reason the City replaced a portion of the sidewalk was due to the removal of a city tree which damaged the sidewalk. Goodale said extending the sidewalk to the curb would require engineering and that it wouldn't make sense to make one sidewalk ADA accessible when there were no others on any of the surrounding streets.

ADJOURNMENT

Motion to adjourn the regular meeting by Dean, second by Goodweiler. Motion carried on a voice vote. City Council meeting adjourned at 8:29 p.m.

Roger Laughlin, Mayor

ATTEST: _____
Leslie Brick, Deputy City Clerk



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE:	July 12, 2021
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AGENDA ITEM:	Motion to approve Class C Liquor License (LC) (Commercial) with Sunday Sales privileges for Mexico Lindo, Inc., DBA: Mexico Lindo Grill and Cantina – 711 S. Downey St.
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PREPARED BY:	Deputy City Clerk Leslie Brick
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DATE:	July 1, 2021
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BACKGROUND INFORMATION:

Approve Class C Liquor License (LC) (Commercial) with Sunday Sales privileges for Mexico Lindo, Inc., DBA: Mexico Lindo Grill and Cantina, 711 S. Downey St.

Renewal effective 8/5/2021 to 8/4/2022.



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE:	July 12, 2021
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AGENDA ITEM:	Motion to approve outdoor service for The Down Under for August 6 th & 7 th for Hoover's Hometown Days – 102 W. Main St.
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PREPARED BY:	Deputy City Clerk Leslie Brick
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DATE:	July 1, 2021
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BACKGROUND INFORMATION:

The Down Under requests temporary outdoor service to be able to serve their patrons on Heritage Square (see following map) during Hoover's Hometown Days. The service area will be fenced and seating will be provided. The Down Under will have the area open from 11:00 a.m. to midnight on both Friday and Saturday night.

The Down Under has applied for the extra privilege with the Iowa Alcohol Beverage Division and has met their requirements.

City of West Branch
RECORDS DESTRUCTION FORM

Page 1 of 1

CAUTION: A state record may not be destroyed if any litigation, claim, negotiation, audit, open records request, administrative review, or other action involving the record is initiated before the expiration of the retention period. The record must be retained until completion of the action and the resolution of all issues that arise from it, or until the expiration of the retention period, whichever is later. Any record subject to federal audit must be retained until the expiration of the audit period or the period specified in the City of West Branch Records Retention manual, whichever is later.

Departmental Destruction	<input checked="" type="checkbox"/> I certify that these OFFICIAL RECORD COPIES are past the retention period specified by the Records Retention Schedule and that all audit and administrative requirements have been satisfied. <input type="checkbox"/> I certify that no HOLD has been placed on these OFFICIAL RECORDS due to any litigation, claim, negotiation, audit, or open records requests and all administrative requirements have been satisfied.
Date of Records Destruction: Department Name: Administration	
Destruction Method: Shredding _____ Discard _____ Outside Vendor <input checked="" type="checkbox"/>	
Destruction Witness: Leslie Brick, Deputy Clerk	

Description of Records The contents of each box should be listed separately	Inclusive Dates	Retention Period	Record Type
Accounts Payable – invoices, statements, bills	7/1/2015 to 6/30/2016	5 years	Financial
Utility Billing monthly records, - stubs, receipts	7/1/2015 to 6/30/2016	5 years	Utility Billing
Accounts Receivable - receipt books	7/1/2015 to 6/30/2016	5 years	Financial

INSTRUCTIONS FOR FILLING OUT THE RECORDS DESTRUCTION FORM

1. Fill in the department name and date.
2. Locate a description of your records in the Records Retention Schedule and record.
3. Enter the description of the records in the “Description of Records” column.
4. Fill in the “Inclusive Dates” of the records. Please include month and year.
5. Fill in the “Retention Period” listed for the records in the Records Retention Schedule.
6. Fill in the “Record Type” of the records (for example, P= Paper, E=Electronic, etc.).
7. The completed *original* Records Destruction form must be maintained as a permanent record at the City Office.

7/12/2021 Claims

AT & T MOBILITY	WIRELESS SERVICE	344.80
CEDAR COUNTY AUDITOR	SOLID WASTE ASSESSMENT	14,331.78
CEDAR COUNTY EMERGENCY MAN	2021-2022 EMA ASSESSMENT	9,464.75
CEDAR COUNTY RECORDER	RECORDING FEES	41.00
CJ COOPER & ASSOCIATES	DRUG TESTING	35.00
CROELL, INC.	SIDEWALK REPAIR	422.75
DIAMOND VOGEL PAINTS	DIAMOND VOGEL PAINTS	3,349.14
EAST CENT INTERGOVT ASN.	DUES 7-1-21 TO 6-30-22	1,625.40
ECONO SIGNS LLC	SIGNS	833.30
ELITE HOLDING COMPANY	CAMP SHIRTS	23.75
HOLLYWOOD GRAPHICS	HHTD BANNERS	258.50
IOWA DEPARTMENT OF NATURAL	DUES/MEMBERSHIP	264.61
IOWA LEAGUE OF CITIES	MEMBERSHIP DUES	1,581.00
JOHNSON COUNTY EMERGENCY M	FY2022 HAZ MAT TEAM 28E AGREE	47.50
JOHNSON COUNTY REFUSE INC.	REYCLING AND TRASH JUNE 2021	16,069.50
LYNCH'S PLUMBING INC	CUBBY PARK SUPPLIES	251.50
OLSON, KEVIN D	LEGAL SERVICES JULY 2021	1,500.00
PORT 'O' JONNY INC.	SERVICE-WAPSI PARK	108.00
QUILL CORP	OFFICE SUPPLIES	52.70
RACOM CORPORATION	ANTENNA REPLACEMENT	77.00
TYLER TECHNOLOGIES	SOFTWARE MAINTENANCE/SUBSCRIPT	9,840.60
SUBTOTAL		<u>60,522.58</u>
PAYROLL-WAGES, TAXES, EMPLOYEE		
BENEFITS	7/9/2021	54,514.88
MISC VENDOR	UB REFUNDS	132.95
GRAND TOTAL EXPENDITURES		115,170.41
FUND TOTALS		
001 GENERAL FUND		77,213.06
031 LIBRARY		5,457.19
110 ROAD USE TAX		11,859.59
600 WATER FUND		8,153.54
610 SEWER FUND		6,570.97
112 EMPLOYEE BENEFITS		5,916.06
TOTAL		<u>115,170.41</u>

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
POLICE OPERATION	GENERAL FUND	AT & T MOBILITY CEDAR COUNTY EMERGENCY MANAGEMENT	WIRELESS SERVICE	344.80
			2021-2022 EMA ASSESSMENT	4,732.38
			TOTAL:	5,077.18
FIRE OPERATION	GENERAL FUND	RACOM CORPORATION JOHNSON COUNTY EMERGENCY MANAGEMENT AG CEDAR COUNTY EMERGENCY MANAGEMENT	ANTENNA REPLACEMENT	77.00
			FY2022 HAZ MAT TEAM 28E AG	47.50
			2021-2022 EMA ASSESSMENT	4,732.37
			TOTAL:	4,856.87
ROADS AND STREETS	GENERAL FUND	CJ COOPER & ASSOCIATES	DRUG TESTING	35.00
			TOTAL:	35.00
PARK & RECREATION	GENERAL FUND	LYNCH'S PLUMBING INC PORT 'O' JONNY INC. ELITE HOLDING COMPANY	CUBBY PARK SUPPLIES	71.50
			SERVICE-WAPSI PARK	108.00
			CAMP SHIRTS	23.75
			TOTAL:	203.25
CEMETERY	GENERAL FUND	TYLER TECHNOLOGIES	SOFTWARE SUBSCRIPTION FEE	688.60
			TOTAL:	688.60
COMM & CULTURAL DEVEL	GENERAL FUND	HOLLYWOOD GRAPHICS	HHTD BANNERS	258.50
			TOTAL:	258.50
CLERK & TREASURER	GENERAL FUND	EAST CENT INTERGOVT ASN. IOWA LEAGUE OF CITIES TYLER TECHNOLOGIES QUILL CORP	DUES 7-1-21 TO 6-30-22	1,625.40
			MEMBERSHIP DUES	1,581.00
			SOFTWARE SUBSCRIPTION FEE	4,428.00
			OFFICE SUPPLIES	52.70
			TOTAL:	7,687.10
LEGAL SERVICES	GENERAL FUND	CEDAR COUNTY RECORDER OLSON, KEVIN D	RECORDING FEES	41.00
			LEGAL SERVICES JULY 2021	1,500.00
			TOTAL:	1,541.00
SOLID WASTE	GENERAL FUND	CEDAR COUNTY AUDITOR JOHNSON COUNTY REFUSE INC.	SOLID WASTE ASSESSMENT	14,331.78
			RECYCLING AND TRASH JUNE 20	16,069.50
			TOTAL:	30,401.28
ROADS & STREETS	ROAD USE TAX	LYNCH'S PLUMBING INC DIAMOND VOGEL PAINTS CROELL, INC. ECONO SIGNS LLC	RENTAL EQUIP	180.00
			DIAMOND VOGEL PAINTS	3,349.14
			SIDEWALK REPAIR	422.75
			SIGNS	833.30
			TOTAL:	4,785.19
WATER OPERATING	WATER FUND	IOWA DEPARTMENT OF NATURAL RESOURCES TYLER TECHNOLOGIES	DUES/MEMBERSHIP	264.61
			SOFTWARE SUBSCRIPTION FEE	2,362.00
			TOTAL:	2,626.61
SEWER OPERATING	SEWER FUND	TYLER TECHNOLOGIES	SOFTWARE SUBSCRIPTION FEE	2,362.00
			TOTAL:	2,362.00

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
------------	------	-------------	-------------	--------

===== FUND TOTALS =====

001	GENERAL FUND			50,748.78
110	ROAD USE TAX			4,785.19
600	WATER FUND			2,626.61
610	SEWER FUND			2,362.00

GRAND TOTAL:				60,522.58

TOTAL PAGES: 2

RESOLUTION NO. 2019

**RESOLUTION ACCEPTING THE RESIGNATION AND APPROVING AN
AGREEMENT WITH REDMOND JONES II.**

WHEREAS, Redmond Jones II has been the City Administrator for the City of West Branch since June, 2017 under an employment agreement; and

WHEREAS, Jones has submitted his resignation as City Administrator to end his term as City Administrator as part of an agreement with the City; and

WHEREAS, it is now necessary to accept Jones' resignation and approve said agreement.

NOW, THEREFORE, it is hereby resolved by the Council of the City of West Branch, Iowa, the City hereby accepts the resignation of Redmond Jones II as City Administrator of the City of West Branch and that the City Council hereby approves said Agreement between Jones and the City which accompanies said resignation.

Passed and approved this 12th day of July, 2021.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, Deputy Clerk

RESOLUTION 2020

A RESOLUTION ADJUSTING THE SALARIES FOR CERTAIN APPOINTED OFFICERS

WHEREAS, the West Branch Police Chief has reviewed the current police officer's salaries and determined that a salary adjustment is warranted for an attempt to retain current staff; and

WHEREAS, the Police Chief feels that increasing salaries would help retain and/or recruit new officers should the need arise; and

WHEREAS, the Police Chief acknowledges the impact and importance of these duties and contributions to the city organization and has proposed three salary options for Council consideration; and

WHEREAS, it is now necessary to approve Version _____ as presented on Exhibit A;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of West Branch, Iowa, that the aforementioned resolution is hereby approved and effective with the pay period beginning July 19, 2021.

Passed and approved this 12th day of July, 2021.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, Deputy Clerk

Exhibit A

Officer Steen payroll start date: 3/23/2015
 Officer Holmes payroll start date: 12/16/2015
 Officer Murdock payroll start date: 3/18/2019

PD MERIT PAY SCALE SAMPLE:

Job Level	STEP											
	1		2		3		4		5		6	
	Hourly	Annual	Hourly	Annual	Hourly	Annual	Hourly	Annual	Hourly	Annual	Hourly	Annual
1	\$15.00	\$31,200.00	\$15.75	\$32,760.00	\$16.50	\$34,320.00	\$17.25	\$35,880.00	\$18.00	\$37,440.00	\$18.75	\$39,000.00
2	\$20.00	\$41,600.00	\$20.75	\$43,160.00	\$21.50	\$44,720.00	\$22.25	\$46,280.00	\$23.00	\$47,840.00	\$23.75	\$49,400.00
3	\$25.00	\$52,000.00	\$25.75	\$53,560.00	\$26.50	\$55,120.00	\$27.25	\$56,680.00	\$28.00	\$58,240.00	\$28.75	\$59,800.00
4	\$30.00	\$62,400.00	\$30.75	\$63,960.00	\$31.50	\$65,520.00	\$32.25	\$67,080.00	\$33.00	\$68,640.00	\$33.75	\$70,200.00
5	\$35.00	\$72,800.00	\$35.75	\$74,360.00	\$36.50	\$75,920.00	\$37.25	\$77,480.00	\$38.00	\$79,040.00	\$38.75	\$80,600.00
Level 1	No positions at this level.											
Level 2	Police Officer Cadet-Non ILEA Certified Police Officer I-ILEA Certified (Part Time)											
Level 3	Police Officer II-ILEA Certified (Full Time)											
Level 4	Sergeant-ILEA Certified (Supervisor/Assistant Chief)											
Level 5	Chief of Police-ILEA Certified (Agency Administrator)											

Adjustments:

Version A:

Version A		Proposed Employee Compensation - FY22					
Employee	Base Salary	OT	Dept. IPERS	Dept. FICA	Medicare	Total Compensation	
Officer Steen (28.50/hr)	\$ 59,280.00	\$ 5,928.00	\$ 5,518.97	\$ 3,675.36	\$ 859.56	\$ 75,261.89	
Officer Holmes (28.50/hr)	\$ 59,280.00	\$ 5,928.00	\$ 5,518.97	\$ 3,675.36	\$ 859.56	\$ 75,261.89	
Officer Murdock (27/hr)	\$ 56,160.00	\$ 5,616.00	\$ 5,228.50	\$ 3,481.92	\$ 814.32	\$ 71,300.74	
PD Subtotal	\$ 174,720.00	\$ 17,472.00	\$ 16,266.43	\$ 10,832.64	\$ 2,533.44	\$ 221,824.51	

Version B:

Version B		Proposed Employee Compensation - FY22				
Employee	Base Salary	OT	Dept. IPERS	Dept. FICA	Medicare	Total Compensation
Officer Steen (28.00/hr)	\$ 58,240.00	\$ 5,824.00	\$ 5,422.14	\$ 3,610.88	\$ 844.48	\$ 73,941.50
Officer Holmes (28.00/hr)	\$ 58,240.00	\$ 5,824.00	\$ 5,422.14	\$ 3,610.88	\$ 844.48	\$ 73,941.50
Officer Murdock (27/hr)	\$ 56,160.00	\$ 5,616.00	\$ 5,228.50	\$ 3,481.92	\$ 814.32	\$ 71,300.74
PD Subtotal	\$ 172,640.00	\$ 17,264.00	\$ 16,072.78	\$ 10,703.68	\$ 2,503.28	\$ 219,183.74
Current Employee Compensation - FY22						
Employee	Base Salary	OT	Dept. IPERS	Dept. FICA	Medicare	Total Compensation
Officer Steen (26.20/hr)	\$ 54,496.00	\$ 5,449.60	\$ 5,073.58	\$ 3,378.75	\$ 790.19	\$ 69,188.12
Officer Holmes (26.19/hr)	\$ 54,475.20	\$ 5,447.52	\$ 5,071.64	\$ 3,377.46	\$ 789.89	\$ 69,161.71
Officer Murdock (23.73/hr)	\$ 49,358.00	\$ 4,935.80	\$ 4,595.23	\$ 3,060.20	\$ 715.69	\$ 62,664.92
PD Subtotal	\$ 158,329.20	\$ 15,832.92	\$ 14,740.45	\$ 9,816.41	\$ 2,295.77	\$ 201,014.75
					Difference	\$ (18,168.99)

Version C:

Version C		Proposed Employee Compensation - FY22				
Employee	Base Salary	OT	Dept. IPERS	Dept. FICA	Medicare	Total Compensation
Officer Steen (27.50/hr)	\$ 57,200.00	\$ 5,720.00	\$ 5,325.32	\$ 3,546.40	\$ 829.40	\$ 72,621.12
Officer Holmes (27.50/hr)	\$ 57,200.00	\$ 5,720.00	\$ 5,325.32	\$ 3,546.40	\$ 829.40	\$ 72,621.12
Officer Murdock (27/hr)	\$ 56,160.00	\$ 5,616.00	\$ 5,228.50	\$ 3,481.92	\$ 814.32	\$ 71,300.74
PD Subtotal	\$ 170,560.00	\$ 17,056.00	\$ 15,879.14	\$ 10,574.72	\$ 2,473.12	\$ 216,542.98
Current Employee Compensation - FY22						
Employee	Base Salary	OT	Dept. IPERS	Dept. FICA	Medicare	Total Compensation
Officer Steen (26.20/hr)	\$ 54,496.00	\$ 5,449.60	\$ 5,073.58	\$ 3,378.75	\$ 790.19	\$ 69,188.12
Officer Holmes (26.19/hr)	\$ 54,475.20	\$ 5,447.52	\$ 5,071.64	\$ 3,377.46	\$ 789.89	\$ 69,161.71
Officer Murdock (23.73/hr)	\$ 49,358.00	\$ 4,935.80	\$ 4,595.23	\$ 3,060.20	\$ 715.69	\$ 62,664.92
PD Subtotal	\$ 158,329.20	\$ 15,832.92	\$ 14,740.45	\$ 9,816.41	\$ 2,295.77	\$ 201,014.75
					Difference	\$ (15,528.22)

RESOLUTION 2021

A RESOLUTION APPROVING ADDING THE TITLE ‘DEPUTY CLERK’ TO THE FINANCE OFFICER / TREASURER’S TITLE FOR THE PURPOSE OF OBTAINING CERTIFICATION WITH IOWA MUNICIPAL FINANCE OFFICERS ASSOCIATION (IMFOA)

WHEREAS, the goal of the Iowa Municipal Finance Officers Association (IMFOA) is to make possible for every finance officer to obtain the necessary knowledge through mutual assistance and training opportunities; and

WHEREAS, the Iowa Municipal Officers Association is an association of city clerks and municipal finance officers in Iowa. The purpose of IMFOA is to conduct regular instructional and informational meetings as deemed necessary by the Board of Directors, for the purpose of educating municipal officers in the keeping of public records and for any other purpose deemed to be in the best interest of the public; and

WHEREAS, the state certification program will insure a continuous educational commitment to establish and maintain competent administration for city governments in Iowa; and

WHEREAS, it is now necessary to approve adding the additional title of Deputy Clerk to the title of Finance Officer / Treasurer (currently Heidi Van Auken) to obtain certification upon completion of the required training of the Iowa Municipal Finance Officers Association;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of West Branch, Iowa, that the aforementioned resolution is hereby approved.

Passed and approved this 12th day of July, 2021.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, Deputy Clerk

RESOLUTION NO. 2022

**RESOLUTION APPROVING THE REVISED SITE PLAN FOR PARKSIDE
PETROLEUM LLC LOCATED AT 401 PARKSIDE DRIVE, WEST BRANCH, IOWA.**

WHEREAS, the City Council approved by Resolution the original site plan for Parkside Petroleum LLC on March 2, 2020 for future improvements to the property; and

WHEREAS, Parkside Petroleum LLC has submitted a revised site plan which consists of moving a water service line, storm water intake and relocating a business sign; and

WHEREAS, Parkside Petroleum submitted a proposed Site Plan for the property; and

WHEREAS, the Planning and Zoning Commission has reviewed said Site Plan and recommended approval of the same; and

WHEREAS, said Site Plan complies with the requirements of Chapter 173 of the Code of Ordinances of the City of West Branch.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the site plan of Parkside Petroleum LLC located at 401 Parkside Drive, West Branch is hereby approved.

Passed and approved this 12th day of July, 2021.

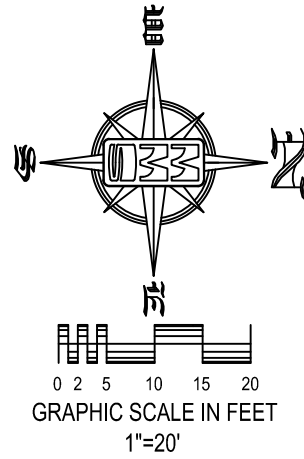
Roger Laughlin, Mayor

ATTEST:

Leslie Brick, Deputy Clerk

KEYNOTES		
NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	CONNECT TO EXISTING PCC PAVING W/ 'BT-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
8	CROSSWALK STRIPING	
9	INSTALL 3" ROLL CURB AND GUTTER	
10	TRANSITION TO 6" CURB	
11	NO PARKING ZONE	
12	END OF PAVEMENT BARRICADE	
13	END PCC PAVING WITH BT-5 JOINT	
14	INSTALL TAPERED CURB	
15	NO CURB	
16	TRANSITION TO 3" ROLL CURB	
17	MATCH EXISTING CURB AND GUTTER	
18	MATCH EXISTING CONCRETE	
19	PROPOSED FUEL TANK	
20	EXISTING FUEL TANK	
21	INSTALL SIGN PER PROVIDER DETAILS	

LEGAL: 401 PARKSIDE DRIVE IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 0.92 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.		
SITE DEVELOPMENT SUMMARY: CLASS: B-2 SQUARE FOOTAGE: 7,318 SF COMMERCIAL PROPOSED USE: COMMERCIAL		
DEVELOPMENT CHARACTERISTICS: 401 PARKSIDE DRIVE IS TO BE A 0.92 ACRE. THE PLAN WILL CONSIST OF 1 (ONE) PROPOSED COMMERCIAL BUILDING IN ADDITION TO REMODELING OF EXISTING COMMERCIAL BUILDING.		
DEVELOPMENT SCHEDULE APPLICANT PLANS TO BEGIN CONSTRUCTION ON SPRING 2020, WITH AN ESTIMATED COMPLETION DATE IN SUMMER 2020.		
SITE COVERAGES: TOTAL LOT AREA 40,075 S.F. (100%) PROPOSED BUILDING AREA 5,013 S.F. (12.5%) PROPOSED PAVING AREA 27,053 S.F. (67.5%) EXISTING BUILDING AREA 2,305 S.F. (5.8%) TOTAL IMPERVIOUS AREA 34,371 S.F. (85.8%) TOTAL OPEN AREA 5,704 S.F. (14.2%)		
LOT REQUIREMENTS: FRONT YARD SETBACK 25 FEET SIDE YARD SETBACK 8 FEET REAR YARD SETBACK 25 FEET		
PARKING REQUIREMENTS: 1 SPACE PER 200 SF 7,318SF/200 = 37 SPACES TOTAL PARKING REQUIRED = 37 SPACES TOTAL PARKING PROVIDED = 38 SPACES (2 ADA)		



SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

- SHEET INDEX**
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 GRADING AND EROSION CONTROL PLAN
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 PUBLIC IMPROVEMENTS
 - 7 GENERAL NOTES AND DETAILS

PAVING CONSTRUCTION NOTES

1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
5. ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

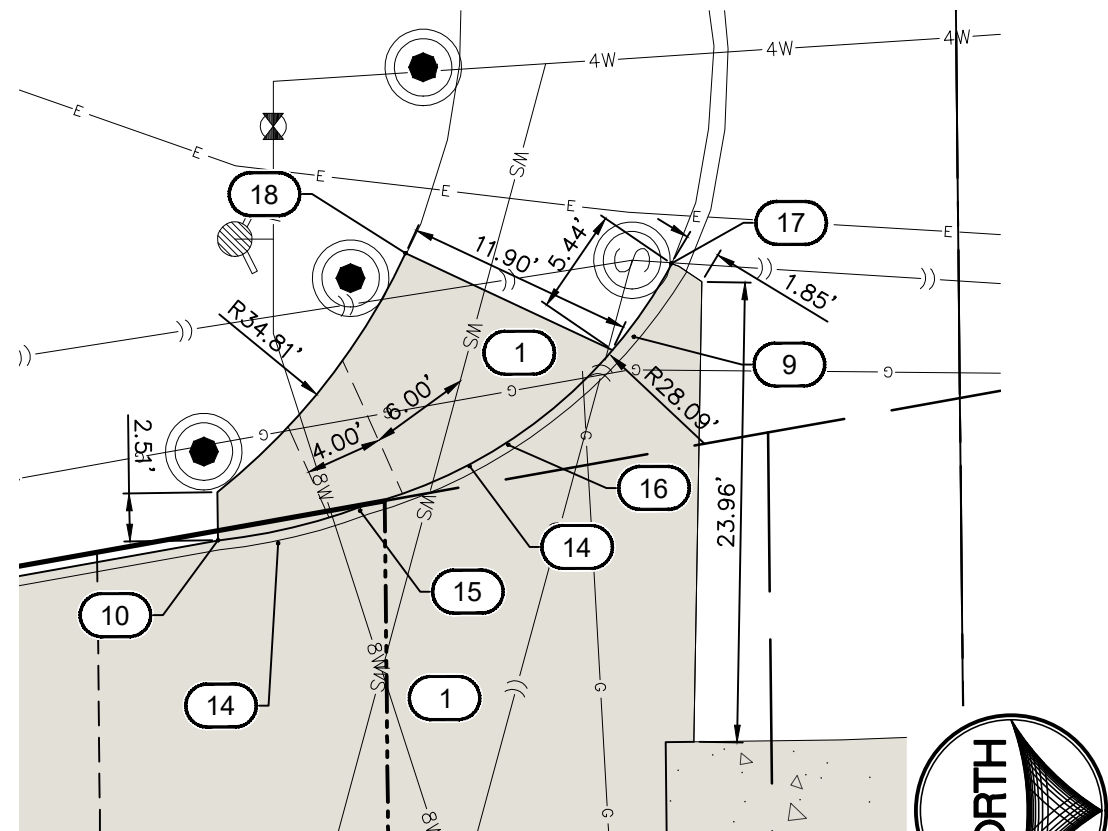
PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC	558 SY
	6" PCC	2,807 SY
	4" PCC	255 SY

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

STANDARD LEGEND AND NOTES

	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



ENLARGED PLAN
SCALE: 1"=10'

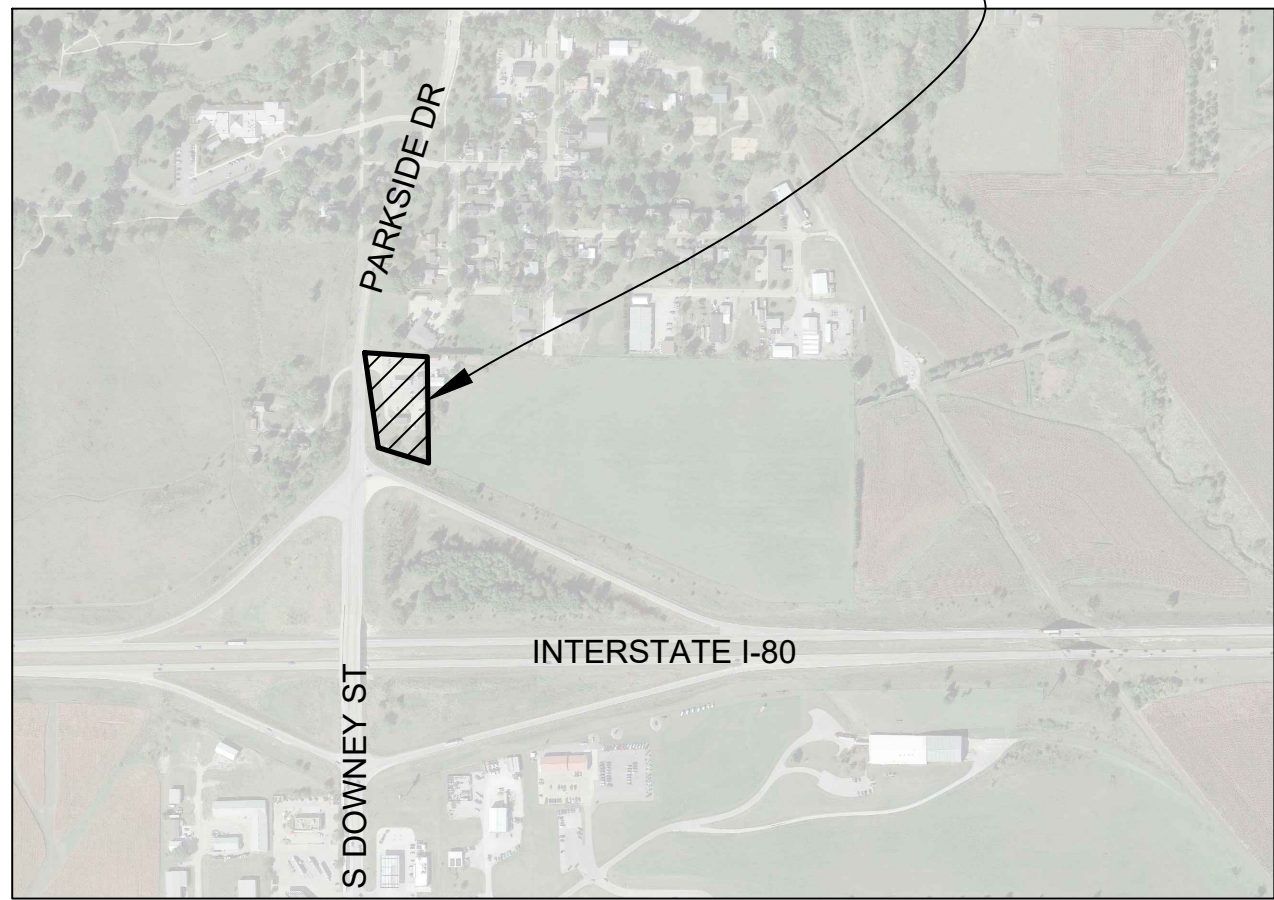
I hereby certify that this engineering document was prepared by me or under my direct supervision and approval of a duly licensed Professional Engineer under the laws of the State of Iowa.

RONALD L. AMELON, P.E. Iowa Lic. No. 14201
Professional Engineer
Iowa
Seal

Pages in sheets covered by this seal:

DRAFT

401 PARKSIDE DRIVE
WEST BRANCH, IOWA



LOCATION MAP
NOT TO SCALE

UTILITIES THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.	
BENCHMARK INFORMATION	
POINT	ELEVATION DATUM DESCRIPTION
NO. 1	768.968 NAVD88 BOLT ARROW HEAD FOUND AT NORTING 614540.67, EASTING 2228751.20, MMS POINT 14466
NO. 2	751.157 NAVD88 BOLT ARROW HEAD FOUND AT NORTING 614627.10, EASTING 2229386.31, MMS POINT 15486
HORIZONTAL CONTROL	
POINT	NORTHING EASTING DESCRIPTION
H1	614604.59 2228636.17 IDOT ALUM PIN ON EAST SIDE OF PARKSIDE DRIVE APPROX. 82 FEET EAST OF 401 PARKSIDE DRIVE ENTRANCE, MMS POINT 140000.

0.92 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - KLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

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SITE LAYOUT AND DIMENSION PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

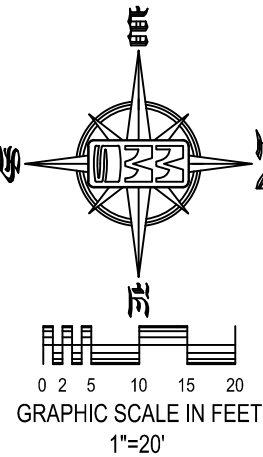
MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=20'
Sheet No:	1
of:	7

SITE PLAN
401 PARKSIDE DRIVE
WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317



STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS
	PROPOSED GROUND
	CONTOUR LINES (1' INTERVAL)
	GAS LINES
	TELEPHONE LINES
	ELECTRICAL LINES
	WATER LINES
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	FENCE LINE
	CURB INLET
	DRAINAGE MANHOLE
	WATER VALVE
	FIRE HYDRANT
	SANITARY MANHOLE
	LIGHT POLE
	GUY POLE
	POWER POLE W/LIGHT
	POWER POLE W/TRANS
	POWER POLE W/DROP
	POWER POLE
	PROP
	EXIST

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- SHEET INDEX
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KEYNOTES		
NUMBER	KEYNOTE	DETAIL
1	REMOVE EXISTING CONCRETE	
2	REMOVE EXISTING CARWASH	
3	REMOVE EXISTING ELECTRICAL	
4	REMOVE EXISTING TREES	
5	REMOVE EXISTING GAS STATION PUMPS	
6	SAW CUT AND REMOVE EXISTING CURB AND GUTTER	
7	REMOVE EXISTING SIDEWALK	
8	REMOVE EXISTING FENCE	
9	REMOVE EXISTING ASPHALT	
10	REMOVE EXISTING SIGN	
11	PROTECT EXISTING ELECTRICAL	
12	PROTECT EXISTING TREES	
13	PROTECT EXISTING SIGN	
14	PROTECT EXISTING GAS MANHOLES	
15	PROTECT EXISTING BOLLARDS	
16	PROTECT EXISTING SANITARY MANHOLE	
17	REMOVE EXISTING FIRE HYDRANT	
18	ABANDON EXISTING WATER SERVICE	

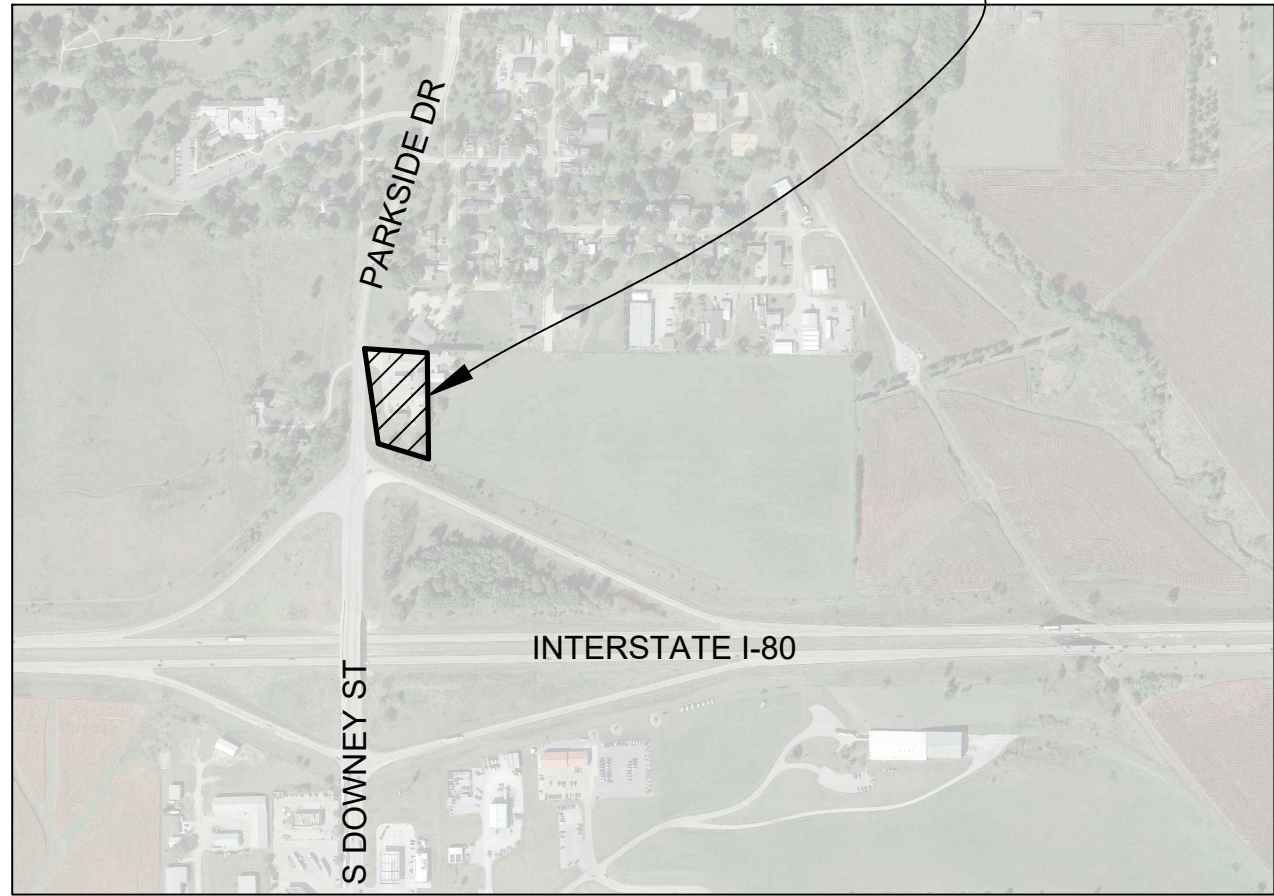
UTILITIES

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401 PARKSIDE DRIVE
WEST BRANCH, IOWA



LOCATION MAP
NOT TO SCALE



0.92 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
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DEMOLITION PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=20'
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of:	7

SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

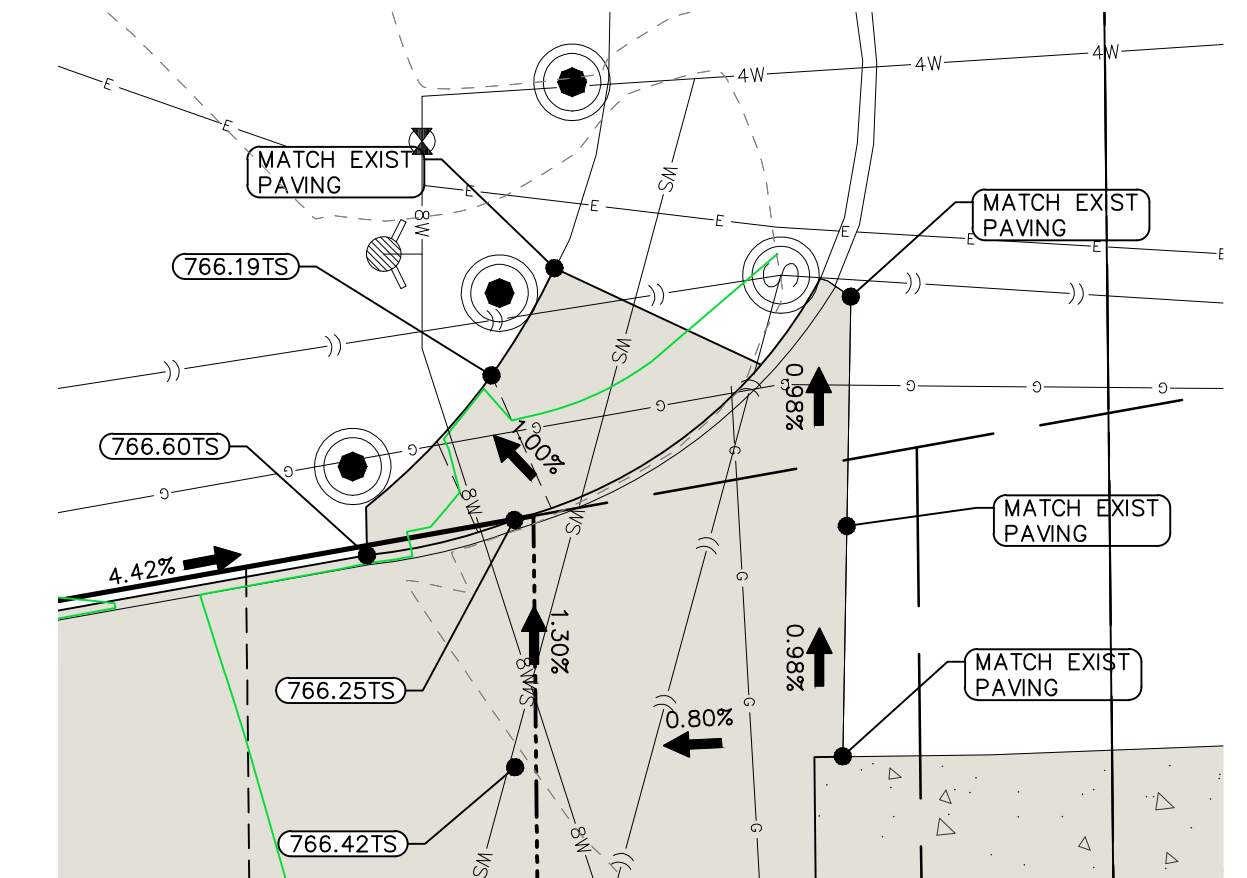
PLAT PREPARED BY:
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1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

GRADING LEGEND	
	0000.00EG - EXISTING GRADE
	0000.00FG - FINISHED GRADE
	0000.00TC - TOP CURB
	0000.00TS - TOP SLAB
	0000.00TW - TOP WALK
	0000.00TR - TOP RIM
	0000.00WB - BOTTOM WALL*
	0000.00WT - TOP WALL*
*REPRESENT GROUND ELEVATION AT WALL	

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
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	ELECTRICAL LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
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- SHEET INDEX
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 GRADING AND EROSION CONTROL PLAN
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 PUBLIC IMPROVEMENTS
 - 7 GENERAL NOTES AND DETAILS



ENLARGED GRADING PLAN
SCALE: 1"=10'

EROSION CONTROL LEGEND	
	FINAL FILTER SOCK
	SILT FENCE
	FILTER SOCK
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
	TEMPORARY PARKING AND STORAGE
	CONCRETE TRUCK/EQUIPMENT WASHOUT
	PORTABLE RESTROOM
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
	FILTER SOCK INLET PROTECTION
	FILTER SOCK BEHIND CURB AT CURB RAMP
	PERIMETER SILT FENCE
	EROSION CONTROL MATTING
	TEMPORARY SOIL STOCKPILE AREA
	DIRECTION OF OVERLAND FLOW
	DUMPSTER FOR CONSTRUCTION WASTE
	RIP RAP OUTLET PROTECTION
	OTHER MEASURE: _____
	OTHER MEASURE: _____
	OTHER MEASURE: _____
THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.	

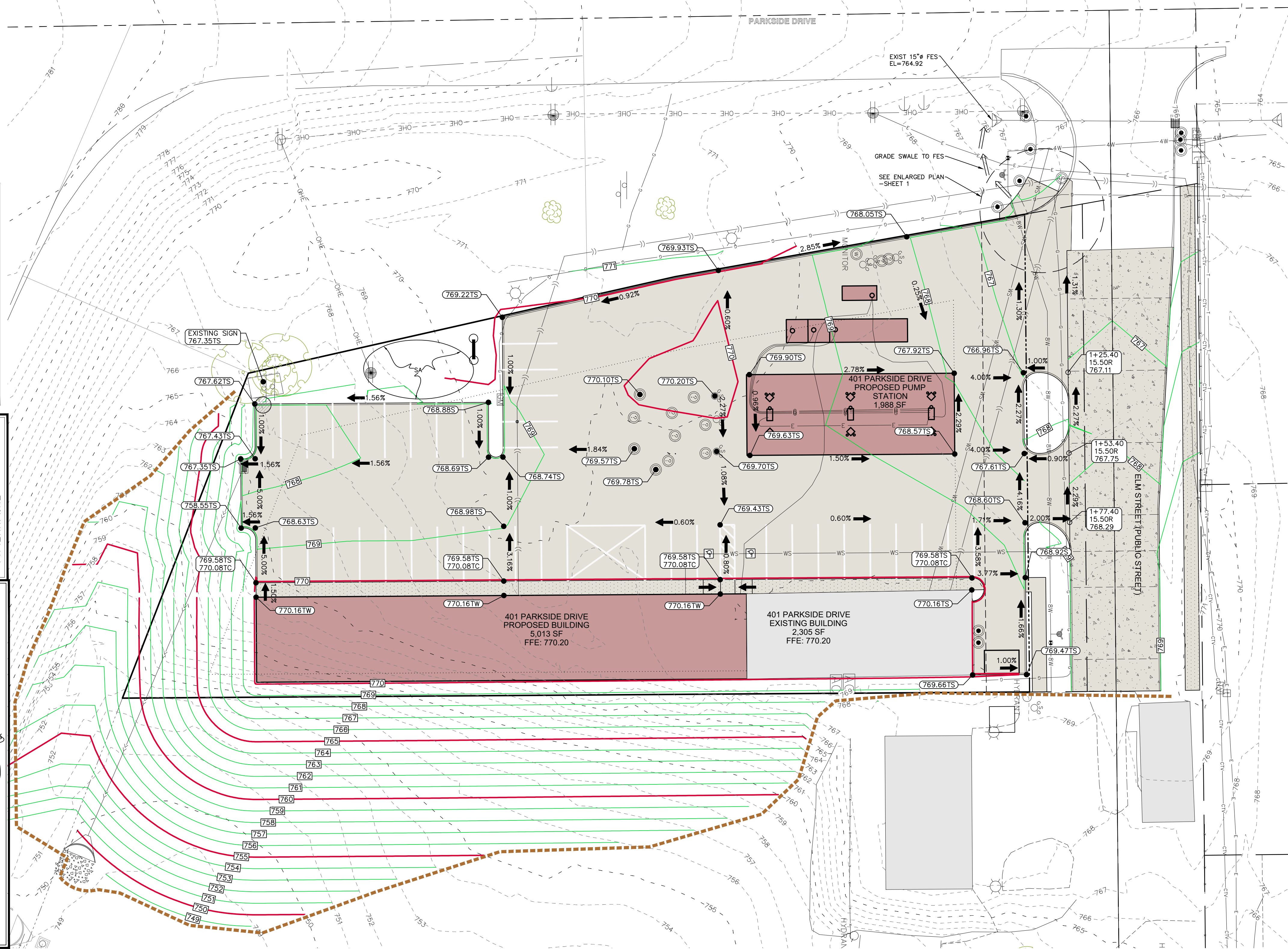
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LOCATION MAP
NOT TO SCALE



Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
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06-16-2021	REVISED PER CLIENT COMMENTS - JEB

GRADING AND EROSION CONTROL PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.	
Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=20'
Sheet No:	3
of:	7

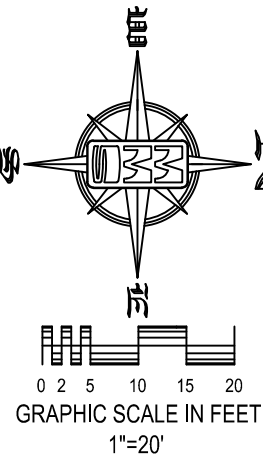
SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

















































PLAT PREPARED BY:
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-EXIST-	-PROP-
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

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0.92 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

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UTILITY PLAN

401 PARKSIDE
DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19

Designed by:	Field Book No:
BIC	

Drawn by: K I E Scale: 1"=20'

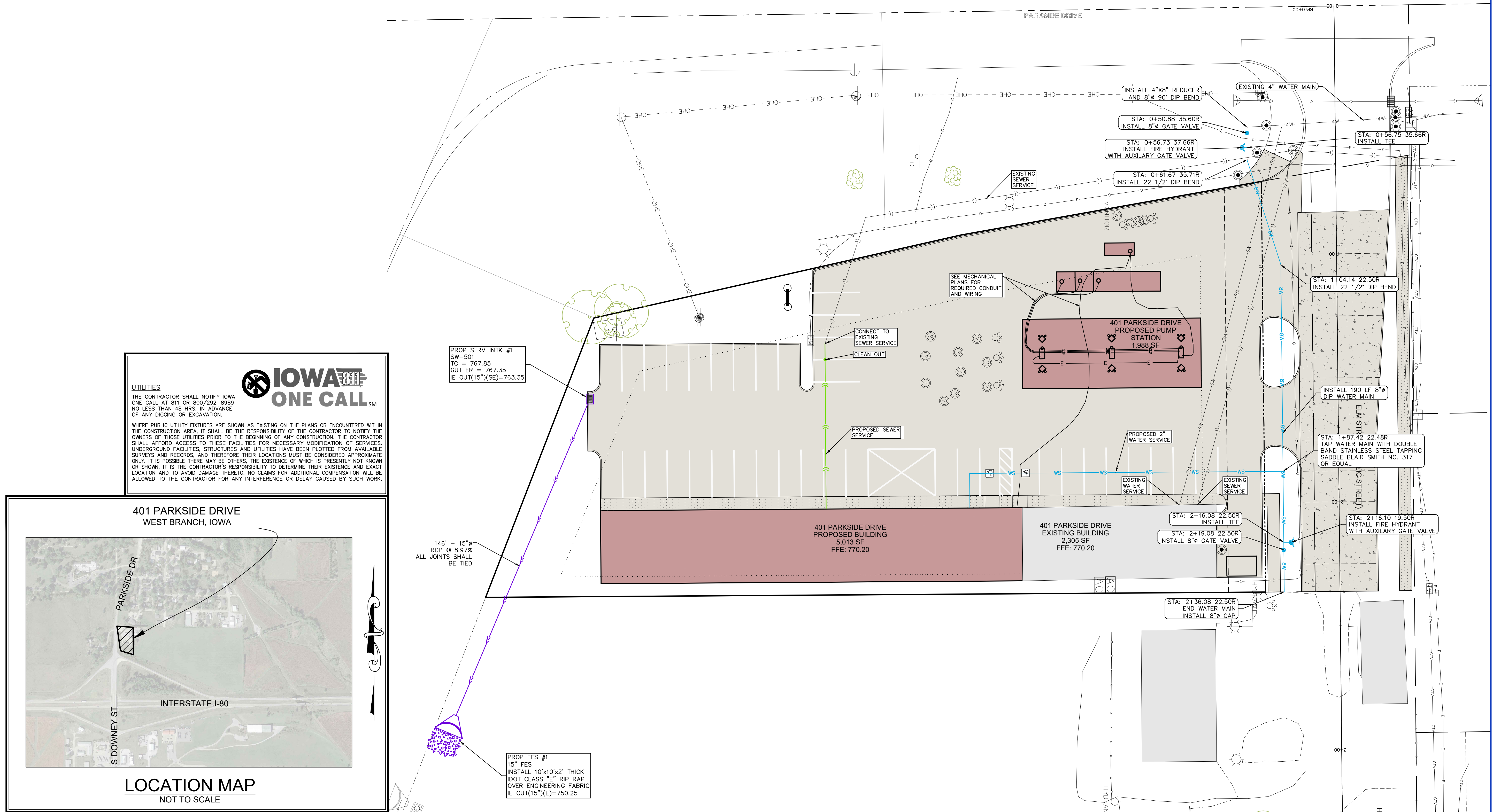
Checked by:	Sheet No:
RLA	4

Project No: 4

WEST BRANCH

6992-306

of: 7





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LANDSCAPE PLAN

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19

Designed by: BJC Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: RLA Sheet No:

Project No: 5

WEST BRANCH

6992-306 of: 7

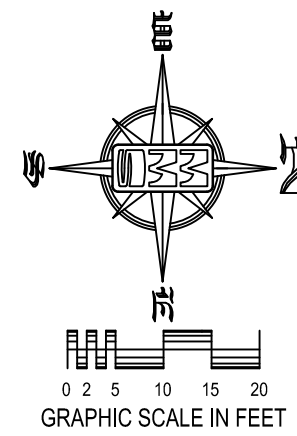
SITE PLAN

401 PARKSIDE DRIVE

WEST BRANCH, IOWA

PLAT PREPARED BY:
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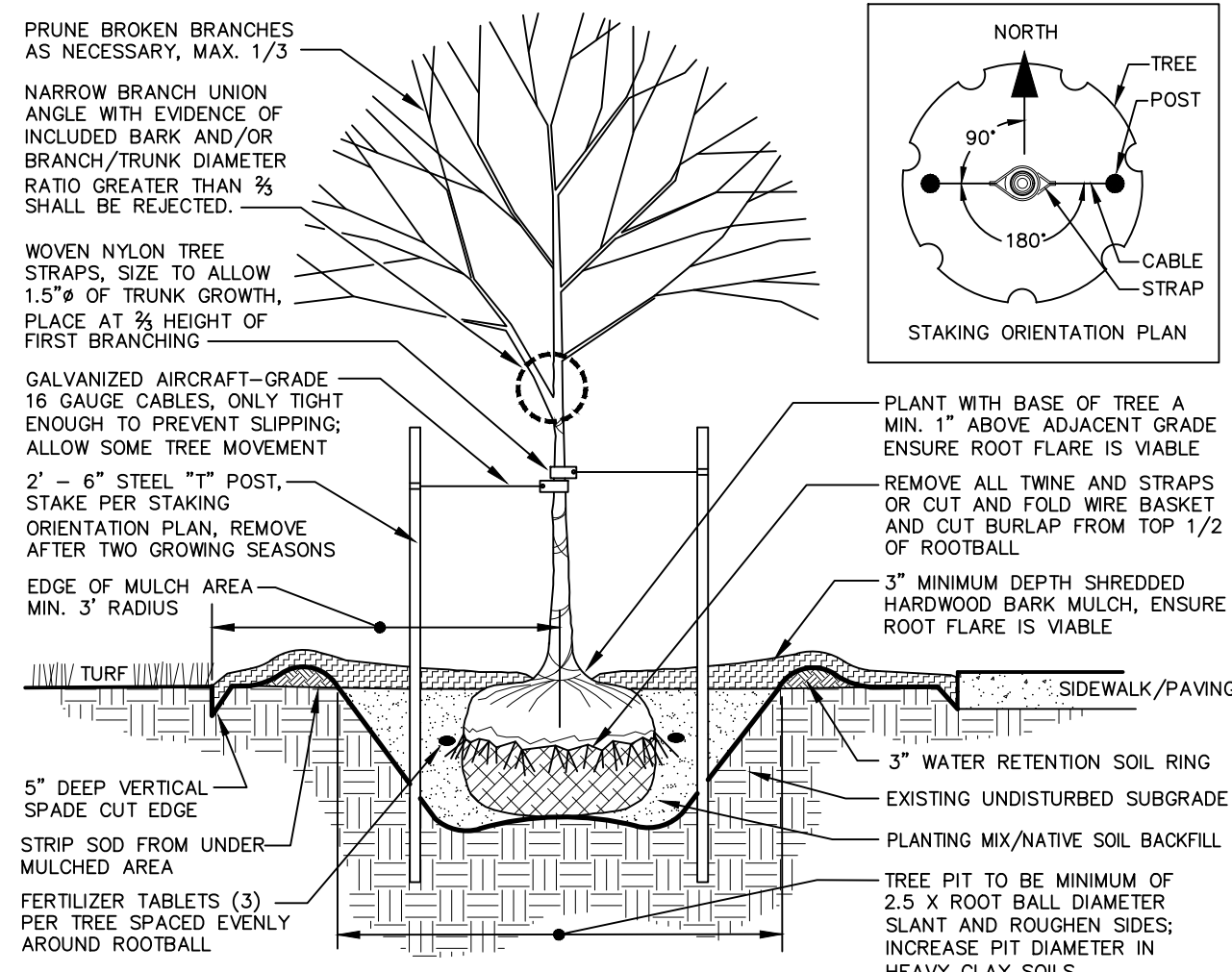
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LANDSCAPE REQUIREMENTS:

- OPEN SPACE REQUIRED. 25% OF TOTAL LOT AREA SHALL BE OPEN SPACE.
TOTAL LOT AREA = 40,416 SF (100%)
REQUIRED = 10,104 SF (25%)
PROVIDED = 6,105 SF (15.11%)
- LANDSCAPE REQUIRED.
1 TREE PER 1,500 SF OF OPEN SPACE
6,179 / 1,500 = 4 TREES REQUIRED
6 SHRUBS PER 1,000 SF OF OPEN SPACE
6,179 / 1,000 = 6 X 6 = 36 SHRUBS REQUIRED

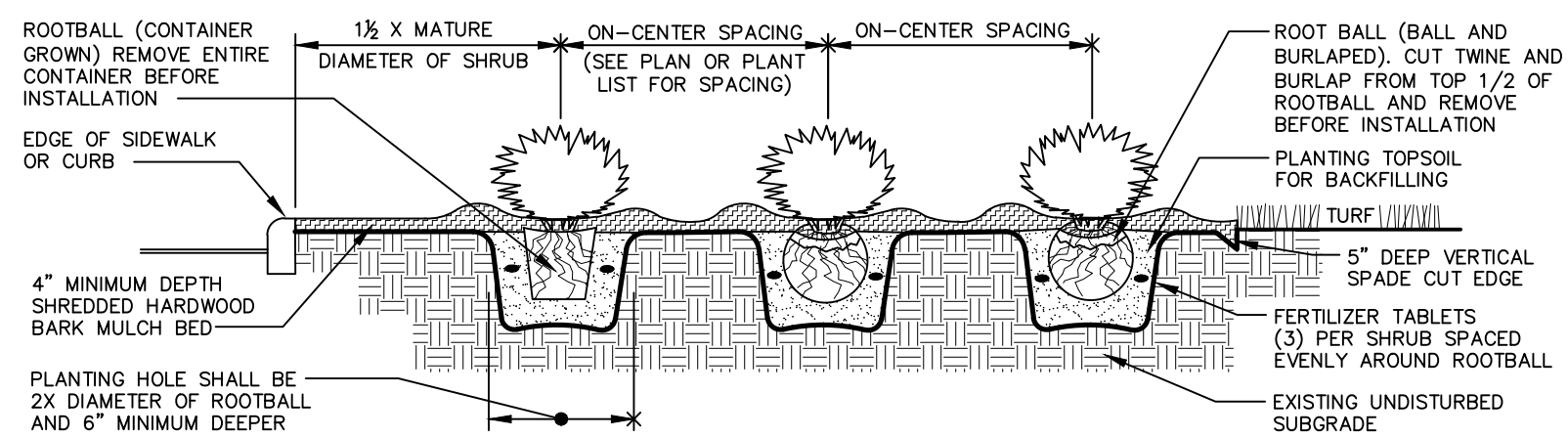
TYPICAL TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)

N.T.S.



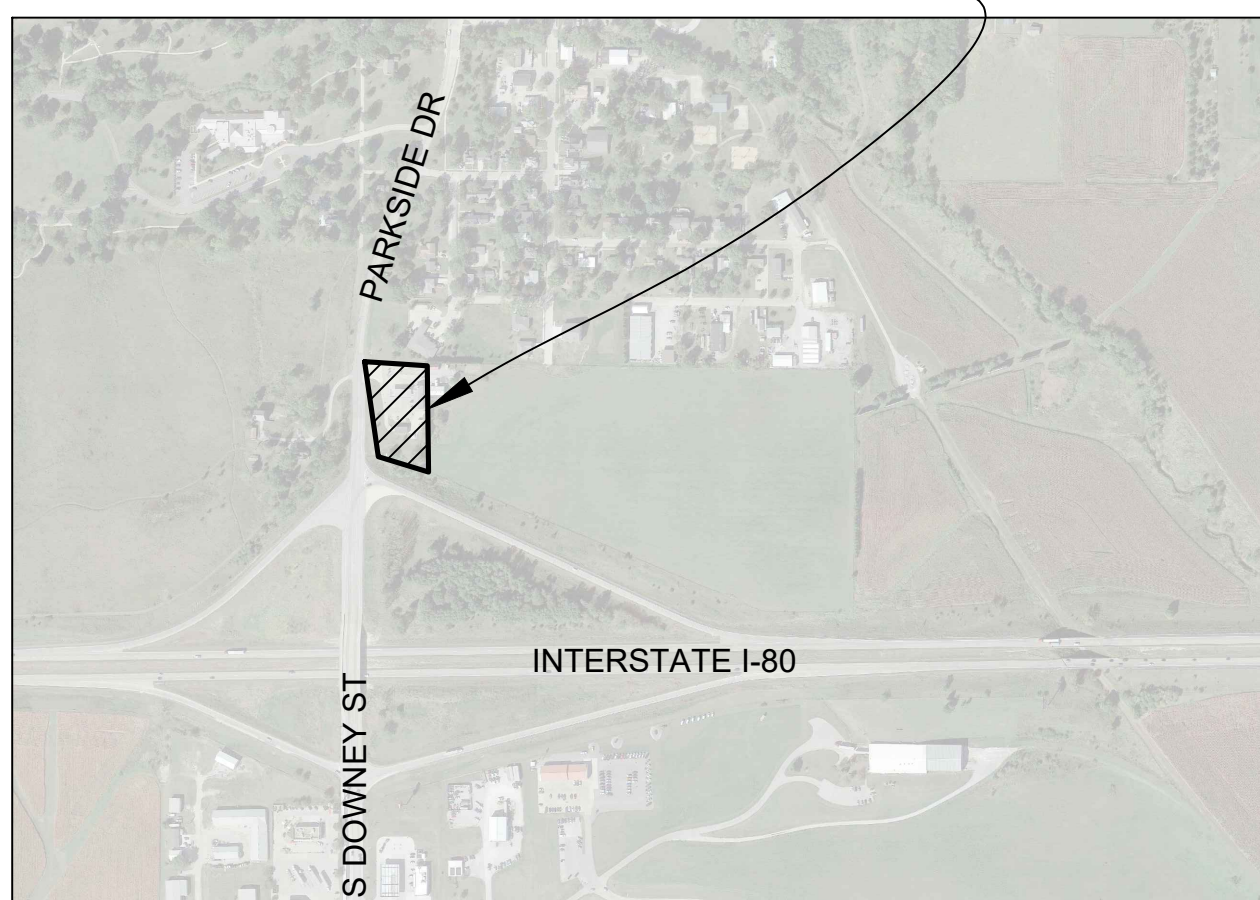
PLANT LIST - TREES					
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE
1	PA	PLATA ARES	NORWAY SPRUCE	9'-4" HT.	10' X 10'
1	QR	QUERCUS RUBRA	RED OAK	7" CAL.	10' X 10'
1	SR	SYRINGA RETICULATA 'NORY SILK'	NORY SILK JAPANESE TREE LILAC	1 1/2" CAL.	10' X 10'
PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER					
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE
4	EA	ELONANUS ALATUS 'COMPACTUS'	COMPACT WINEED ELONANUS	14" HT.	5' X 5'
12	MS	MISCANTHUS SANSIBIS 'SILVERFEATHER'	SILVER FEATHER MISCANTHUS	14" HT.	6' X 4'
10	TO	THUJA OCCIDENTALIS 'WOODWARDII'	GLOBE ARBORVITAE	18" HT.	5' X 5'

UTILITIES

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401 PARKSIDE DRIVE
WEST BRANCH, IOWA



LOCATION MAP

NOT TO SCALE



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
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PUBLIC IMPROVEMENTS

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	1"=50'(H), 1"=5'(V)
Sheet No:	6
of:	7

SITE PLAN 401 PARKSIDE DRIVE WEST BRANCH, IOWA

PLAT PREPARED BY:
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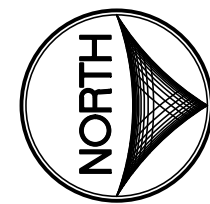
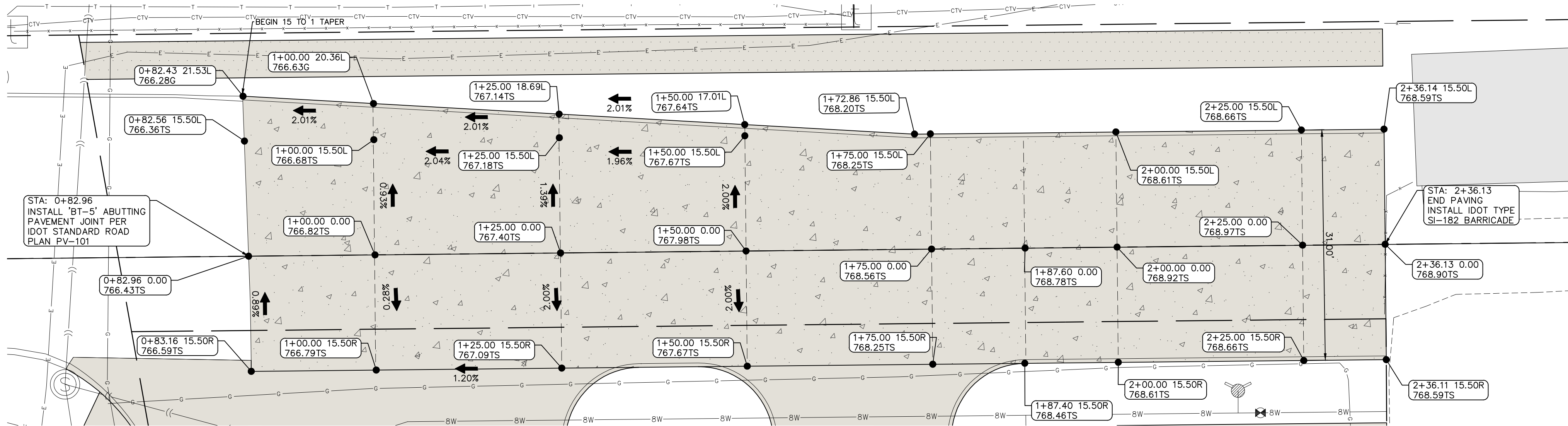
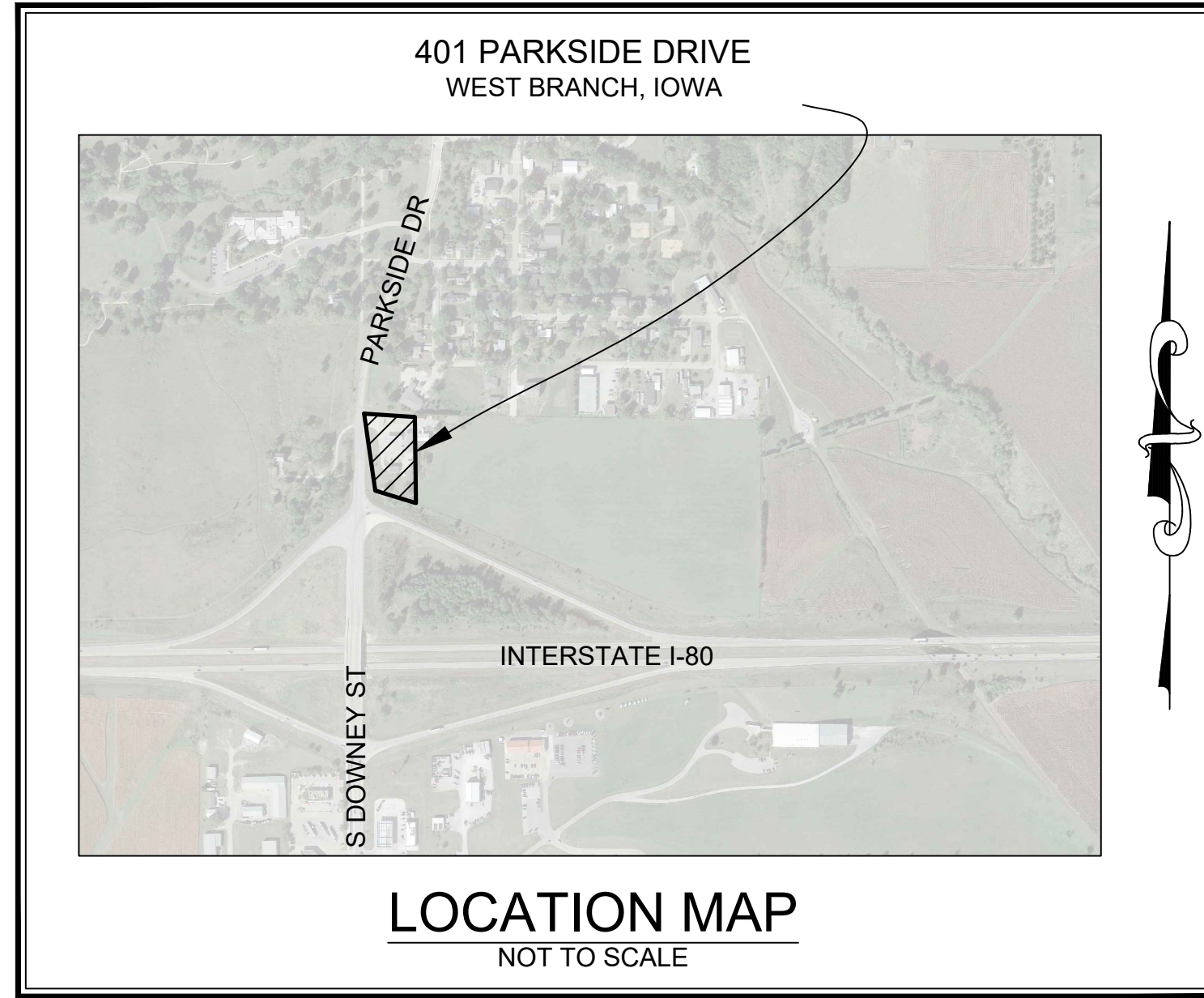
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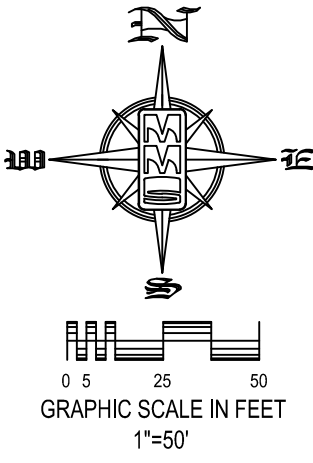
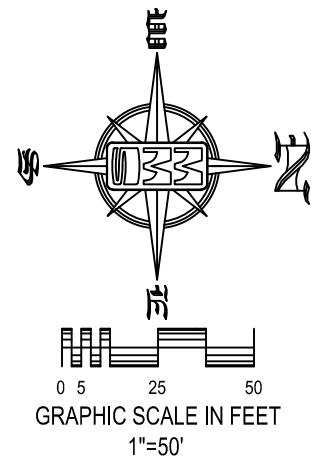
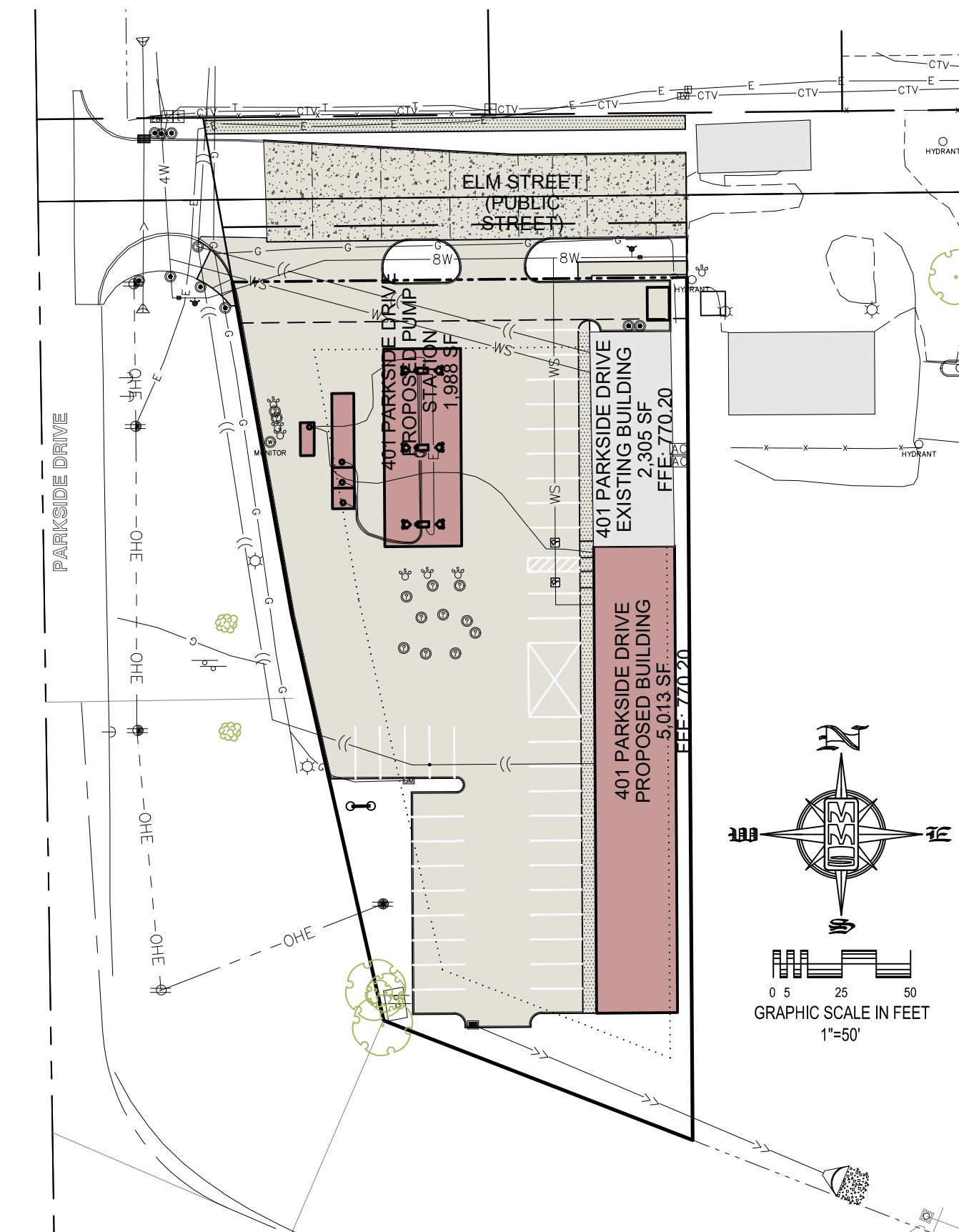
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22-1

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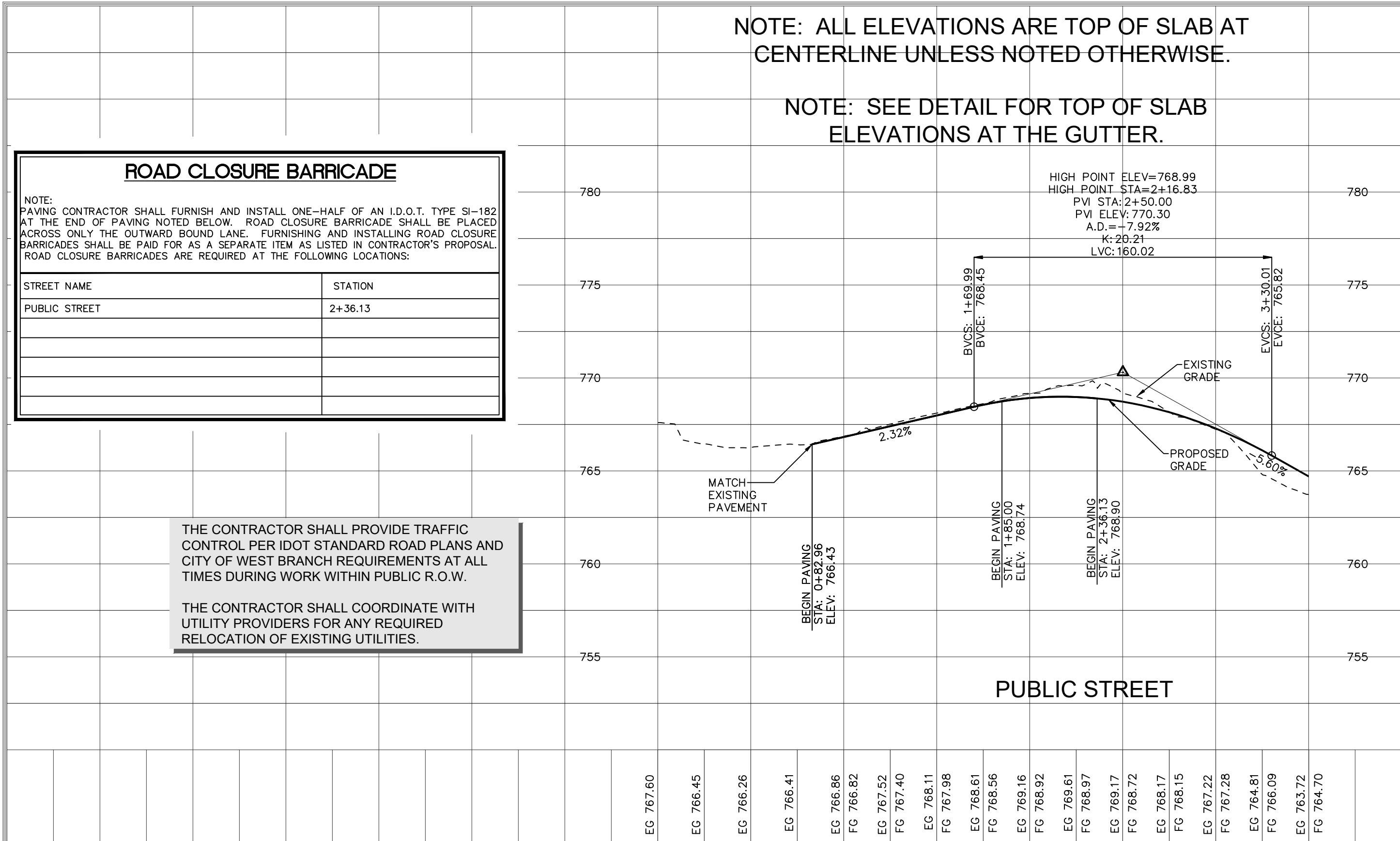
ENLARGED PAVING PLAN
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SANITARY SEWER AND WATERMAIN NOTES

- 1) SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2016) AS AMENDED.
- 2) SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.2.01.E), CONTECH A-2000, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-23.5 WITH GASKETED JOINTS.
- 3) WATER MAINS SHALL BE DIP CLASS 52 WITH NITRILE GASKETS.
- 4) CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 SERIES COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- 5) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 6) ALL SANITARY SEWERS SHADED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
- A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
- B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- 7) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- 8) CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- 9) ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL OR CITY ENGINEER APPROVED EQUAL.
- 10) ALL MANHOLES TO BE TURNED OVER TO CITY SHALL:
- 1) WILL NOT SHOW STEPS.
- 2) WILL HAVE EXTERNAL CHIMNEY SEAL BY INFISHIELD UNIBAND, CRETEX, OR APPROVED EQUAL.
- 3) WILL HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
- 4) WILL HAVE RISERS RINGS OF CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING OR STANDARD PCC. IF PCC RINGS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, I.E. WOOD, BRICK, ROCKS, ETC.
- 5) WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.

ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :

- 9) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
- 10) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- 11) THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 x 4. PAINTED GREEN.
- 12) ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER INUNDATION SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUAL. ALL SANITARY MANHOLES IN PAVING SHALL HAVE 3-PIECE FLOATING CASTING

AIR TESTING

- 13) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
- NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.
- A. PERFORM FROM MANHOLE--TO-MANHOLE AFTER BACKFILL.
- B. PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
- C. INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 psi & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
- D. LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
- E. ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
- F. MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

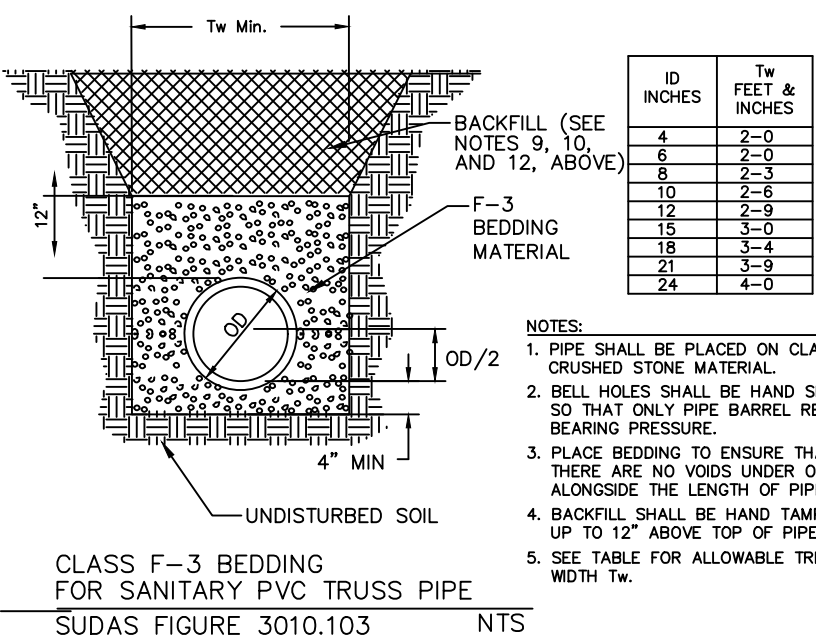
PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5

G. IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.

H. LOCATE, REPAIR AND RETEST LEAKS.

I. AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.

- ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
- A) DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
- B) DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
- C) NO PIPE SHALL EXCEED A DEFLECTION OF 5%.



THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED :

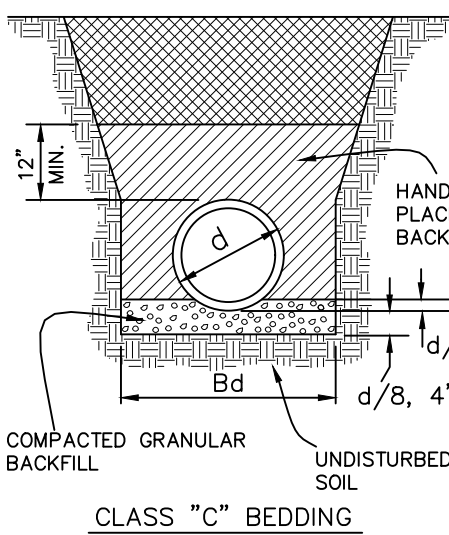
- 14) WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- 15) WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- 16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- 17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
- 18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- 19) EXISTING OR PROPOSED VALVE BOXES THAT FALL WITHIN PAVEMENT MUST HAVE A SLIP-TYPE VALVE BOX.
- 20) THE ENTIRE WATERMAIN SYSTEM, INCLUDING SERVICES TAPS IF APPLICABLE, SHALL BE PRESSURE TESTED PER AWWA C600. THE TEST SHALL BE PERFORMED AT A MINIMUM OF 150 psi FOR 2 HOURS WITH A MAXIMUM LOSS OF 5 psi.
- 21) WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SPECIFICATIONS.
- 22) FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURIAN 250 OR APPROVED CITY EQUAL THAT OPEN RIGHT.
- 23) BED WATER MAIN ON NATIVE MATERIAL, DIG IN BELLS, AND BACKFILL WITH SUITABLE MATERIAL.
- 24) ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONSHIELD ANTI-MICROBIALADDITIVE INCORPORATED IN THE CONCRETE MIX.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STORM SEWER NOTES

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
- A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
- B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 7) ALL STORM SEWERS SHALL HAVE CONFINED "10" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

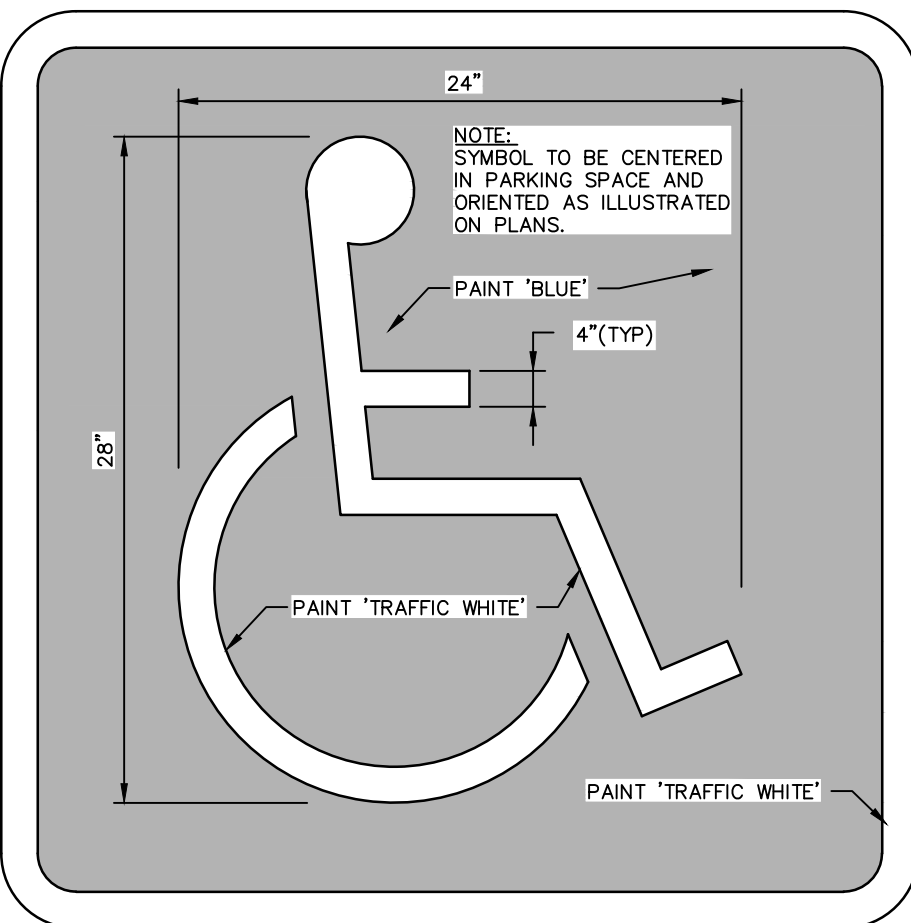


- NOTES:
1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bd.

ID INCHES	Bd FEET & INCHES
12	2'-3
15	2'-9
18	3'-0
21	3'-3
24	3'-6
27	4'-0
30	4'-3
36	4'-9
42	5'-6
48	6'-3

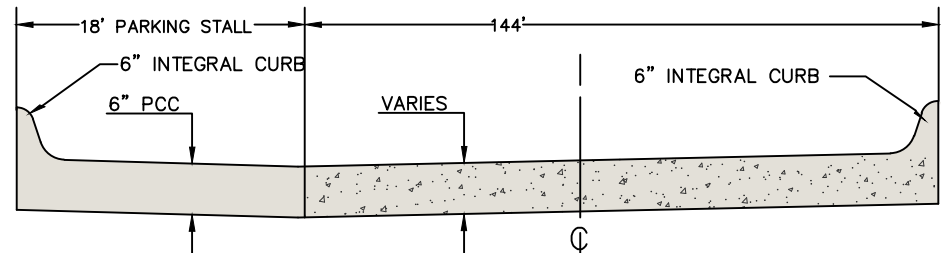
ACCESSIBLE PARKING SYMBOL

N.T.S. IOWA STANDARD ROAD PLAN DETAIL: PM-111 "WSPB"



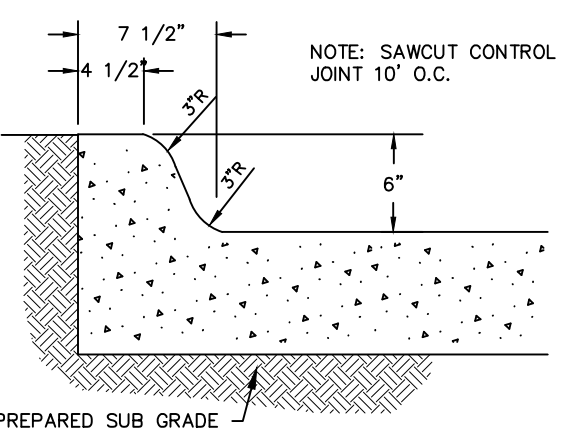
TYPICAL DRIVE/PARKING SECTION

N.T.S.



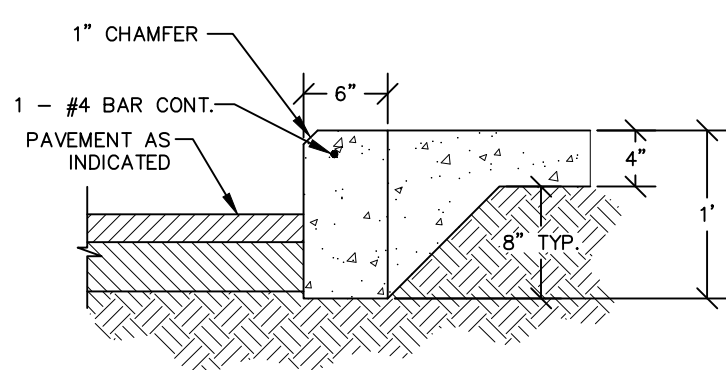
6" STANDARD CURB DETAIL

N.T.S.



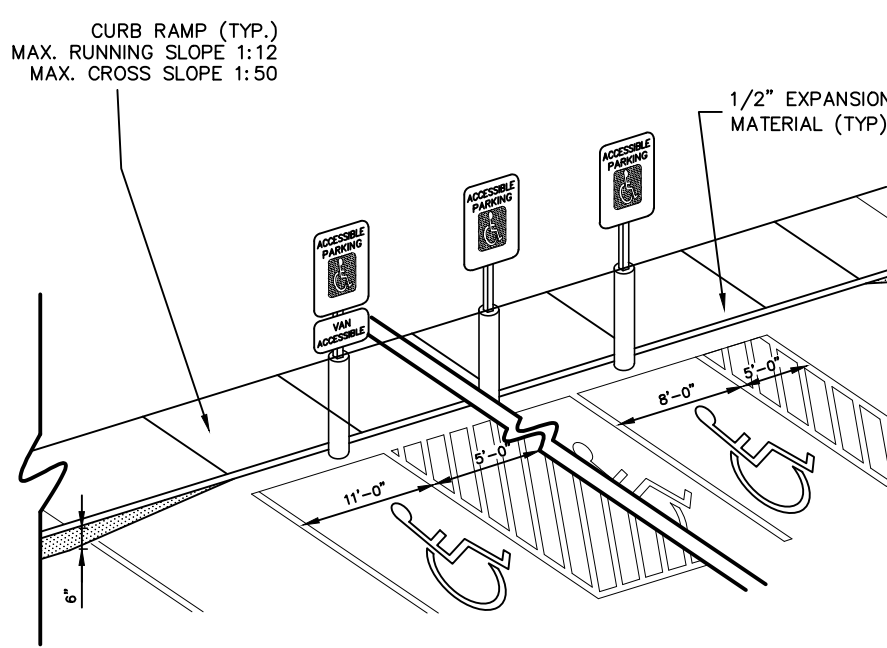
SIDEWALK THICKENED EDGE

N.T.S.



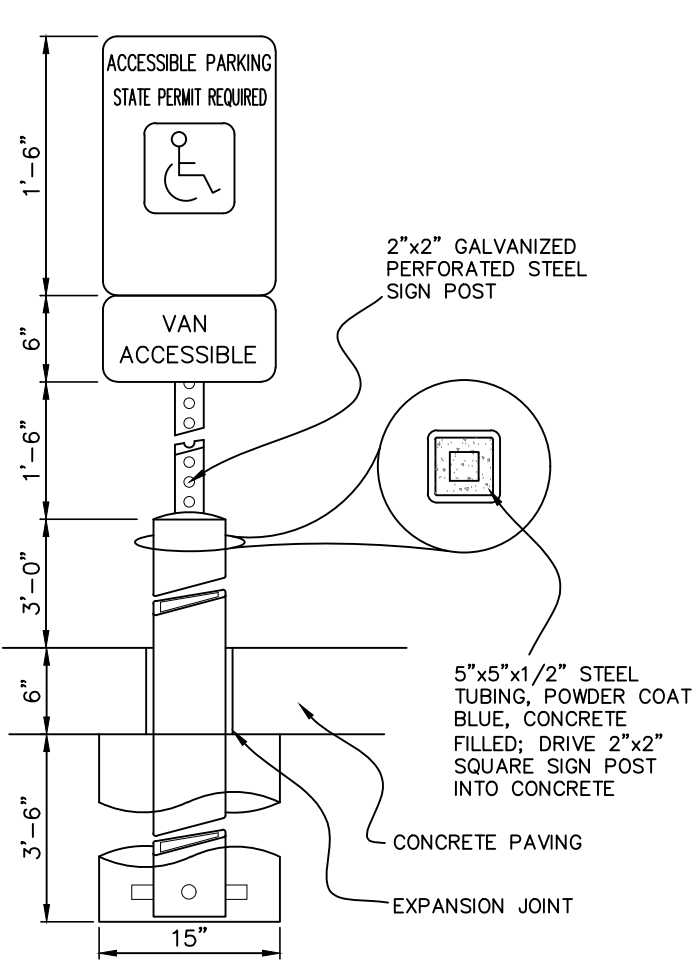
ACCESSIBLE PARKING DETAIL

N.T.S.



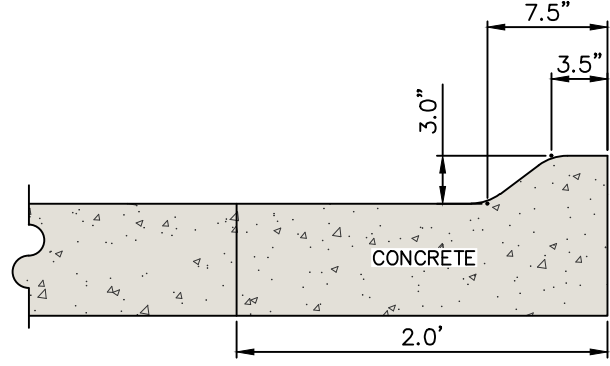
ACCESSIBLE SIGN DETAIL

N.T.S.



3' ROLL CURB DETAIL

N.T.S.



0.92 ACRES



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IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
03-02-2020	REVISED GRADING - BJC
06-09-2020	REVISED INTAKE #1 - BJC/JEB
05-26-2021	REVISED PUMPS AND WATER SERVICE - JLE
06-16-2021	REVISED PER CLIENT COMMENTS - JEB

G:\6992\6992-306\6992-306Y.DWG

GENERAL NOTES AND DETAILS

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH 6992-306
Field Book No:	
Scale:	NTS
Sheet No:	7
of:	7

SHEET INDEX

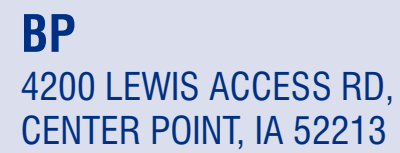
- 1 SITE LAYOUT AND DIMENSION PLAN
2 DEMOLITION PLAN
3 GRADING AND EROSION CONTROL PLAN
4 UTILITY PLAN
5 LANDSCAPE PLAN
6 PUBLIC IMPROVEMENTS
7 GENERAL NOTES AND DETAILS

APPROVAL		
<input type="checkbox"/> Approved	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Not Approved Resubmit with Changes
<hr/> Print Name	<hr/> Title	
<hr/> Signature	<hr/> Date	

Approved

Approved as Noted

Not Approved
Resubmit with Changes







Date: 05.15.19 | Blair #: 81448 | BPL 8144511_19









SCOPE OF WORK - INCLUDED	
BUILDING	1. 2. 3. 4.
CANOPY	1. 2. 3. 4.
MID 1	1. NEW BLAIR 81" GOAL POST ON NEW FOUNDATION 30' OAH 2. 3.
MID 2	1. 2. 3. 4.
ADDITIONAL SCOPE	1. 2. 3. 4.

SCOPE OF WORK - NOT INCLUDED	
BUILDING	1. 2. 3. 4.
CANOPY	1. 2. 3. 4.
MID 1	1. 2. 3. 4.
MID 2	1. 2. 3. 4.
ADDITIONAL SCOPE	1. 2. 3. 4.

BP COLOR SPECIFICATIONS		
	VINYL MATCH	PAINT MATCH
	DIGITALLY PRINTED TO MATCH	PMS 348 GREEN SATIN FINISH
	3M 3630-136 LIME GREEN VINYL	NA
	DIGITALLY PRINTED TO MATCH	NA
	3M 11-03-40L WHITE VINYL	WHITE SATIN FINISH

BP COLOR SPECIFICATIONS		
	VINYL MATCH	PAINT MATCH
	3M 3630-8549 SULTAN BLUE VINYL	NA
	3M 3630-8043 LIGHT BLUE VINYL	NA
	DIGITALLY PRINTED GRAPHIC	NA
	CUSTOM SCREENED GRAPHIC	NA

BRAND STANDARD REVISION DATE:	<input type="checkbox"/> All provided image elements and/or services meet the current brand revision.
	<input type="checkbox"/> The following image elements and/or services do not meet the current brand standard due to municipal code and/or specific site conditions. _____

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F: 814.949.8293

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PROJECT INFORMATION

CLIENT:
BP

ADDRESS:
4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER:
81448

DATE:
05.15.19

RENDERED:
FD

FILE NAME:
BPL 8144511_19

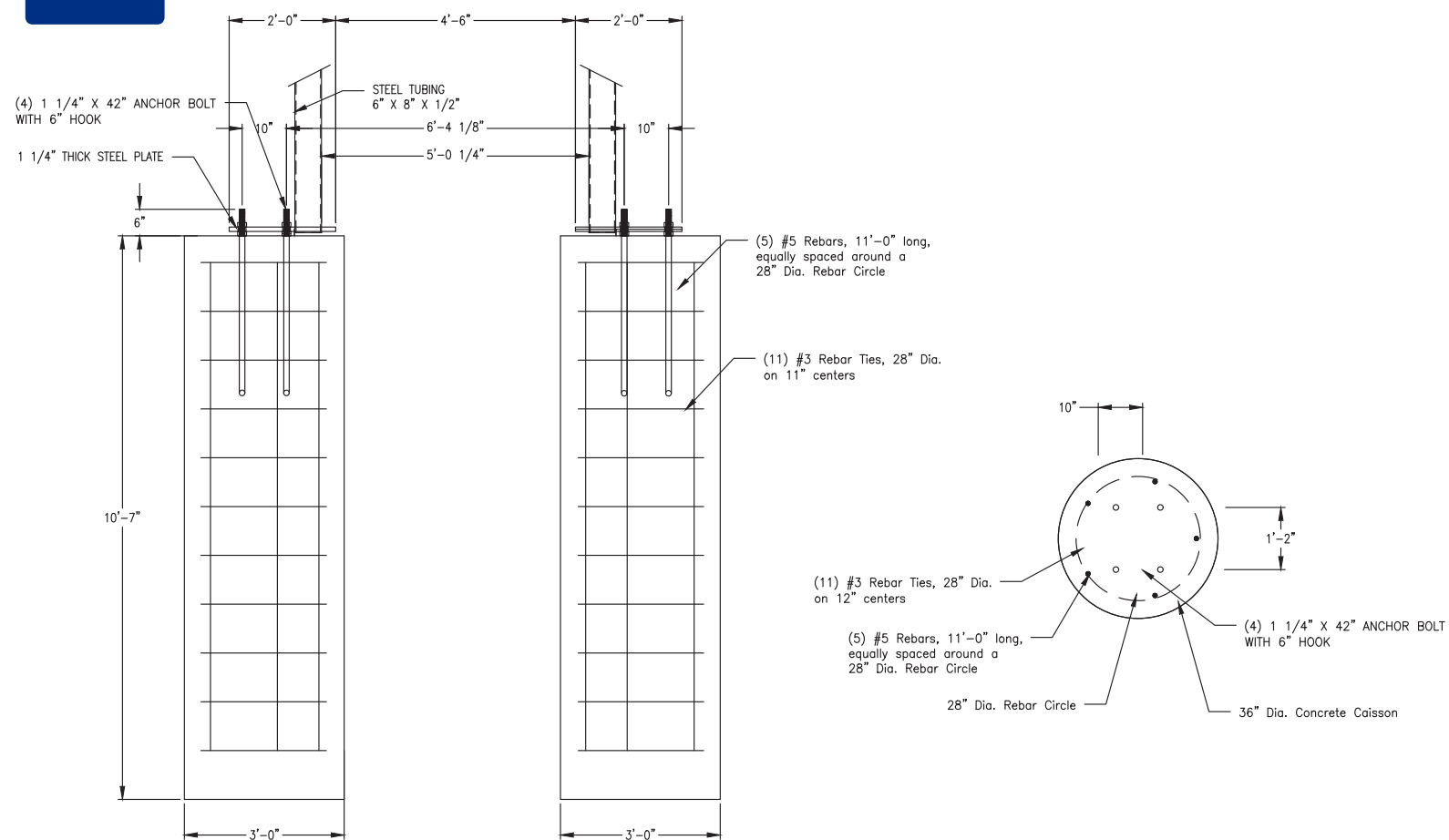
CATEGORY:

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.



PROPOSED - BP MID



1.

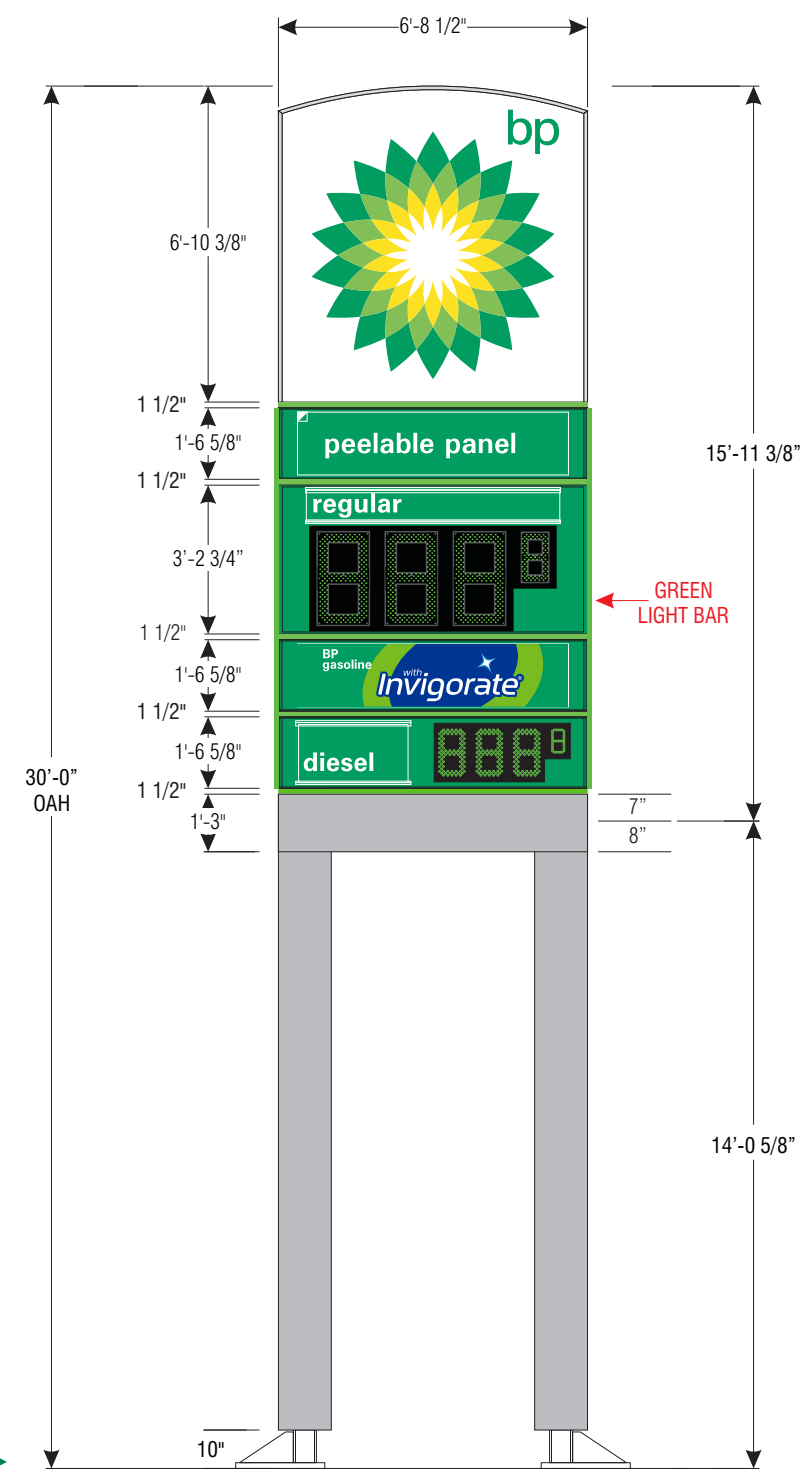
1. NEW BLAIR 81" GP ON NEW FOUNDATION

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GOAL POST FOUNDATION DETAIL
NOT FOR CONSTRUCTION PURPOSES - REQUIRES ENGINEERING APPROVAL



NEW 81" MID GOAL POST SIGN ON NEW FOUNDATION

SCALE: 1:50



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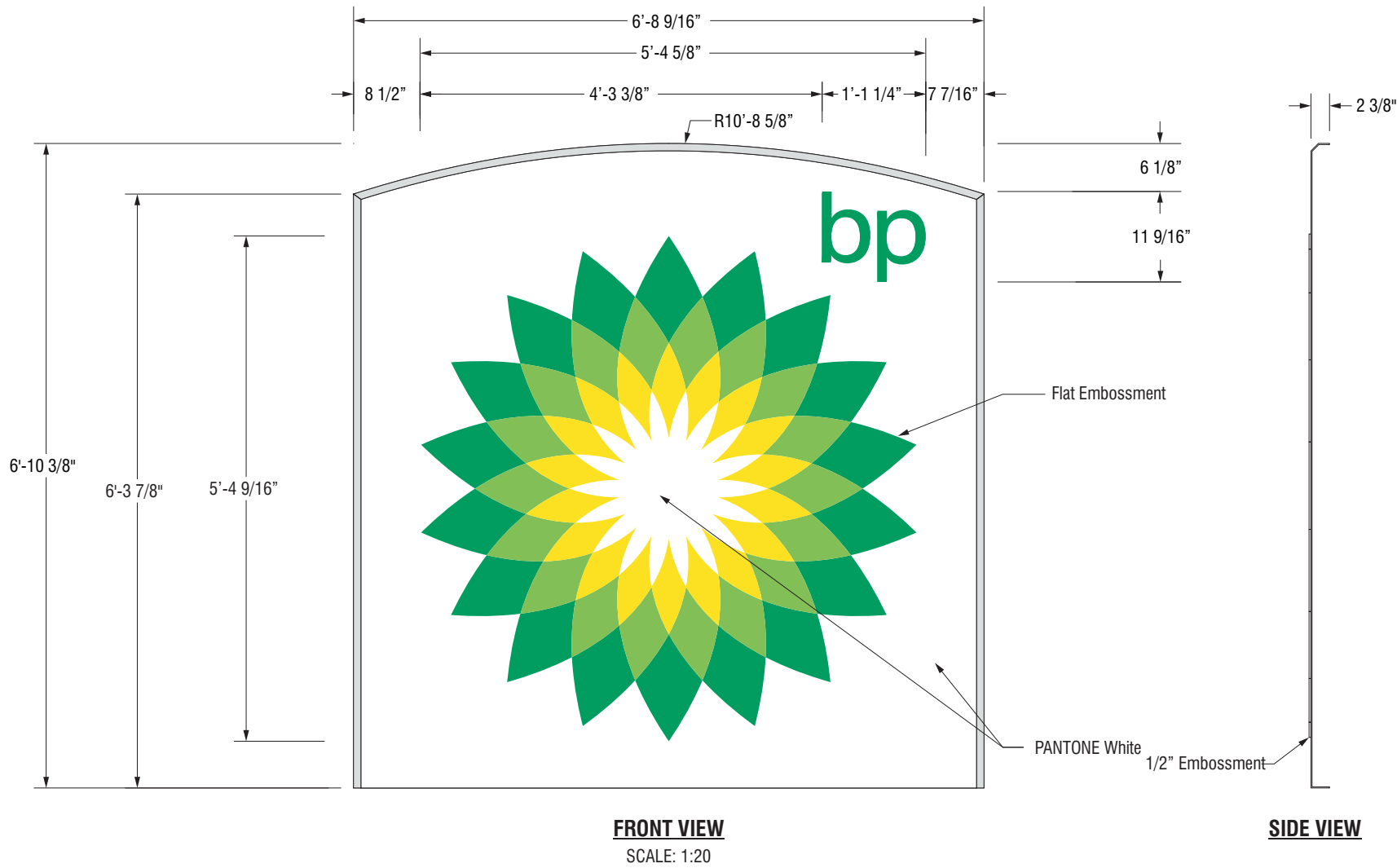
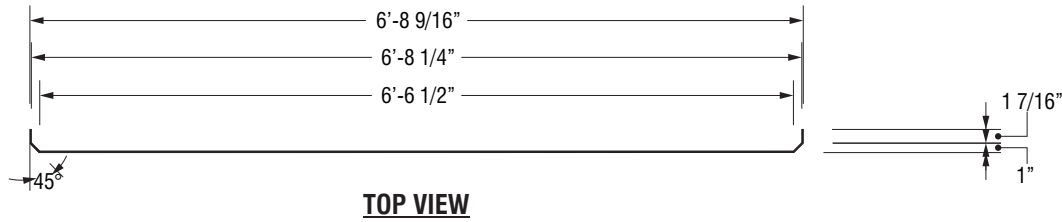
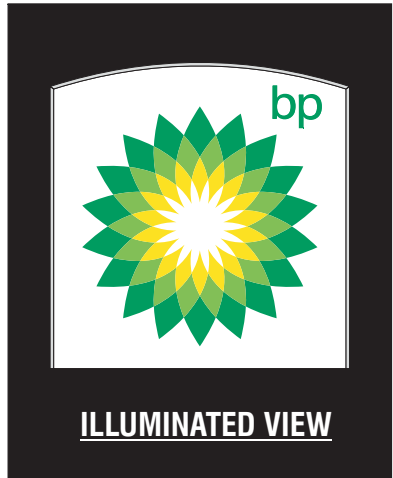
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BPL 8144511 19

CATEGORY:

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REVISION

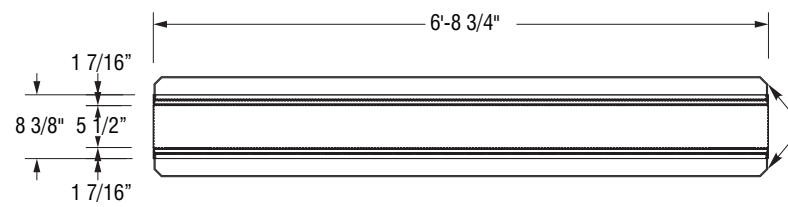
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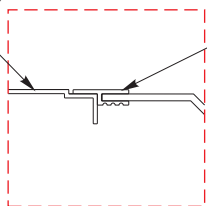


TOP VIEW

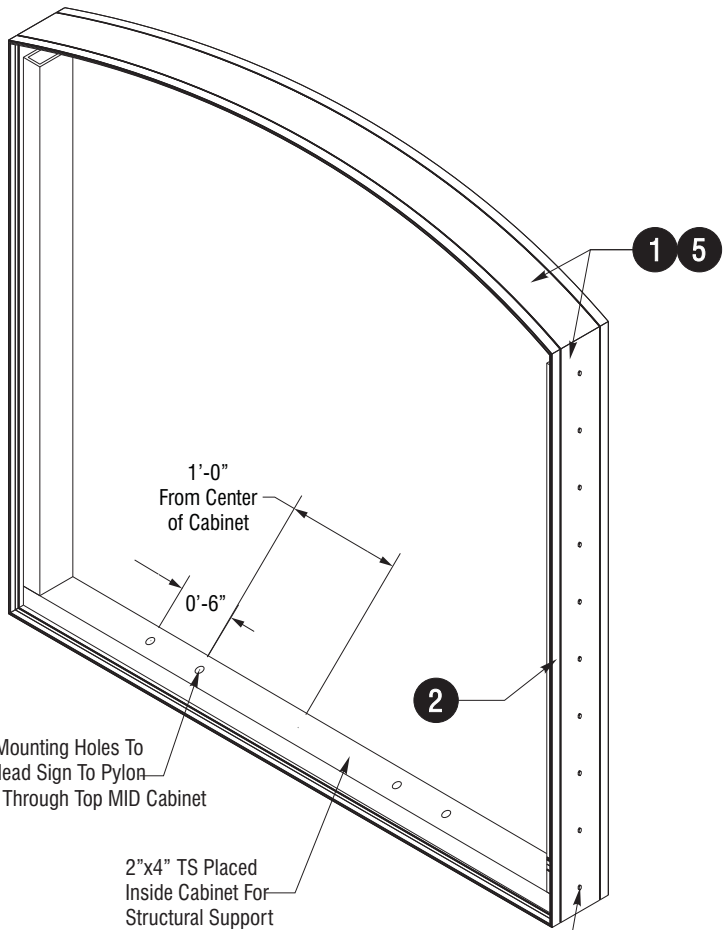
Faces Shown For Reference Only

1

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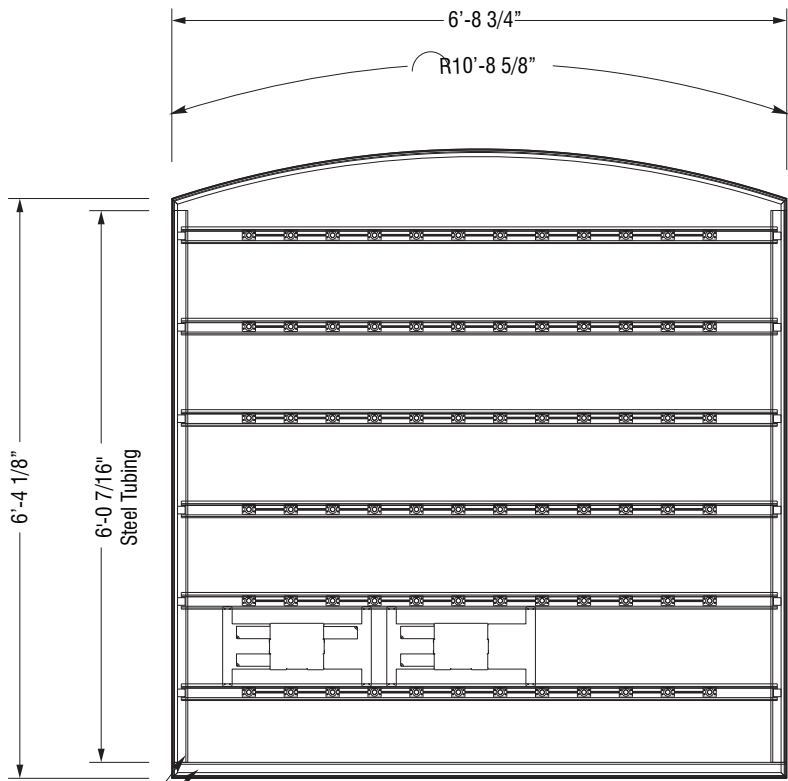


Detail-A

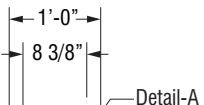


ISOMETRIC VIEW

Cabinet Body Secured To Tube Steel Using Tek Screws



FRONT VIEW



SIDE VIEW

- SPECIFICATION:**
- 1. EXTRUSION PENNEX #12200-S 7" x *15'-8" DOUBLE FACE BODY
 - 2. 26" H-1 INTERNAL RETAINER MILL FINISH
 - 3. ALUMINUM, ANGLE, 1-1/2" X 1-1/2" X 1/8", 25FT LENGTH, 6061, T6 - ** Corner Angles **
 - 4. STEEL, TUBING, 2" X 4" X 1/4", 40FT LENGTH, A500B
 - 5. Paint PMS White - ** Semi Gloss **
 - 6. LED, WHITE
 - 7. POWER SUPPLY

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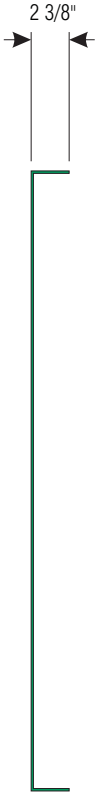
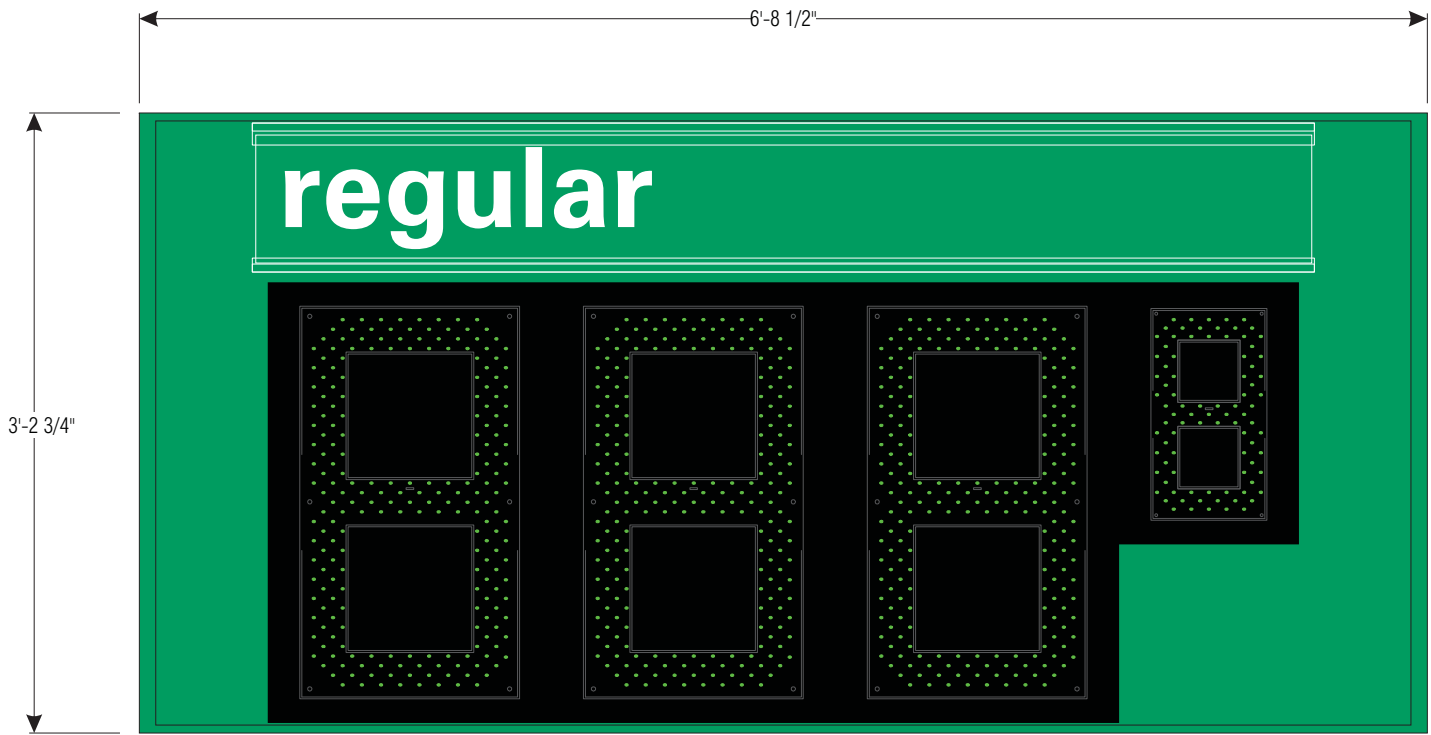
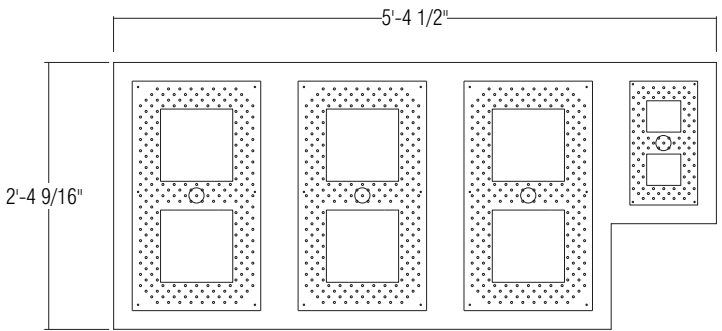
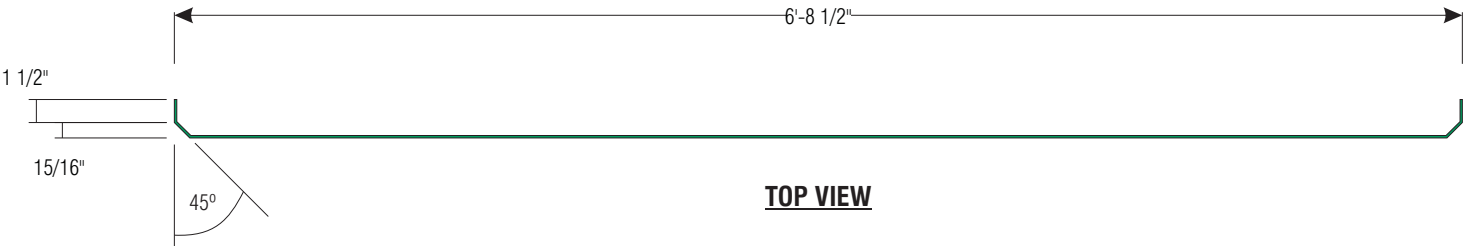
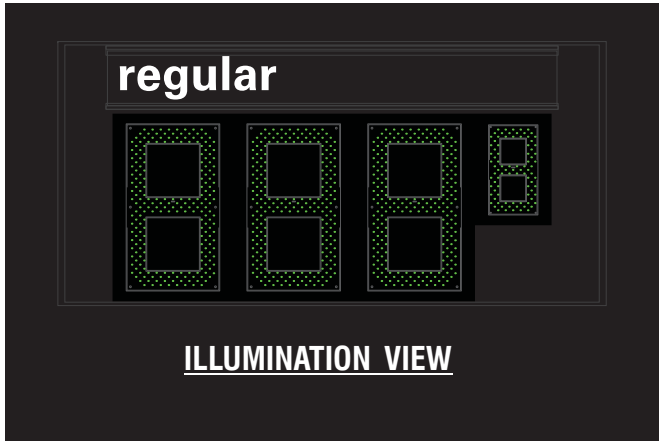
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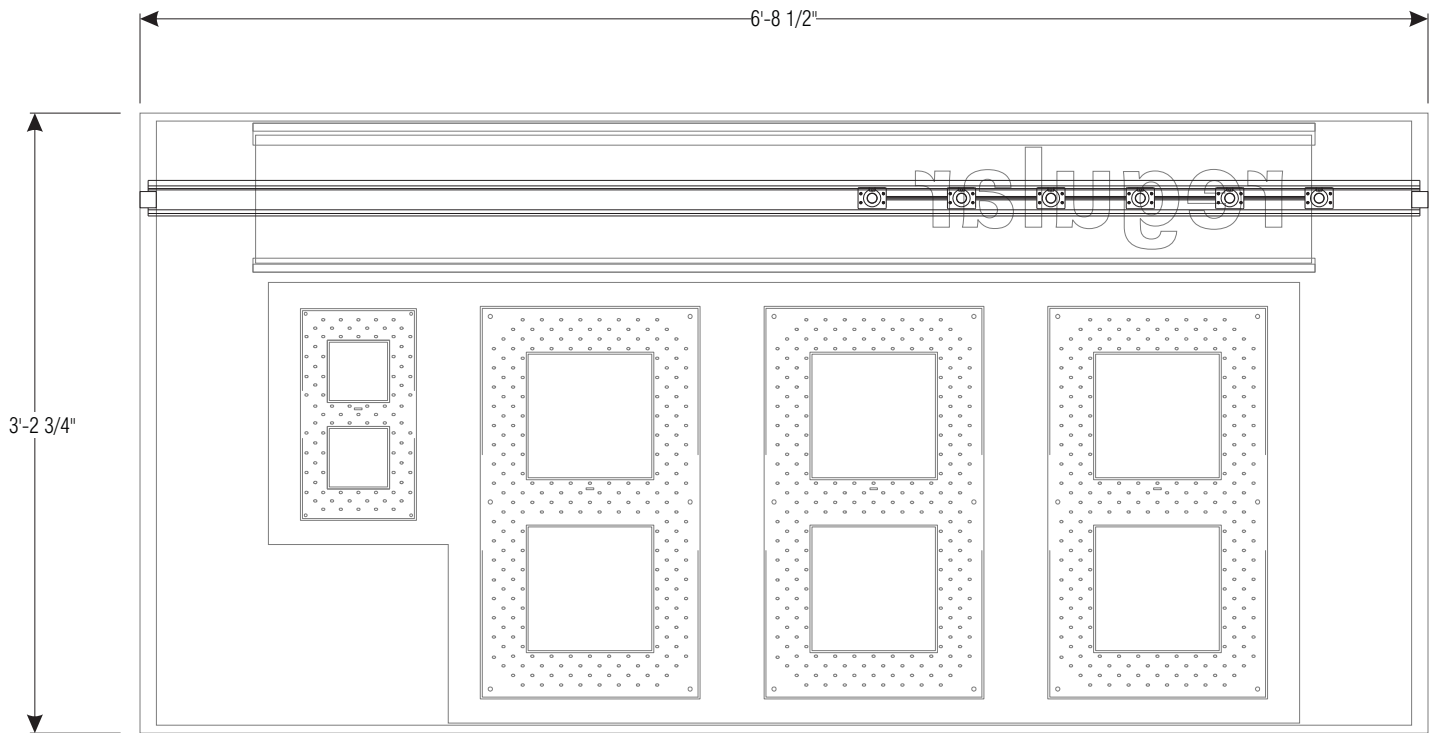
FRONT VIEW
SCALE: 1"= 1'-0"

SIDE VIEW

CUSTOMER INITIALS

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05.15.19

RENDERED: _____
FD

FILE NAME: _____
BPL 8144511_19

CATEGORY: _____

REVISION

Drawing will expire 90 days after date on cover. If production request is sent in after 90 days, 24 hours is required to review approval.





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ARCHITECTURAL IMAGING
SIGNS • FIXTURES • LIGHTING

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Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blaircompanies.com

PROJECT INFORMATION

CLIENT: BP

ADDRESS: 4200 LEWIS ACCESS RD,
CENTER POINT, IA 52213

M NUMBER: 81448

DATE: 05.15.19

RENDERED: FD

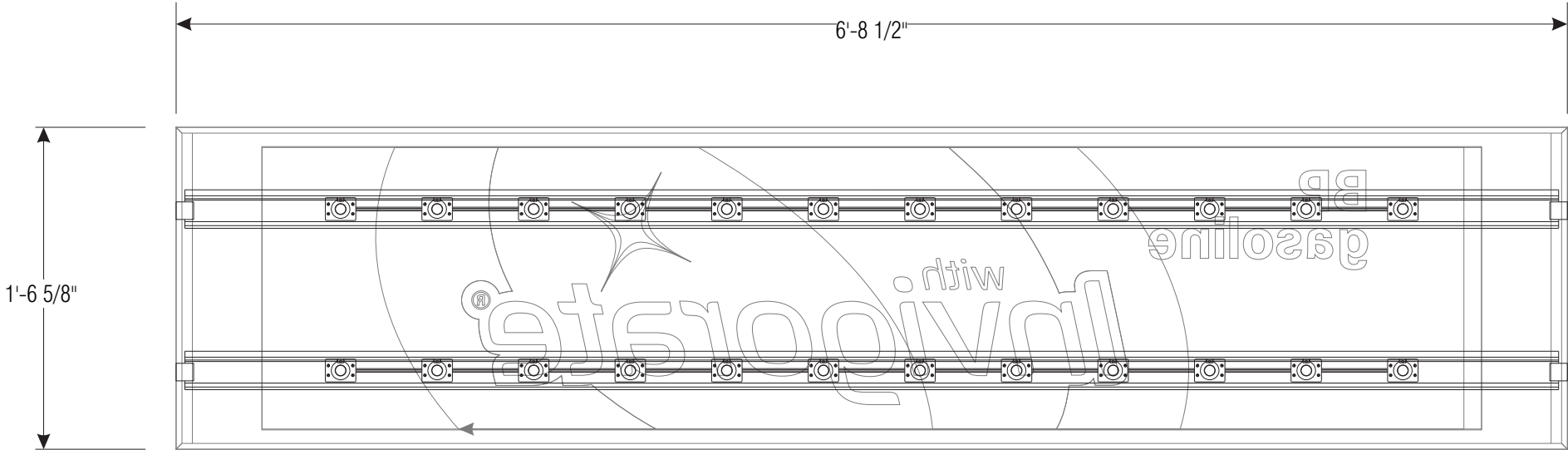
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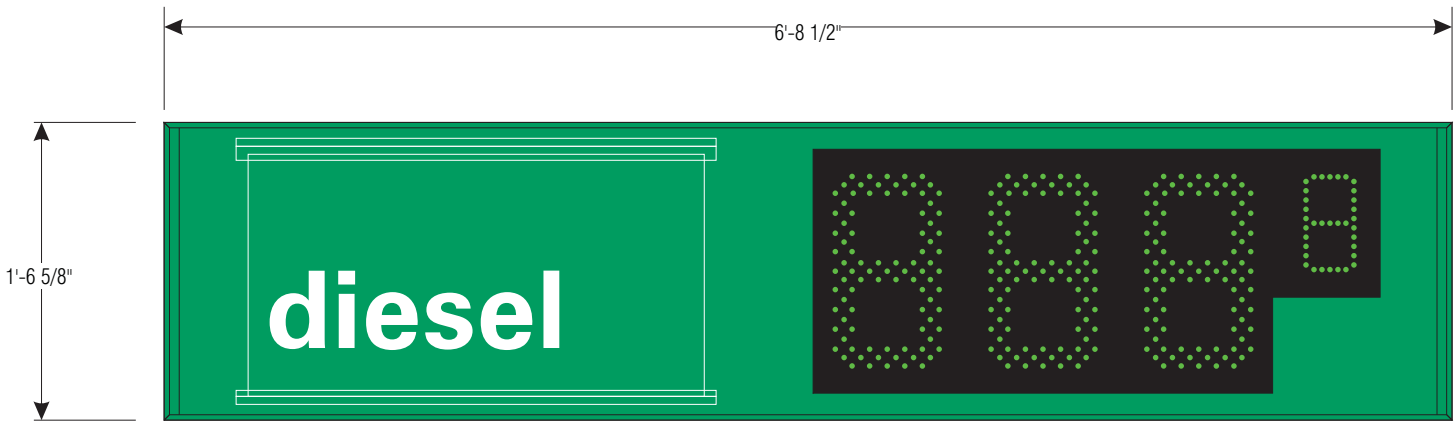
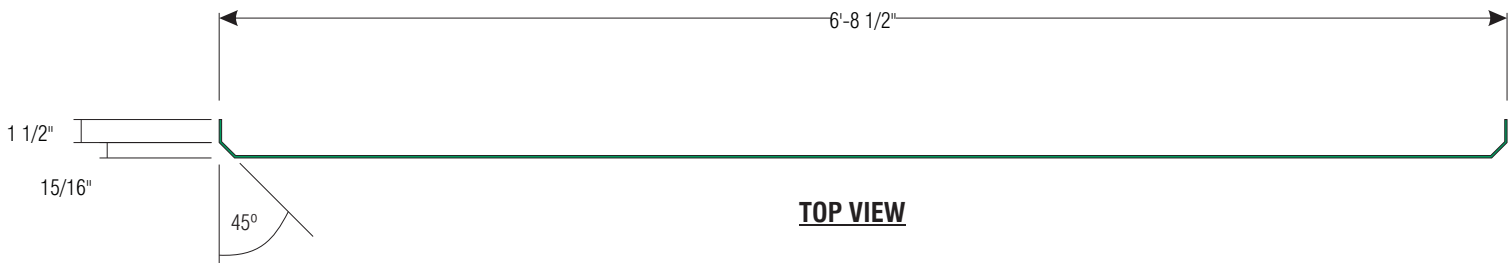
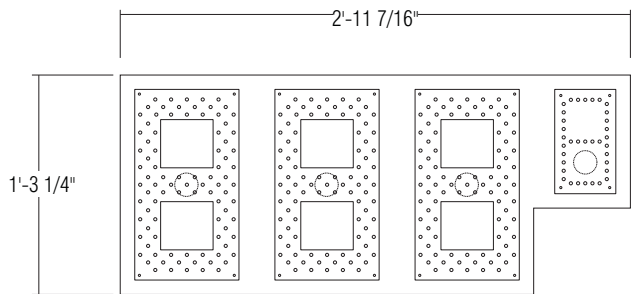
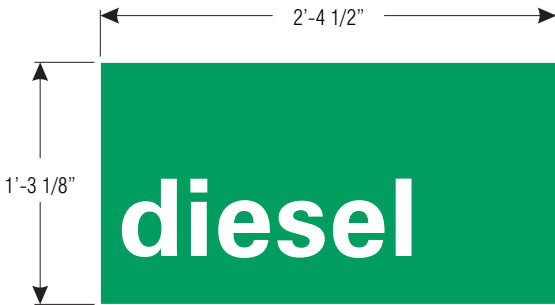
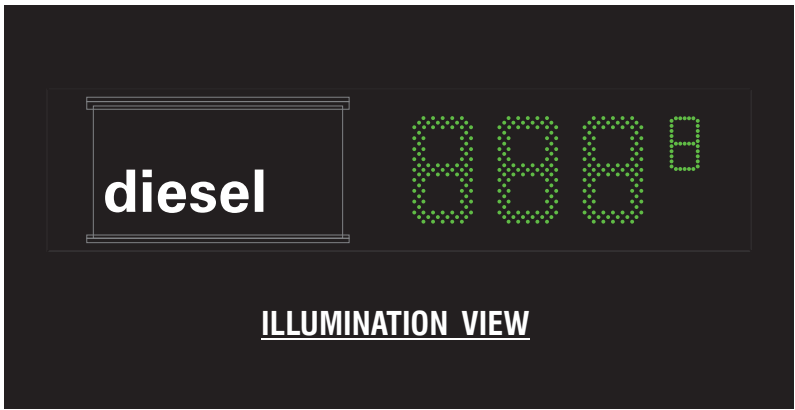
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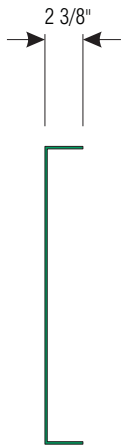
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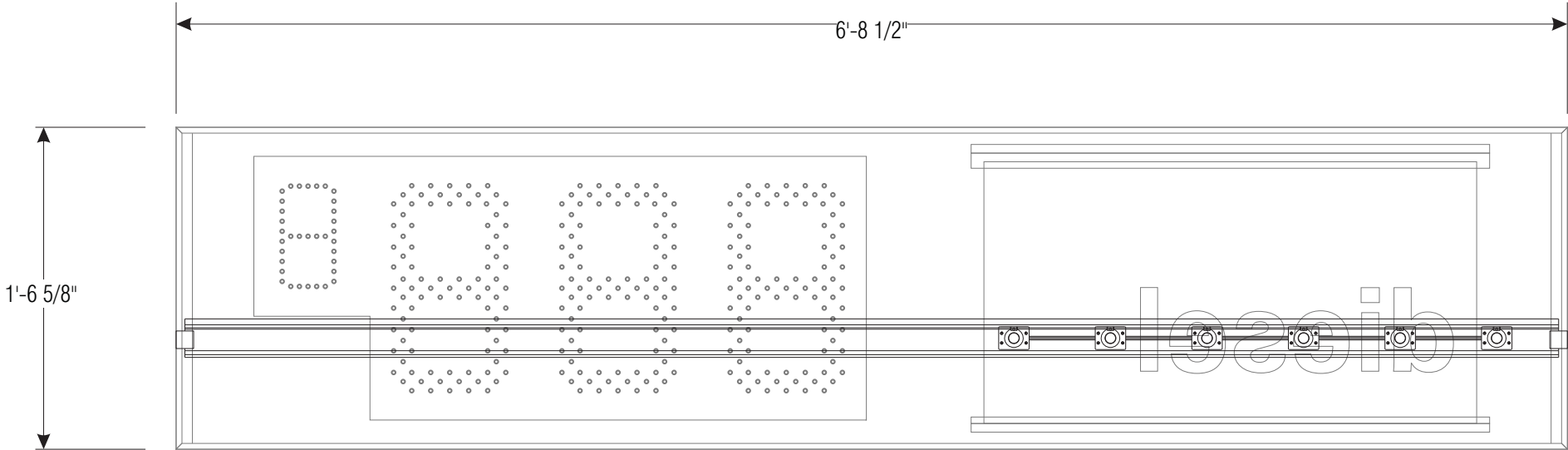
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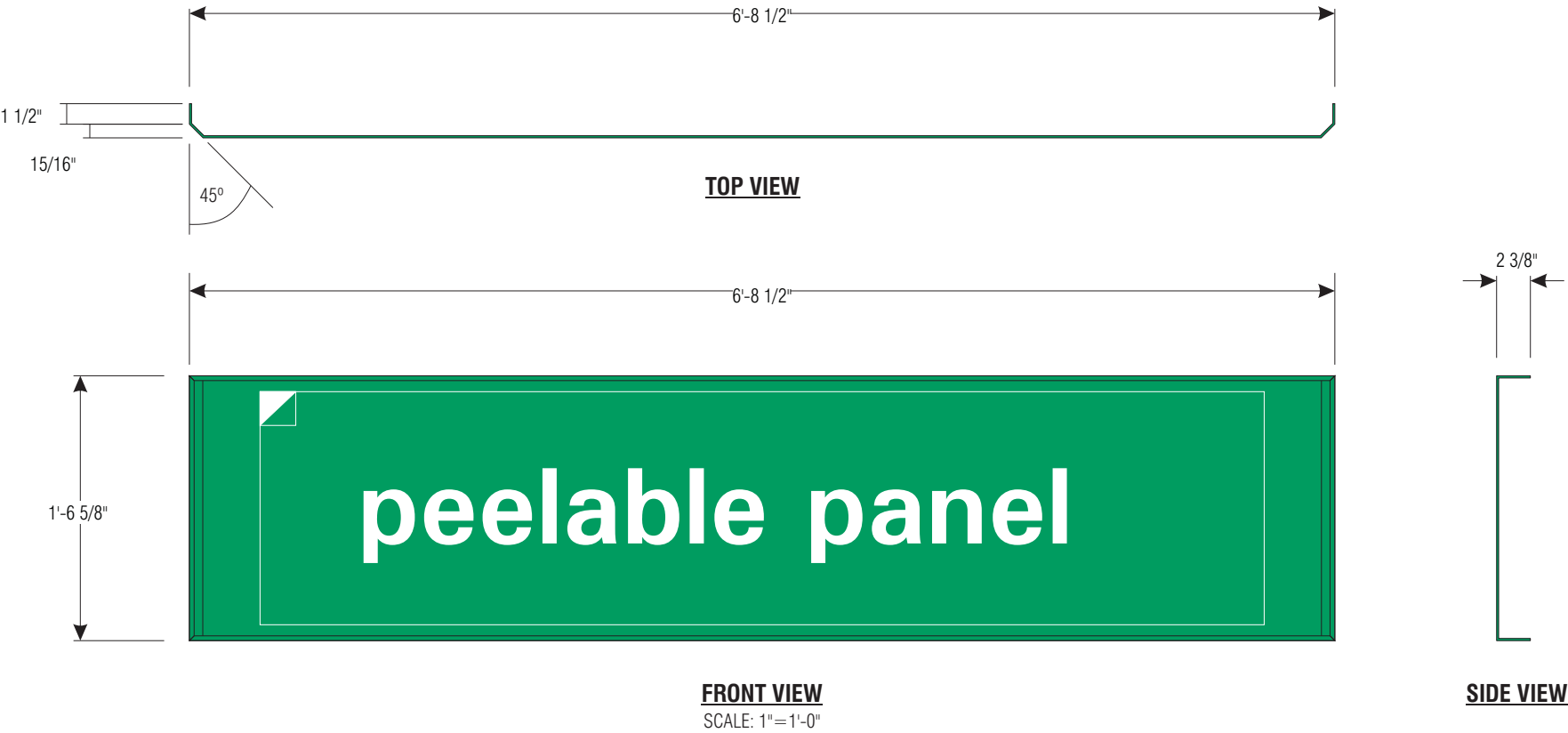
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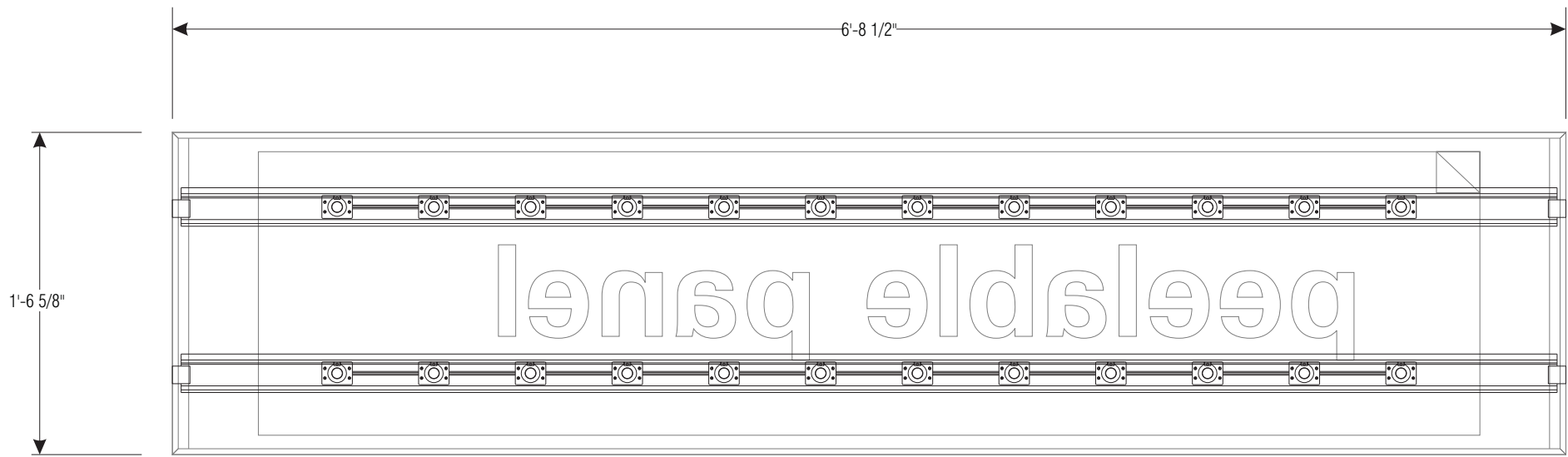
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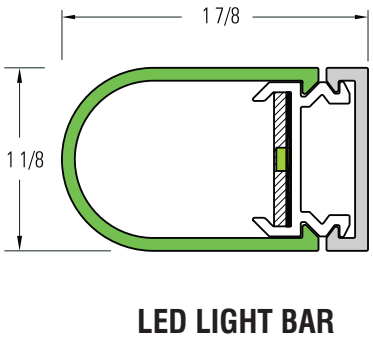
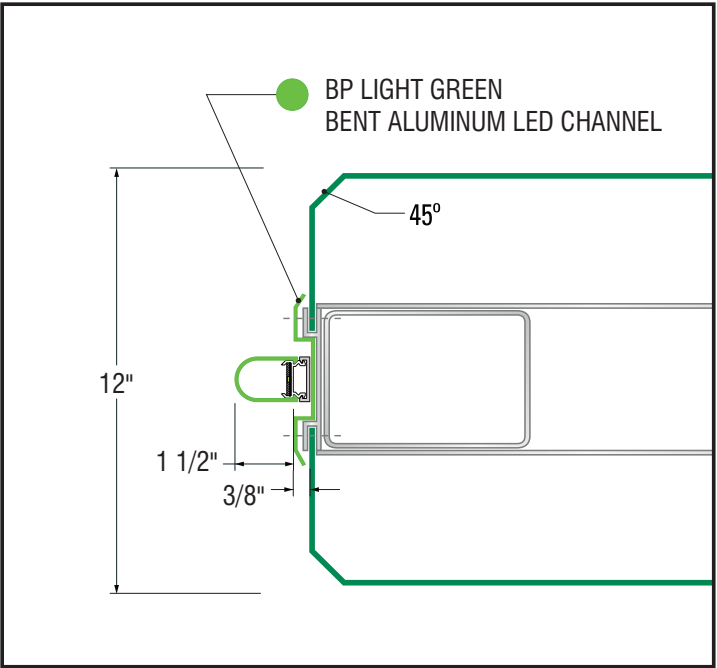
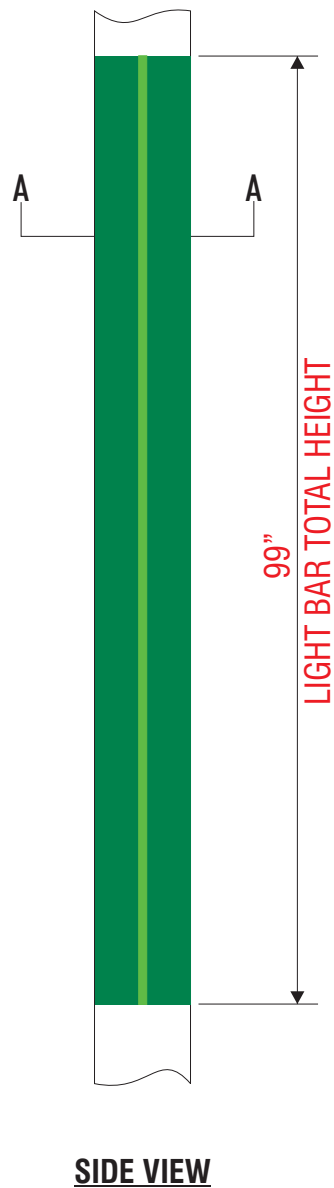
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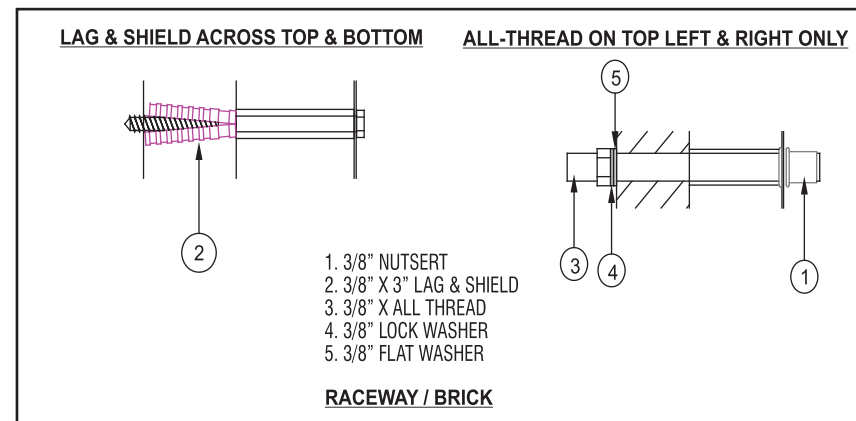
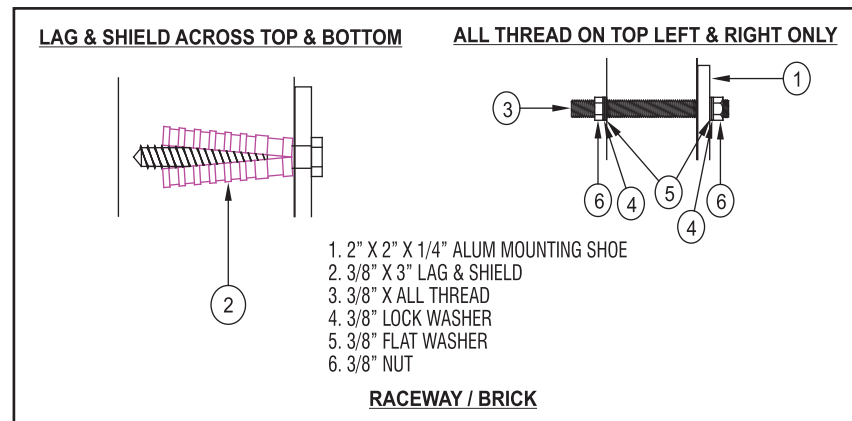
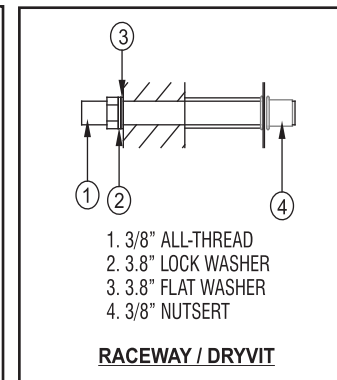
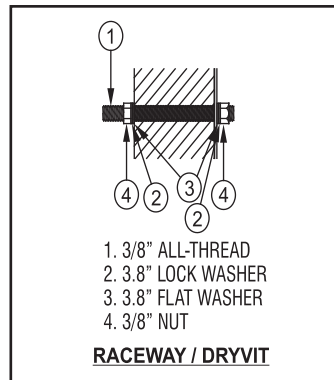
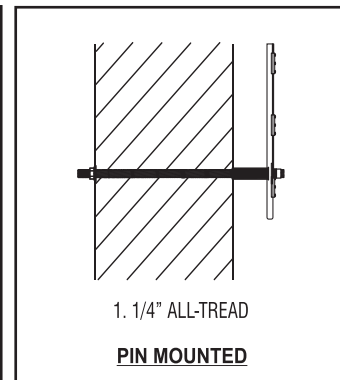
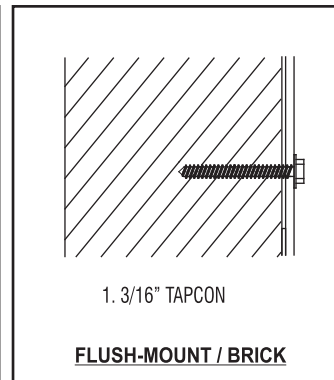
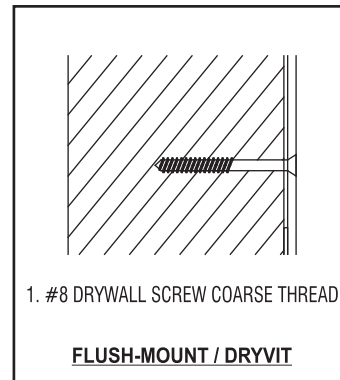
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INSTALLATION EXAMPLES



All necessary hardware to be supplied by the installer.

Service contact: 814-283-2177

Service hours: 8:00 am to 4:30 pm est, Monday -Friday
For after hours/holiday emergencies, please call 800-563-9598
www.blaircompanies.com/bpsupport

SAFETY CRITERIA

All employees are recommended to possess a valid API certification, follow the established guidelines set forth by API as well as follow any local, state, or federal laws.

- Perform a Pre-Task Job Safety Analysis
- Understand how and where to obtain First-Aid and Medical treatment, including CPR.
- Use the proper level of PPE per the assigned task.
- Only use tools that are in safe working order before using them.
- Always use tools for their intended purpose and never over their safe working limit.
- Employees operating vehicles must conform to all DOT requirements as well as API regulations.
- Use proper fall arrest equipment.
- Understand the requirements for working at height on a job site.
- Properly barricaded the work area from the public in accordance with Section 8 of the API guidelines.
- Only competent and trained people using approved equipment in a manner in accordance with Section 10 of the API guidelines should perform lifting duties.
- Follow all approved lock-out tag-out policies when de-energizing equipment.

Examples of Equipment Include: Personal Protective Equipment, Barricade, Crane, Hoist, Bucket Truck, Scissor Lift, Ladder, Vinyl Applicators (Squeegee or Application Liquid), Welder/Torch and Hand Tools/Power Tools

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RESOLUTION NO. 2023

RESOLUTION APPROVING THE WEST BRANCH VILLAGE EXPANSION SITE PLAN.

WHEREAS, West Branch Village has submitted a site plan which consists of an additional sixty-six lots on the southwest portion of their property; and

WHEREAS, the City Engineer and Planning and Zoning Commission has reviewed said Site Plan and recommended approval of the same; and

WHEREAS, said Site Plan complies with the requirements of Chapter 173 of the Code of Ordinances of the City of West Branch.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the site plan for the West Branch Village Expansion, West Branch, Iowa is hereby approved.

Passed and approved this 12th day of July, 2021.

Roger Laughlin, Mayor

ATTEST:

Leslie Brick, Deputy Clerk

WEST BRANCH VILLAGE EXPANSION PLANS

WEST BRANCH, IOWA

UTILITY COMPANY CONTACTS	
IOWA ONE-CALL	811
LINN COUNTY REC	319-377-1587
ALLIANT ENERGY	800-255-4268
WATER - WEST BRANCH	319-643-5888
SEWER - WEST BRANCH	319-643-5888
LIBERTY COMMUNICATIONS	319-643-5353
CENTURY LINK	800-289-1901
MEDIACOM IOWA CITY	800-332-0245

CITY OF WEST BRANCH CONTACT INFORMATION	
CITY ADMINISTRATOR	319-643-5888
POLICE DEPARTMENT	563-886-2121
FIRE DEPARTMENT	319-643-2110
PUBLIC WORKS DEPARTMENT	319-643-5888
BUILDING & INSPECTIONS	319-330-9806

SURVEY BENCHMARKS AND CONTROL

SURVEY COMPLETED BY XCEL CONSULTANTS, INC OF ROCK ISLAND, ILLINOIS
PH: 309-787-9988

FOUND MONUMENT, PK NAIL
N: 621355.8520
E: 2228584.1460
ELEV: 727.131

FOUND MONUMENT, PINK CAP IR, PLS HEALY 23886
N: 621335.4990
E: 2229848.9980
ELEV: 773.640

FOUND MONUMENT, PINK CAP IR, PLS HEALY 23886
N: 618915.9780
E: 2229891.5890
ELEV: 732.096

CONTROL POINT #1
SET IR
N: 619782.9160
E: 2229279.5050
ELEV: 732.570

CONTROL POINT #3
SET IR
N: 619048.8720
E: 2229568.9910
ELEV: 750.657



KEY MAP
1" = 200'



GENERAL NOTES

THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS, OF FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF THE UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.

APPLICABLE STANDARDS

IOWA STANDARD URBAN DESIGN STANDARDS (SUDAS), 2020 EDITION

ALL WORK SHALL CONFORM TO CITY OF WEST BRANCH SUPPLEMENTAL SPECIFICATIONS

ALL APPLICABLE PIPE MANUFACTURER JOINING PROCEDURES

INDEX OF SHEETS	
A.01	TITLE SHEET
A.02	GENERAL NOTES & QUANTITIES
B.01	DETAILS
C.01-C.04	SITE PLAN, EROSION CONTROL PLAN & DETAILS, GRADING PLAN
D.01-D.06	PAVING & STORM SEWER PLANS
S.01-S.04	SANITARY SEWER PLANS
W.01-W.03	WATER MAIN PLANS

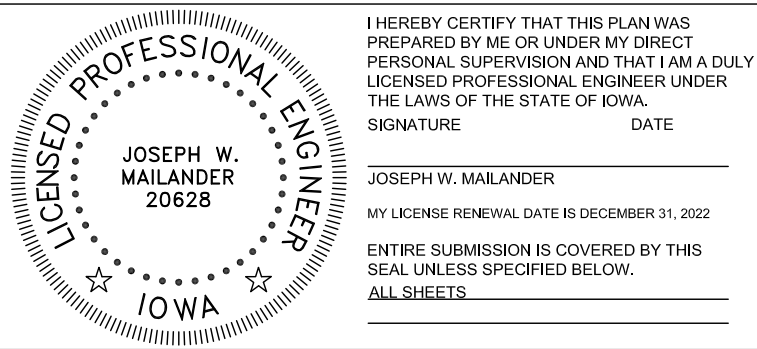
EXISTING	DESCRIPTION	PROPOSED
---	RIGHT OF WAY	---
---	PROPERTY LINE	---
---	CONSTRUCTION LIMIT	---
////	BUILDING LINE	////
E	ELECTRICAL	E
FOP	FIBER OPTIC LINE	FOP
G	GAS	G
SAN	SANITARY SEWER	SAN
ST	STORM SEWER	ST
TEL	TELEPHONE	TEL
W	WATERMAIN	W
X	FENCE LINE	X
TV	TELEVISION	TV
	INTAKE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	UTILITY MANHOLE	
	WATER VALVE	
	VALVE VAULT	
	HYDRANT	
	WATER SERVICE BOX	
	GAS VALVE	
	LIGHT FIXTURE	
	STREET LIGHT	
	POWER POLE	
	TELEPHONE PEDESTAL	
	ELECTRIC PEDESTAL	

OWNER
WEST BRANCH VILLAGE, LLC
51 WEST CENTER STREET, SUITE 600
OREM, UTAH 84057

APPLICANT/SITE PLAN PREPARER
CLEARWELL, PLLC (ENGINEER OF RECORD)
C/O JOSEPH MAILANDER
2135 BLAKE BLVD SE
CEDAR RAPIDS, IA 52403

CONSTRUCTION SCHEDULE

START DATE: JULY 1, 2021
CLEARING & GRADING: JULY -AUGUST
UTILITY INSTALLATION: AUGUST, 2021
FINISHED GRADING & PAVING: SEPTEMBER, 2021
COMPLETION DATE: OCTOBER 22, 2021



GENERAL NOTES

- DIMENSIONS, STREET LOCATIONS, UTILITIES AND GRADING ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE REPORTED TO THE CITY INSPECTOR.
- CONFINE ALL CONSTRUCTION ACTIVITY TO THE CONSTRUCTION LIMITS UNLESS OTHERWISE AUTHORIZED.
- DO NOT STORE EQUIPMENT AND/OR MATERIALS WITHIN PUBLIC RIGHT-OF-WAY, ON STREETS AND/OR ALLEYS OPEN TO TRAFFIC. CONTRACTOR SHALL PROVIDE AREAS AS NEEDED FOR STORAGE OF EQUIPMENT AND/OR MATERIALS.
- WHERE CONTRACTOR EQUIPMENT IS OPERATED ON ANY PORTION OF THE PAVEMENT OR STRUCTURES USED BY TRAFFIC ON OR ADJACENT TO THE SECTION UNDER CONSTRUCTION, THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS AT THE END OF EACH DAY'S OPERATIONS, AND AT OTHER TIMES AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SAFETY INCLUDING FENCING AND SIGNAGE ON SITE AND SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE REGULATIONS REGARDING AIR, WATER AND NOISE POLLUTION.
- WHERE SECTION OF SUBSECTION MONUMENTS, BENCHMARKS, RIGHT-OF-WAY PINS, OR IRON PIPE MONUMENTS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED OR DISTURBED. THE CONTRACTOR SHALL PROTECT AND CAREFULLY PRESERVE ALL MONUMENTS UNTIL AN AUTHORIZED SURVEYOR, OR AGENT, HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING AN AUTHORIZED SURVEYOR RE-ESTABLISH ANY MONUMENTS UNNECESSARILY DESTROYED BY CONTRACT OPERATIONS.
- FULL DEPTH SAW CUT EXISTING PAVEMENTS PRIOR TO REMOVALS. THIS IS INCIDENTAL TO REMOVALS PAY ITEMS.
- PROTECT EXISTING FACILITIES, TREES AND OTHER APPURTENANCES NOT TO BE REMOVED FROM THE SITE DURING CONSTRUCTION.
- COORDINATE CONSTRUCTION TO MINIMIZE DISRUPTIONS TO THE ADJACENT PROPERTIES. REPAIR AND RESTORE ANY AREAS DISTURBED BY CONSTRUCTION OUTSIDE OF THE CONSTRUCTION LIMITS AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM WORK AND STAGING AREAS. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS, OR APPROVED BY THE ENGINEER. DUST CONTROL MEASURES ARE CONSIDERED INCIDENTAL.
- CONTRACTOR SHALL VERIFY SANITARY AND STORM SEWER PIPE SIZES AND INVERTS PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MANHOLES AND/OR PIPE.
- CONTRACTOR SHALL REPAIR ALL FIELD/DRAIN TILES ENCOUNTERED DURING CONSTRUCTION AS SPECIFIED OR AT A MINIMUM TO ALLOW FLOW USING LIKE MATERIAL IN NEW CONDITION WITH COUNTY APPROVED CONNECTIONS. CONTRACTOR SHALL RECORD EXISTING TYPE, SIZE, LOCATION AND DEPTH OF ALL FIELD/DRAIN TILES ENCOUNTERED AND REPAIRED DURING CONSTRUCTION. PROVIDE DATA TO THE CITY FOR INCORPORATION INTO RECORD DRAWINGS.

SUBSURFACE UTILITY NOTES

THESE DESIGN DRAWINGS INCORPORATE UNDERGROUND UTILITY INFORMATION BASED UPON SUBSURFACE UTILITY ENGINEERING PRACTICES AND STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA (CI/ASCE 38-02).

UTILITY QUALITY LEVEL A: PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES, USUALLY AT A SPECIFIC POINT. MINIMALLY INTRUSIVE EXCAVATION EQUIPMENT IS TYPICALLY USED TO MINIMIZE THE POTENTIAL FOR UTILITY DAMAGE. A PRECISE HORIZONTAL AND VERTICAL LOCATION, AS WELL AS OTHER UTILITY ATTRIBUTES, IS SHOWN ON PLAN DOCUMENTS. ACCURACY IS TYPICALLY SET TO 15-MM VERTICAL AND TO APPLICABLE HORIZONTAL SURVEY AND MAPPING ACCURACY AS DEFINED OR EXPECTED BY THE PROJECT OWNER.

UTILITY QUALITY LEVEL B: INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT AND REDUCED ONTO PLAN DOCUMENTS.

UTILITY QUALITY LEVEL C: INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

UTILITY QUALITY LEVEL D: INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

TABLE OF QUALITY LEVEL OF UTILITY INVESTIGATION IN ACCORDANCE WITH CI/ASCE 38-02	
UTILITY	QUALITY LEVEL
TELEPHONE DUCTS (UNDERGROUND)	C
ELECTRIC POLES	C
UNDERGROUND POWER	C
FIBER OPTIC	C
EXISTING SANITARY AND STORM SEWER	C
EXISTING WATER MAIN	C
GAS MAIN	C
CABLE TV	C

GENERAL UTILITY NOTES

- REFER TO TABULATION OF UTILITY GRADE LEVELS IN ACCORDANCE WITH CI/ASCE 38-02 IN THESE DRAWINGS FOR INFORMATION REGARDING DEPICTION OF EXISTING SUBSURFACE UTILITIES. THE CONTRACTOR MUST VERIFY ACTUAL LOCATIONS IN THE FIELD.
- UTILITY LOCATIONS AND DEPTHS WERE PLOTTED FROM INFORMATION FURNISHED BY THE VARIOUS UTILITY COMPANIES AND THEIR ACCURACY SHOULD BE CONSIDERED APPROXIMATE. NO RESPONSIBILITY IS ACCEPTED FOR THE LOCATIONS AS SHOWN OR THAT ALL UTILITY FACILITIES ARE SHOWN.
- UTILITY LOCATIONS SHOWN IN THE PLANS ARE APPROXIMATE. UNLESS NOTED OTHERWISE, THEY REPRESENT LOCATIONS PRIOR TO ANY UTILITY RELOCATIONS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION. GAS VALVES AND RELATED FIXTURES, TELEPHONE PEDESTALS AND RELATED FIXTURES, UTILITY MANHOLES, POWER POLES, AND STREET LIGHT POLES SHALL BE RELOCATED BY THE UTILITY. THE CONTRACTOR SHALL COOPERATE WITH THE OWNERS OF THESE UTILITIES IN THEIR REMOVAL AND REARRANGEMENT OPERATIONS SO WORK MAY PROGRESS IN A REASONABLE MANNER. DUPLICATION OF REARRANGEMENT WORK MAY BE REDUCED TO A MINIMUM, AND SERVICES RENDERED BY THOSE PARTIES WILL NOT BE UNNECESSARILY INTERRUPTED. WHERE INDICATED IN THE CONTRACT DOCUMENTS, PROVIDE TRAFFIC CONTROL AND COORDINATE SCHEDULING OF UTILITY RELOCATIONS. SCHEDULE UTILITY RELOCATIONS TO AVOID DELAY TO CONTRACTOR OPERATIONS. THE COST FOR LOCATING EXISTING UTILITIES, COORDINATING RELOCATION WORK, PROVIDING TEMPORARY SUPPORTS, AND STAGING CONSTRUCTION TO ACCOMMODATE THE RELOCATION OF UTILITIES IS CONSIDERED INCIDENTAL TO CONSTRUCTION.
- THERE MAY BE ABANDONED UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONFIRM SAID UTILITIES ARE ABANDONED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THESE LINES AS NECESSARY FOR CONSTRUCTION.
- CONTRACTOR SHALL CONFIRM ASSUMED DEPTHS OF UTILITIES AND PROTECT THEM AS NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY SANITARY AND STORM SEWER PIPE SIZES AND INVERTS PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MANHOLES AND/OR PIPE. NO ADDITIONAL PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR MATERIAL THAT IS ORDERED AND DOES NOT MATCH PIPE SIZES AND INVERTS THAT ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- AT POINTS WHERE THE CONTRACTOR'S OPERATIONS ARE ADJACENT TO FACILITIES OF UTILITY COMPANIES, DAMAGE TO WHICH MIGHT RESULT IN CONSIDERABLE EXPENSE, LOSS, OR INCONVENIENCE, WORK SHALL NOT COMMENCE UNTIL ALL ARRANGEMENTS NECESSARY FOR THE PROTECTION THEREOF HAVE BEEN MADE.
- IN THE EVENT OF INTERRUPTION OF UTILITY SERVICES AS A RESULT OF ACCIDENTAL BREAKAGE OR AS A RESULT OF BEING EXPOSED OR UNSUPPORTED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROPER AUTHORITY AND SHALL COOPERATE WITH SAID AUTHORITY IN THE RESTORATION OF SERVICE. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.
- REPAIR ALL FIELD/DRAIN TILES ENCOUNTERED DURING CONSTRUCTION AS SPECIFIED OR AT A MINIMUM TO ALLOW FLOW USING LIKE MATERIAL IN NEW CONDITION WITH CITY APPROVED CONNECTIONS. THE CONTRACTOR SHALL RECORD EXISTING TYPE, SIZE, LOCATION AND DEPTH OF ALL FIELD/DRAIN TILES ENCOUNTERED AND REPAIRED DURING CONSTRUCTION. PROVIDE DATA TO THE CITY FOR INCORPORATION INTO RECORD DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER FOR ANY VARIANCE FROM THE APPROVED PLAN.

STAGING NOTES

- THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC AND PRIVATE PROJECTS IN THE AREA AT ALL TIMES.
- UNDERGROUND FACILITIES INFORMATION REQUIRES VERBAL NOTICE TO ONE CALL NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
- THE UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS, SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROVED WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT
- ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, TREES OR FOUNDATION STRUCTURES SHALL BE FILLED AND CONSOLIDATED TO FINISHED GRADE AS DIRECTED BY THE PROJECT ENGINEER TO PREVENT FUTURE SETTLEMENT. THE VOIDS SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. HOLES NEAR PEDESTRIAN WALKWAYS SHALL BE FENCED OFF AT ALL TIMES AND IF PRACTICAL COVERED WITH BOARDS DURING THE OVERNIGHT HOURS AND AT TIMES WHERE WORK IS NOT TAKING PLACE AT THE LOCATION OF THE HOLE FOR AN EXTENDED PERIOD OF TIME. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS (INCLUDING BORROW AREAS AND OPERATION AREAS) DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
- EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION AND DUST POLLUTION ON THE PROJECT SITE SHALL COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE AND LOCAL ORDINANCES.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO MAINTAIN POSITIVE DRAINAGE WHERE INTAKES ARE LOCATED.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO INDIVIDUAL PROPERTIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE OF DRIVEWAY MODIFICATIONS THAT WILL TEMPORARILY LIMIT OWNER ACCESS TO THEIR PROPERTY.
- THE CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND RIGHT-OF-WAY. IF THE CONTRACTOR OBTAINS ADDITIONAL EASEMENTS FOR THE STORAGE OF EQUIPMENT AND MATERIALS, COPIES OF THE AGREEMENTS WITH THE PROPERTY OWNERS SHALL BE PROVIDED TO THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL NOT DISTURB GRASS AREAS OR TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES OR EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. ALL STORAGE, PARKING AND SERVICE AREA(S) WILL BE SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
- DO NOT DRIVE ON THE PAVEMENT WITH CONSTRUCTION TRAFFIC GREATER THAN THE LEGAL LOAD LIMITS.

DRAWN BY: RLC

APPROVED BY: JWM

DATE: June 28, 8:05am

WEST BRANCH VILLAGE IMP PLANS.dwg | A.02

NO.	REVISION DESCRIPTION	APPROVED	DATE	



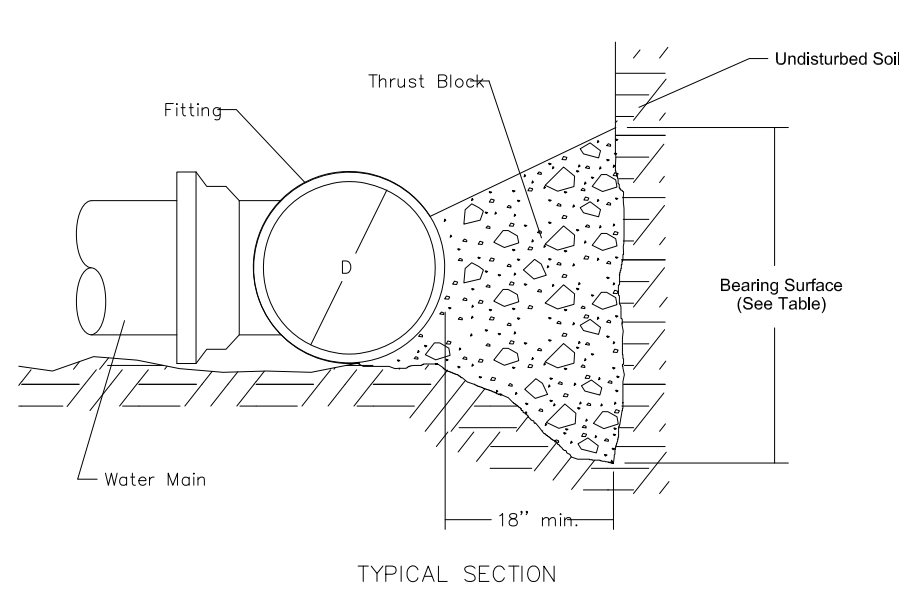
2135 BLAKE BLVD SE
CEDAR RAPIDS, IOWA 52403
319-654-4911
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WEST BRANCH, IOWA

GENERAL NOTES, QUANTITIES

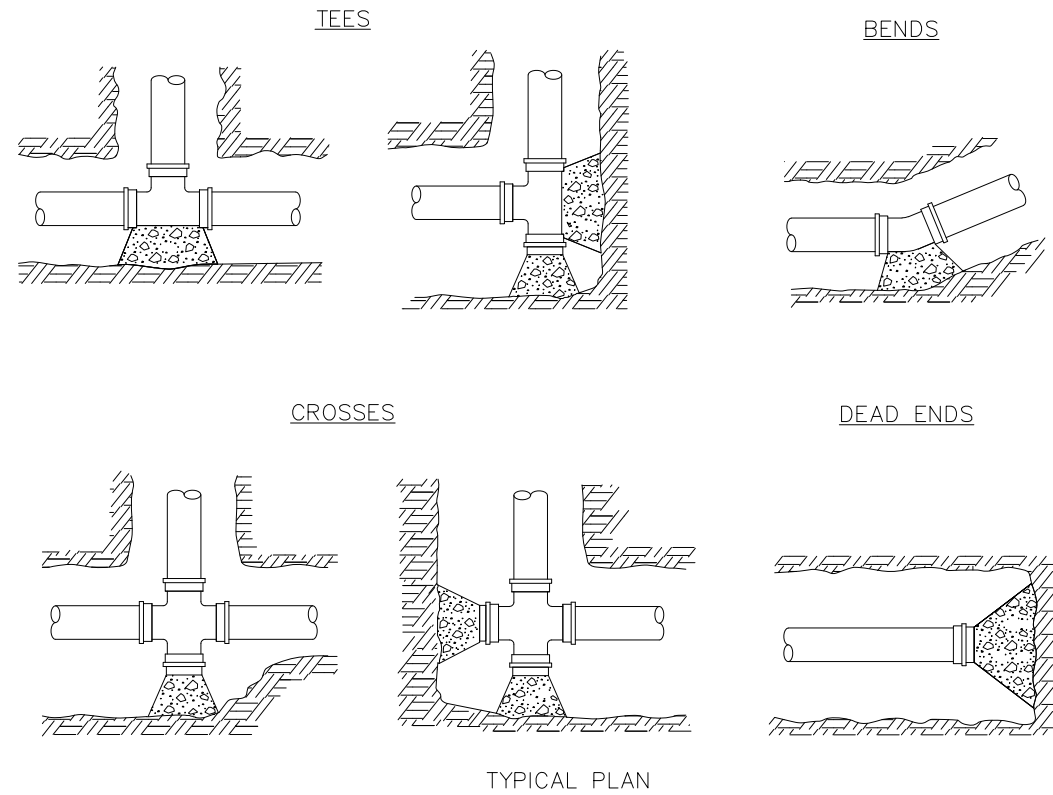
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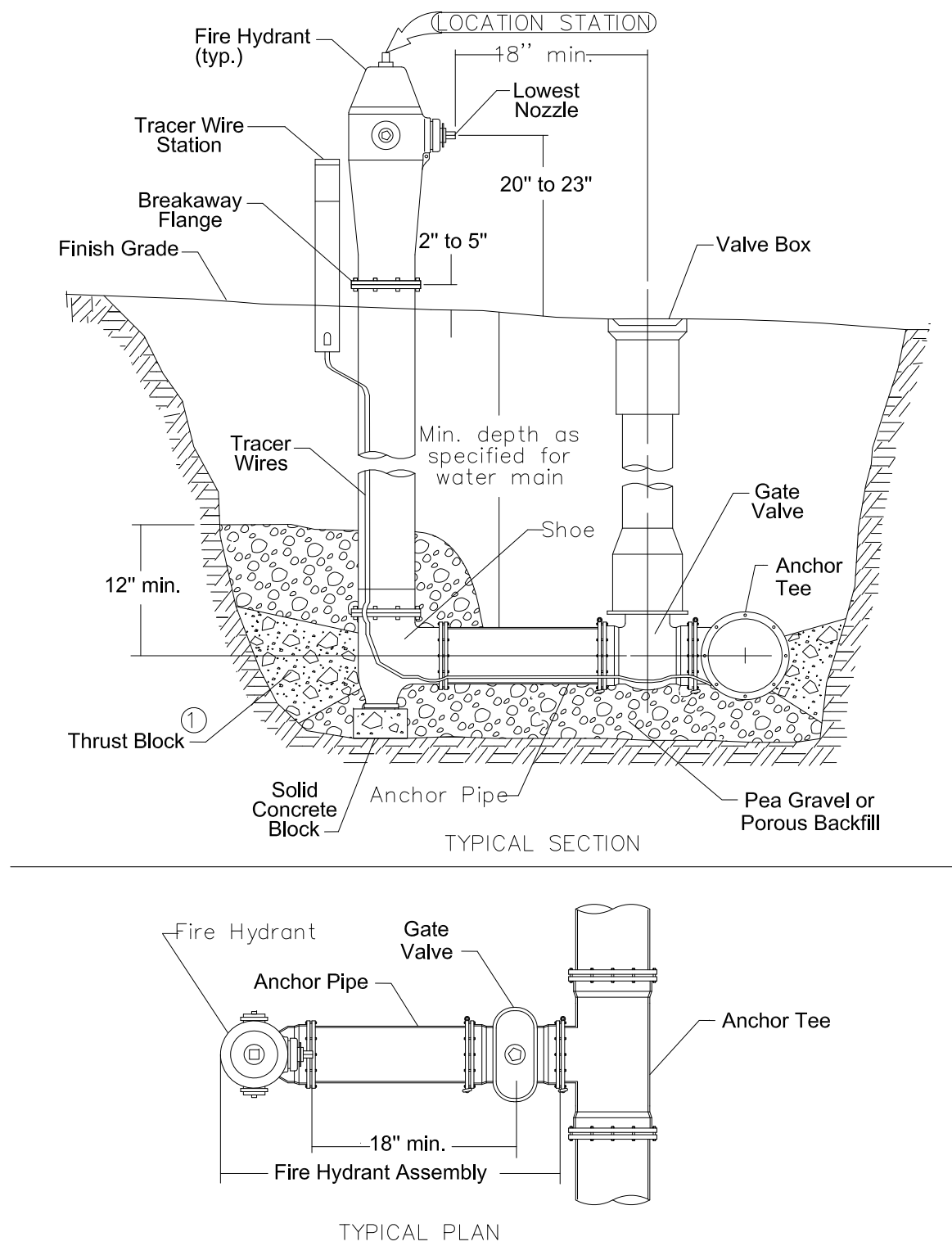


Diameter of Pipe, D (inches)	MINIMUM BEARING SURFACE (sf)				
	11½°	22½°	45°	90°	Tees and Dead Ends
4	1	1	2	4	3
6	1	2	4	8	6
8	2	4	7	14	10
10	3	6	11	21	15
12	4	8	16	29	21
14	5	11	21	39	28
16	7	14	27	50	36
18	9	17	34	63	45
20	11	21	42	78	55
24	15	31	60	111	78
30	24	47	92	171	120
36	34	67	132	244	173

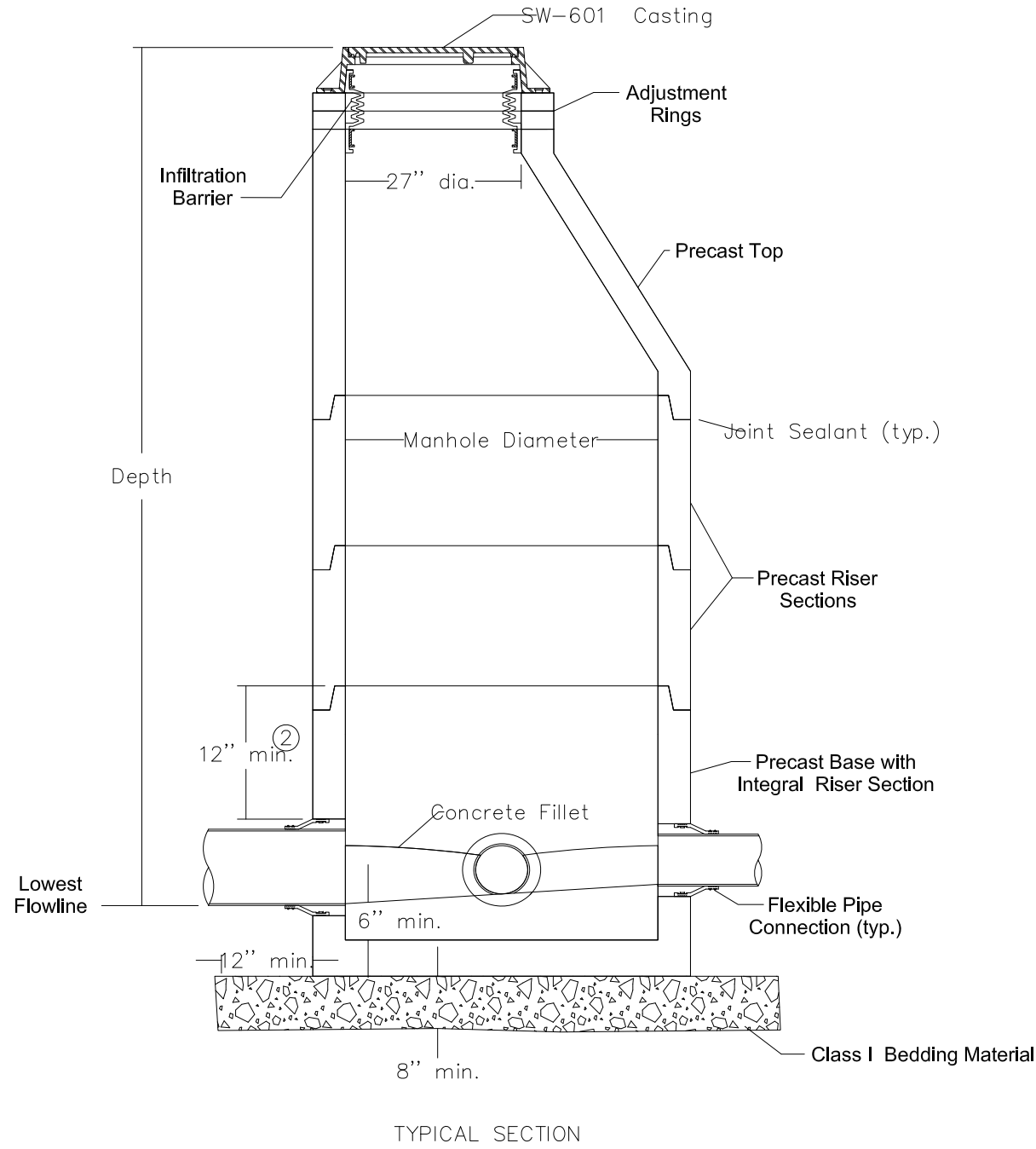
Minimum surface area based on water pressure of 150 psi and allowable soil pressure of 1,000 psf.



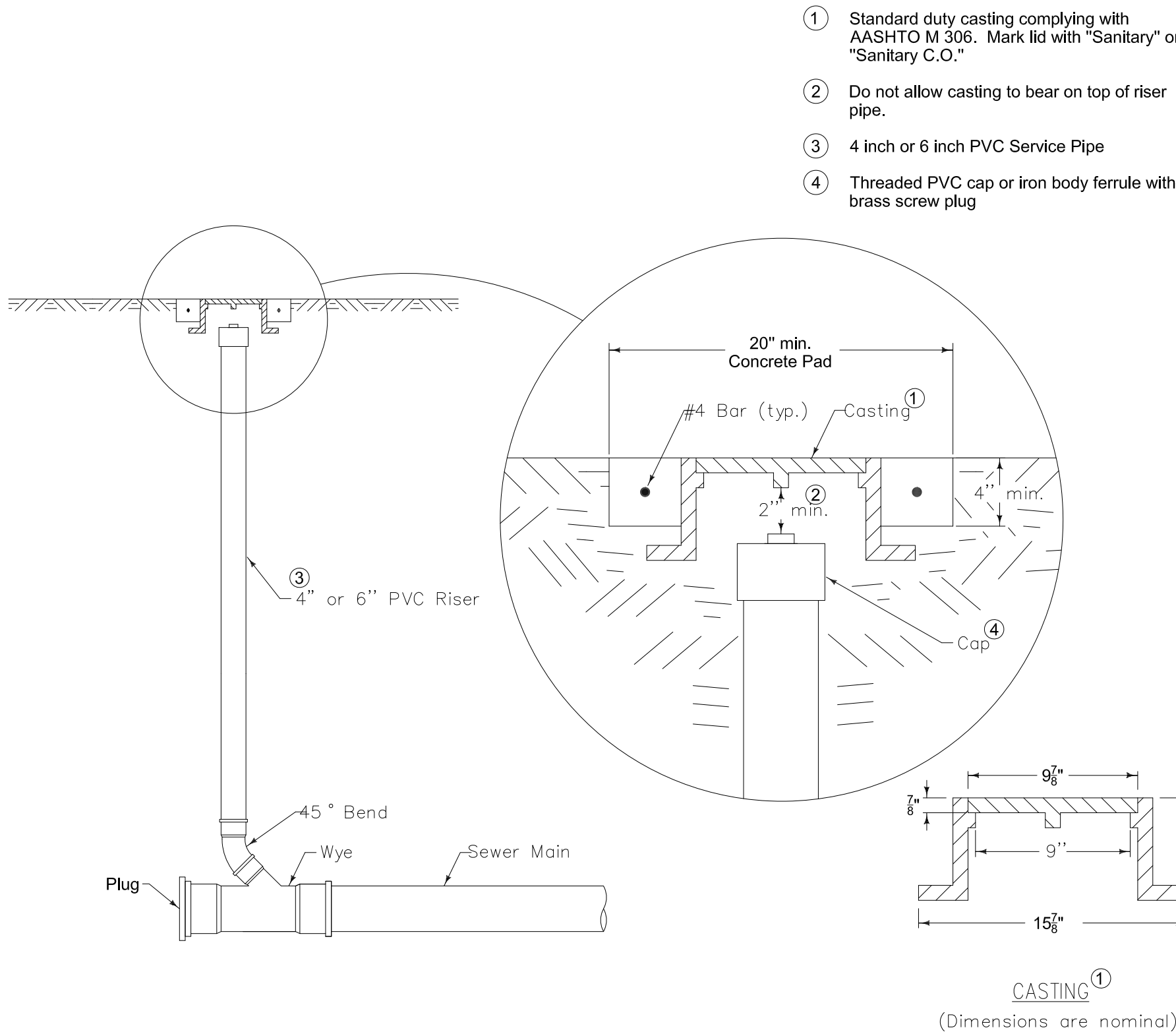
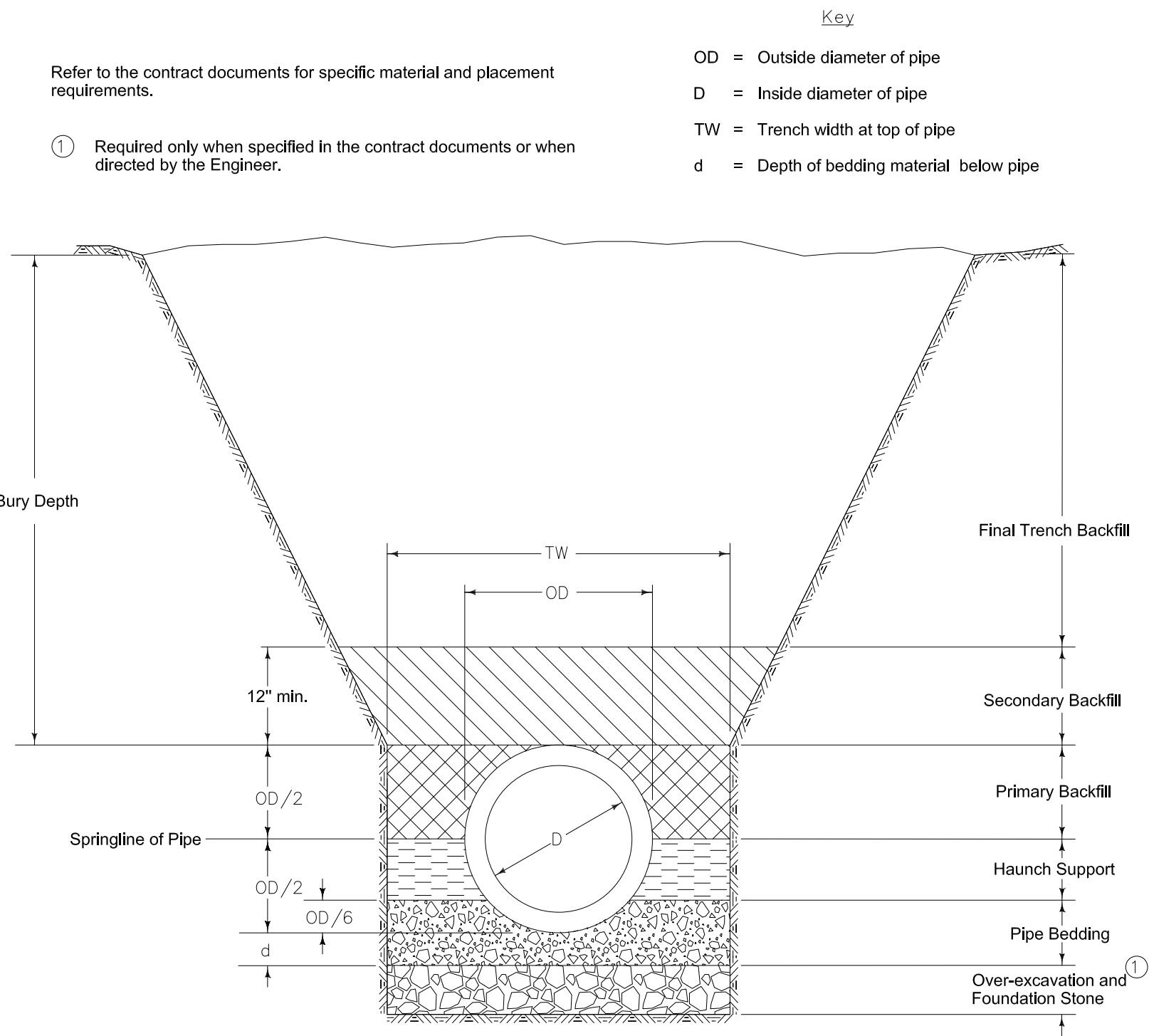
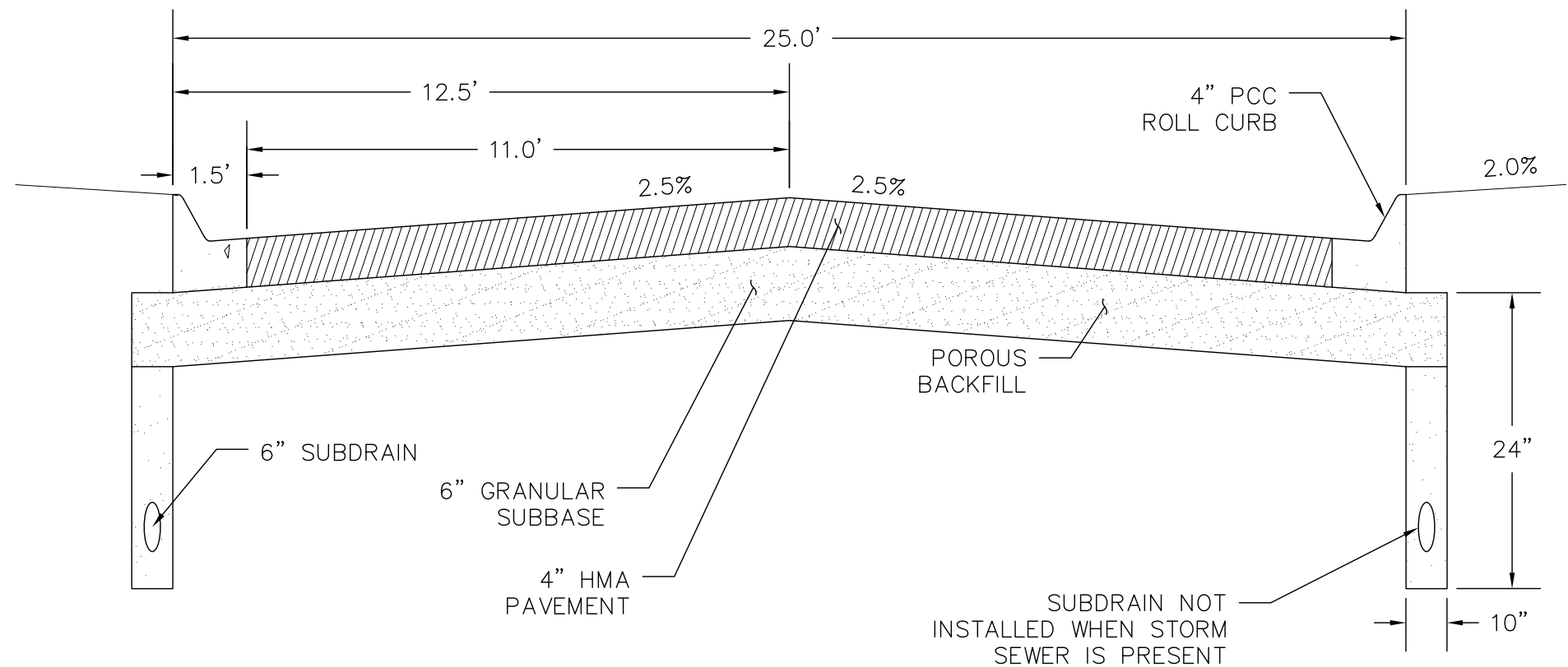
WATER THRUST BLOCK DETAILS (WM-101)



FIRE HYDRANT ASSEMBLY DETAIL (WM-201)



CIRCULAR SANITARY SEWER MANHOLE DETAIL (SW-301)



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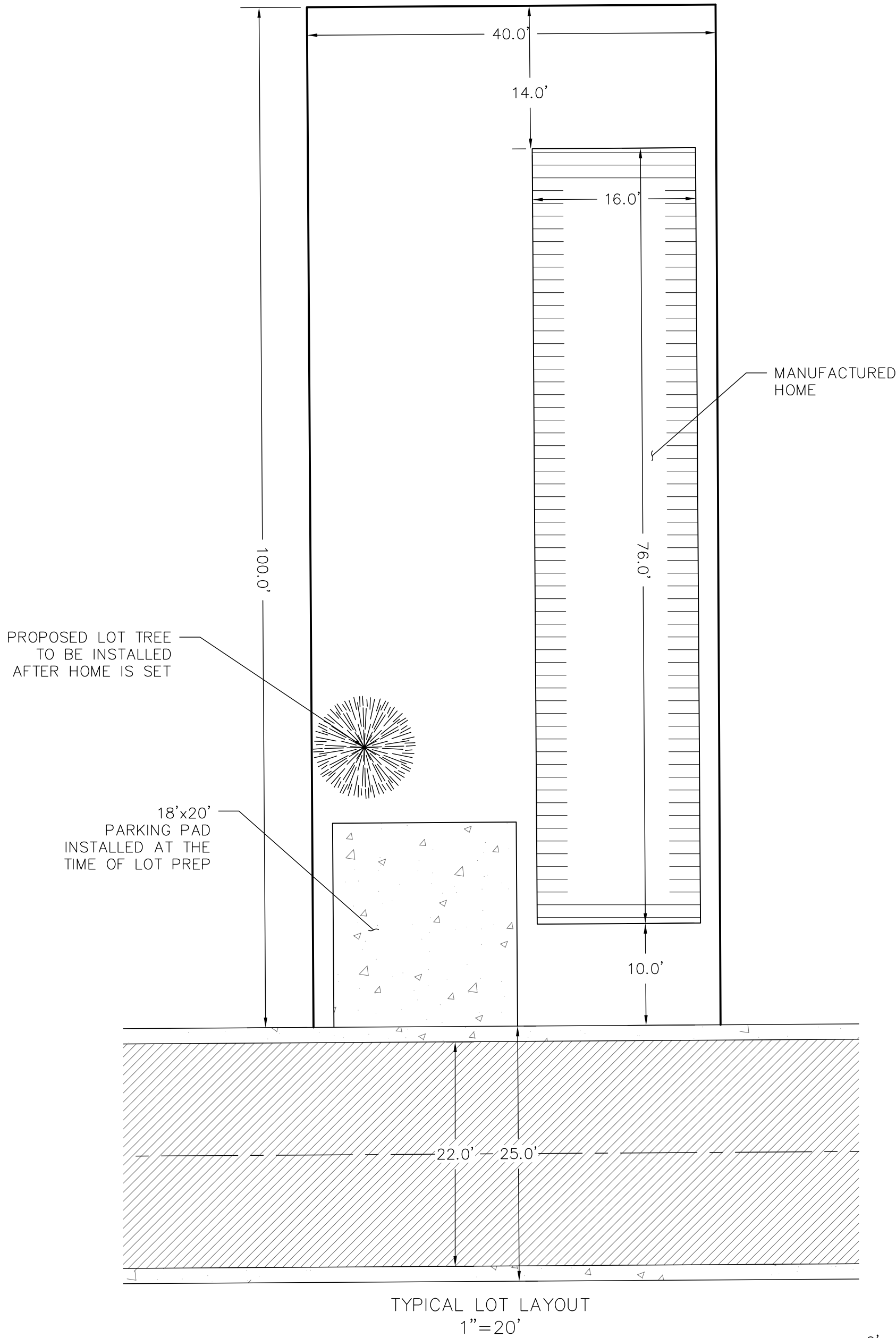
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DETAILS

SHEET NO.
B.01



PARKING CALCULATIONS
TWO SPACES FOR EACH MOBILE HOME PLUS ONE VISITOR SPACE FOR EACH THREE MOBILE HOMES.
HOMES PROPOSED: 65 HOMES
PARKING REQUIRED: $65 (2) + 65 (0.33) = 130 + 21.45 = 151.45$
PARKING PROPOSED: 2 STALLS/HOME + 26 GUEST STALLS = 156 STALLS



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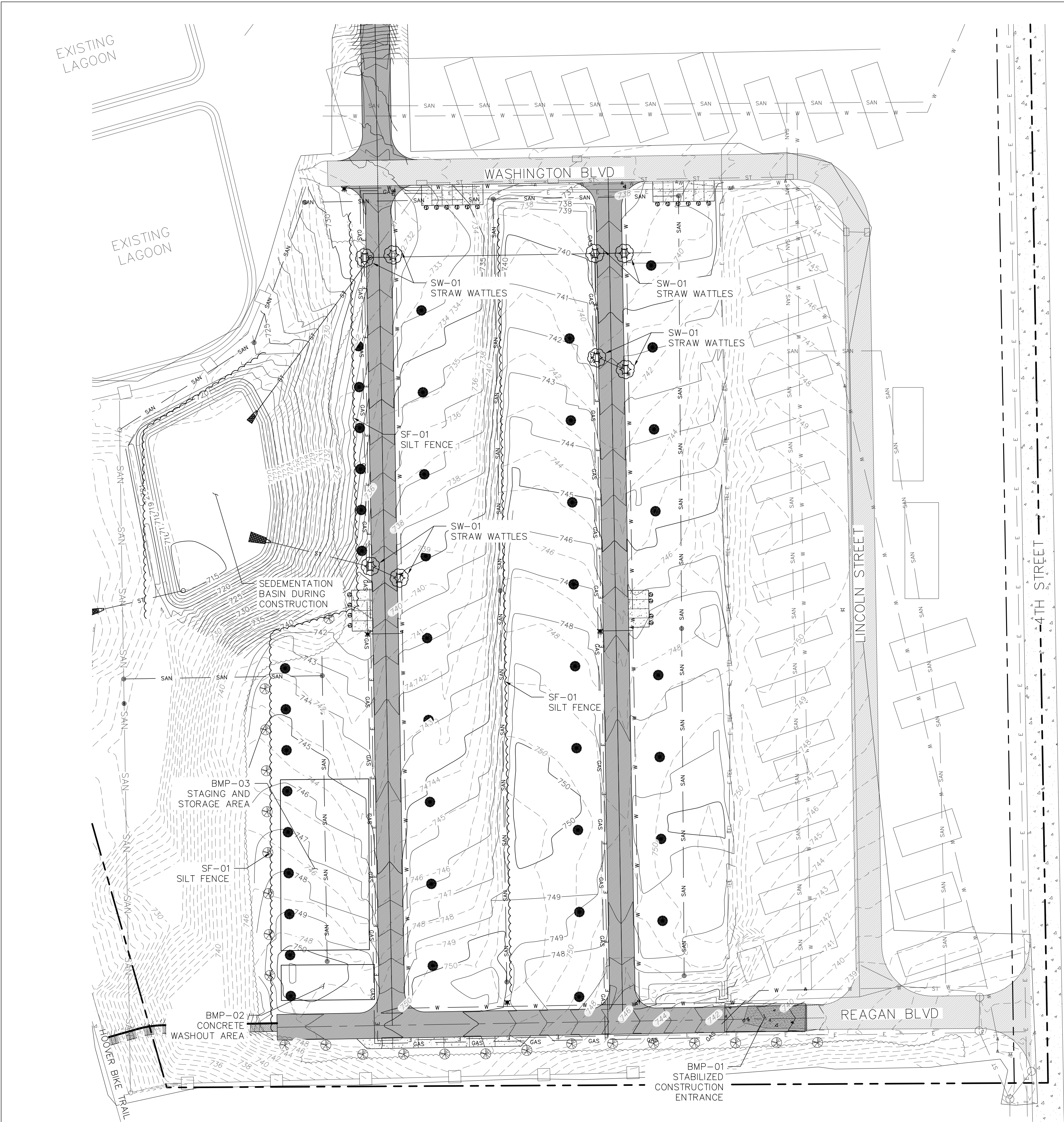
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SITE PLAN

SHEET NO.
C.01



DIVISION 9-EROSION CONTROL NOTES

THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SOIL EROSION MEASURES IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE MOST RECENT VERSION OF SUDAS AND THE IOWA STORM WATER MANUAL AND AS DIRECTED BY THE ENGINEER IN THE FIELD. THE INTENT IS FOR THE PREVENTION OF ERODED SOIL FROM EXITING THE SITE OR ENTERING LOCAL STORM SEWERS OR ADJACENT WATERWAYS. THE FOLLOWING ARE ACTIVITIES THAT THE CONTRACTOR SHALL CONDUCT ON A REGULAR BASIS DURING THE COURSE OF THE ON-SITE CONSTRUCTION ACTIVITIES.

1. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
2. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE.
3. INFORMATION OUTSIDE THE PROJECT BOUNDARY IS FOR INFORMATION ONLY.
4. PERMANENT SOIL STABILIZATION SHALL BE DONE WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
5. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
6. EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE GOVERNING AGENCIES.
7. ALL TEMPORARY ROADWAYS, ACCESS DRIVES AND PARKING AREAS MUST BE STABILIZED AND BE OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT BY WATER FLUSHING) AS NECESSARY, OR BEFORE THE END OF EACH WORK DAY.
8. TIRES AND WHEEL WELLS OF VEHICLES AND CONSTRUCTION EQUIPMENT SHALL BE FREE OF DIRT AND/OR SEDIMENT BEFORE LEAVING A CONSTRUCTION AREA TO PREVENT TRACKING ONTO A PUBLIC OR PRIVATE PAVED ROAD OR SIDEWALK.
9. TRUCKS LOADED WITH MATERIAL THAT MAY BE CARRIED OFF BY WIND OR RAIN SHALL BE COVERED PRIOR TO LEAVING THE CONSTRUCTION SITE.
10. ALL ONSITE DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION AREA AND DOWN SLOPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES.
11. THE DISCHARGE OF SEDIMENT INTO THE SEWER SYSTEM, AS PART OF SITE DEWATERING, MUST BE CONTROLLED AND MINIMIZED TO PREVENT THE CLOGGING OF THE SEWER SYSTEM.
12. THE USE, STORAGE AND DISPOSAL OF CHEMICALS, CEMENT AND OTHER COMPOUNDS AND BUILDING MATERIALS USED ON THE CONSTRUCTION SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD, TO PREVENT THEIR ENTRANCE INTO THE SEWER SYSTEM.

BMP IDENTIFICATION NUMBERS	
SF-01	SILT FENCE
SW-01	STRAW WATTLE AROUND INLETS
BMP-01	STABILIZED CONSTRUCTION ENTRANCE
BMP-02	CONCRETE WASH OUT AREA
BMP-03	STORAGE & STAGING AREA

SEQUENTIAL EROSION CONTROL PLAN:

1. CONSTRUCT STABILIZED ENTRANCE. CONTRACTOR SHALL CLEAN ACCESS CONNECTIONS AT THE END OF EACH DAY OF CONSTRUCTION.
2. PLACE SILT FENCE AT PERIMETER LOCATIONS SHOWN PRIOR TO THE START OF GRADING OPERATIONS. SILT FENCE SHALL BE MAINTAINED THROUGHOUT GRADING OPERATIONS.
3. CONSTRUCT TEMPORARY SEDIMENTATION BASIN AS PART OF INITIAL ROUGH GRADING OF SITE.
4. SEED ALL DISTURBED AREAS AT THE COMPLETION OF GRADING OPERATIONS.

TEMPORARY SEED:

1. CONTRACTOR SHALL COMPLETE TEMPORARY EROSION CONTROL AS SOON AS GRADING OPERATIONS ARE COMPLETE. TEMPORARY SEEDING SHALL BE AS FOLLOWS:
 - MARCH 1 - JUNE 1: 3 BUSHEL/ACRE OF OATS.
 - JUNE 1 - AUGUST 15: 35 LBS/ACRE OF GRAIN RYE.
 - AUGUST 15 - SEPTEMBER 15: 3 BUSHEL/ACRE OF OATS.
 - SEPTEMBER 15 - DECEMBER 1: 2 BUSHEL/ACRE OF GRAIN RYE.
2. FERTILIZER SHALL BE APPLIED AT A RATE OF 50-100-100 PER ACRE. MULCH SHALL BE STRAW OR HAY AND SHALL BE APPLIED AT A RATE OF 90-120 BALES/ACRE.

TOPSOIL NOTES:

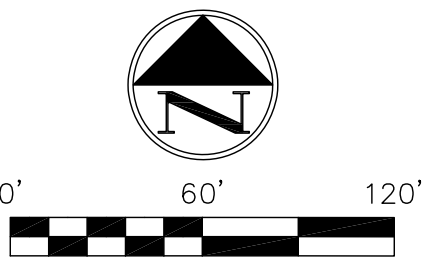
1. CONTRACTOR SHALL STOCKPILE AND RESPREAD A MINIMUM OF 4-INCHES OF EXISTING TOPSOIL ONSITE.

PERMANENT SEED:

1. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED WITHIN 14 DAYS AFTER COMPLETION OF CONSTRUCTION.

DEMOLITION NOTES

1. COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES.
3. CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
4. WHERE WORK CAUSES REMOVAL OF PAVEMENT WITHIN EXISTING RIGHTS-OF-WAY, PAVEMENT SHALL BE REPLACED AS SOON AS PRACTICAL.
5. ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF CORALVILLE REQUIREMENTS.
6. WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE ("SIDEWALK CLOSED AHEAD USE OTHER SIDE").
7. WHEN WORK EXTENDS INTO THE STREET, THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



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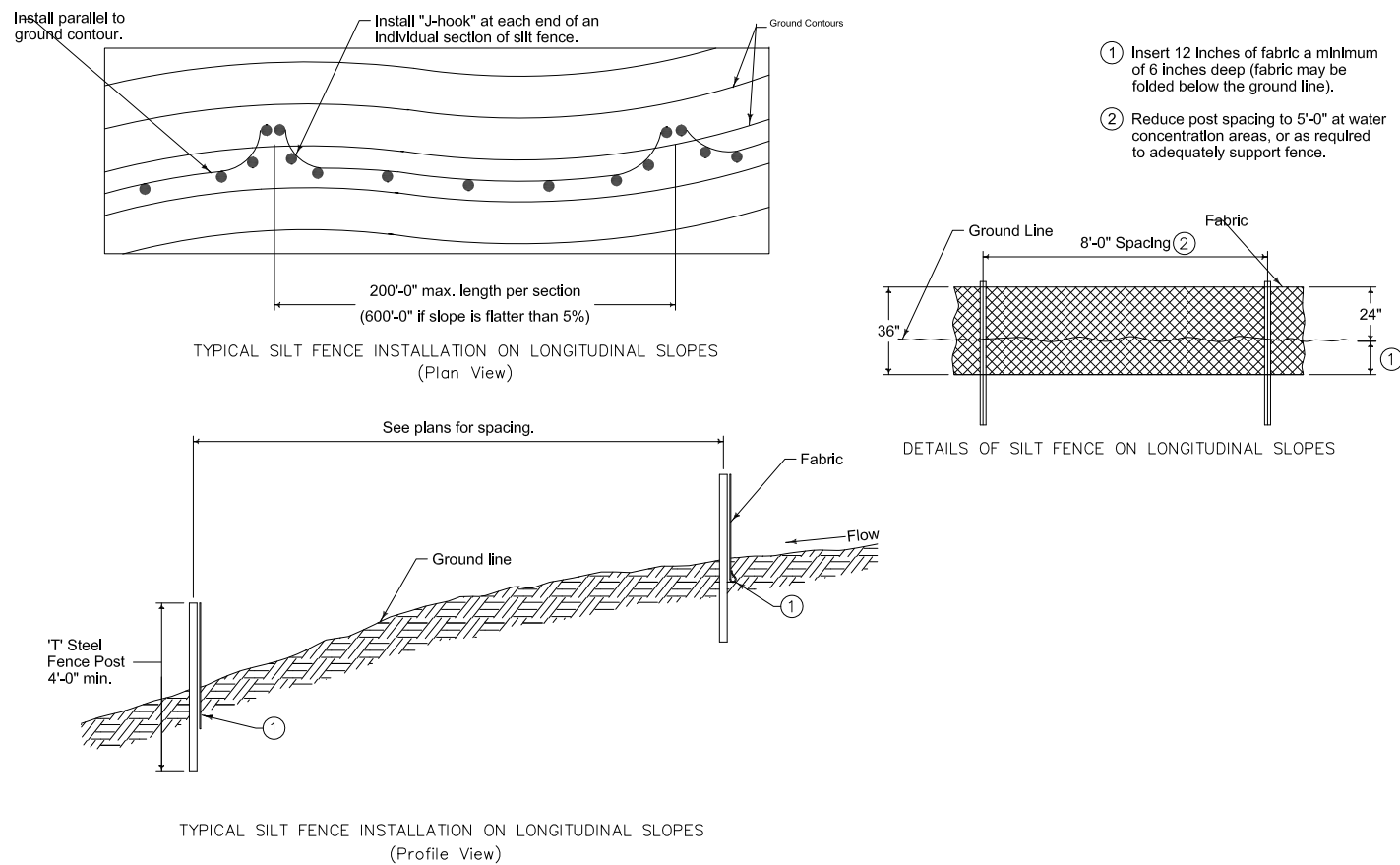
WEST BRANCH VILLAGE, LLC
WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

EROSION CONTROL PLAN

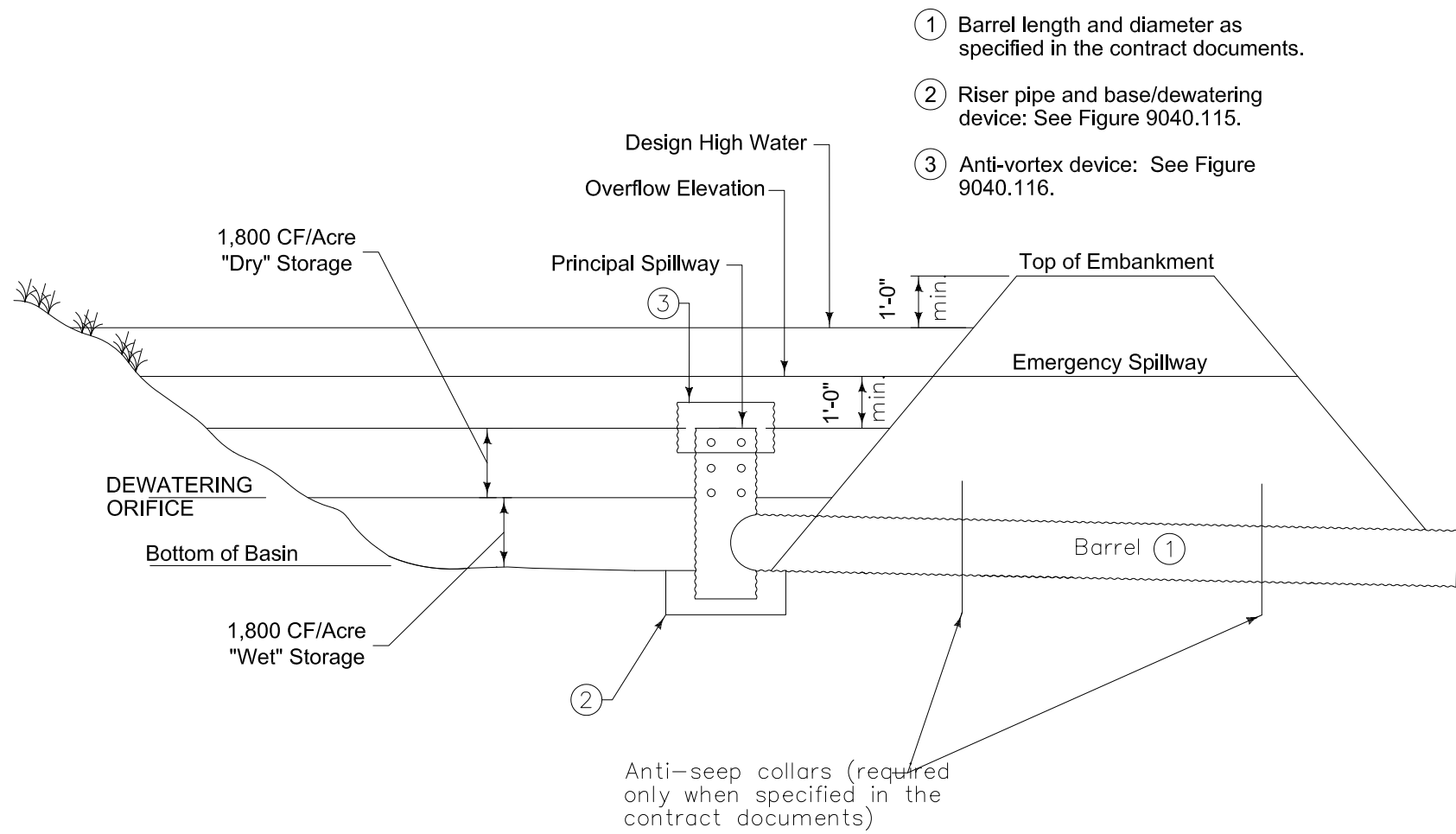
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STAGING NOTES

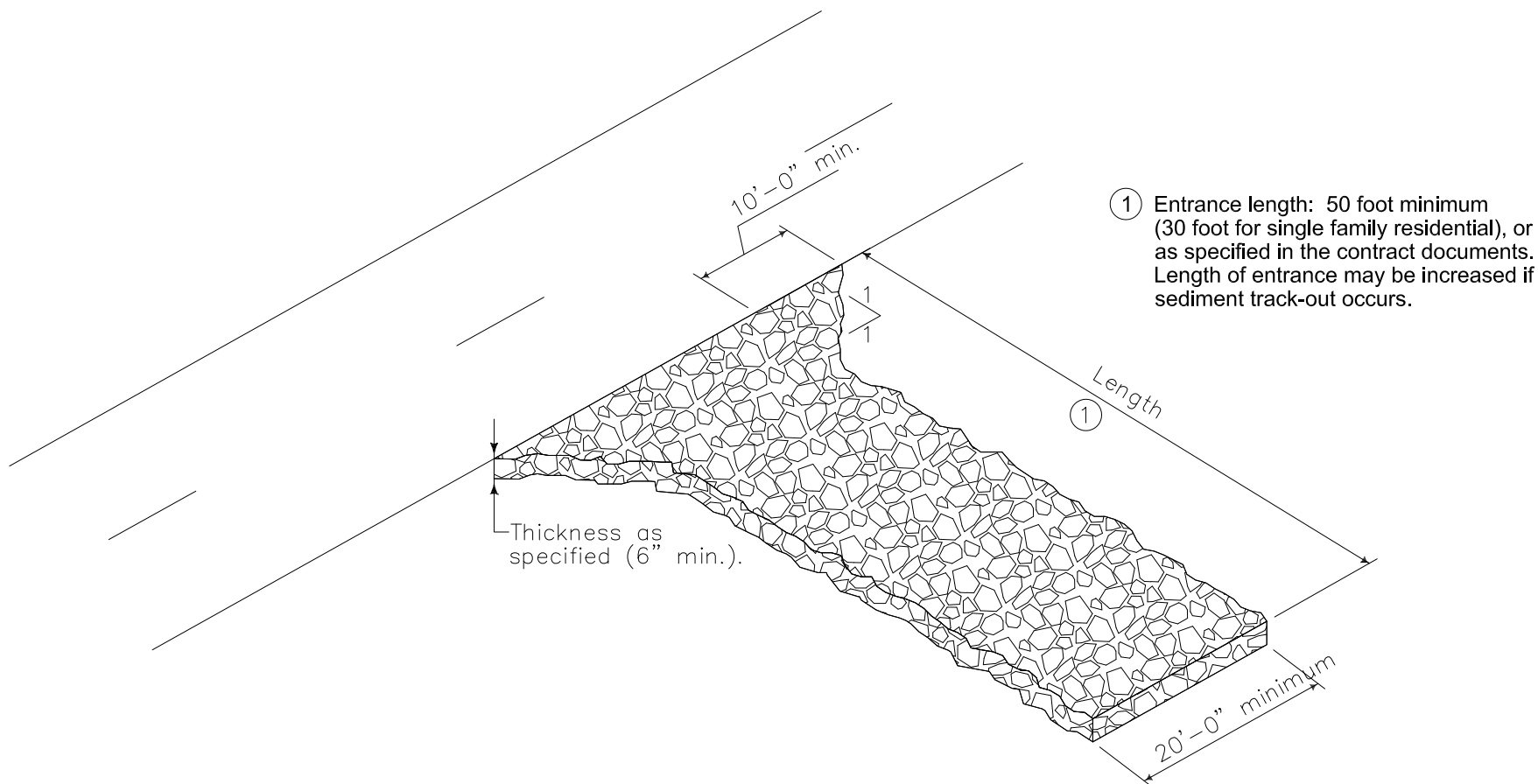
1. CONTRACTOR'S ACTIVITIES TO THE AREAS OF SUGGESTED STAGES ALONE. IT IS UNDERSTOOD THAT VARIOUS STEPS INCLUDED HEREIN MAY OCCUR SIMULTANEOUSLY. THE CONTRACTOR MAY CONDUCT SEVERAL OPERATIONS DO NOT CONFLICT WITH THE STAGING INDICATED HEREIN, OTHER PORTIONS OF THIS PROJECT, AND OTHER CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC AND PRIVATE PROJECTS IN THE AREA AT ALL TIMES.
3. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE CALL, 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
4. THE UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS, SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROVED WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT.
6. ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, TREES OR FOUNDATION STRUCTURES SHALL BE FILLED AND CONSOLIDATED TO FINISHED GRADE AS DIRECTED BY THE PROJECT ENGINEER TO PREVENT FUTURE SETTLEMENT. THE VOIDS SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. HOLES NEAR PEDESTRIAN WALKWAYS SHALL BE FENCED OFF AT ALL TIMES AND IF PRACTICAL COVERED WITH BOARDS DURING THE OVERNIGHT HOURS AND AT TIMES WHERE WORK IS NOT TAKING PLACE AT THE LOCATION OF THE HOLE FOR AN EXTENDED PERIOD OF TIME. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS (INCLUDING BORROW AREAS AND OPERATION AREAS) DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
7. DURING REMOVAL AND CONSTRUCTION, THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS AND APPROVED BY THE PROJECT ENGINEER AND SHALL BE INCIDENTAL.
8. EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION AND DUST POLLUTION ON THE PROJECT SITE SHALL COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE AND LOCAL ORDINANCES.
9. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO MAINTAIN POSITIVE DRAINAGE WHERE INTAKES ARE LOCATED.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO INDIVIDUAL PROPERTIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE OF DRIVEWAY MODIFICATIONS THAT WILL TEMPORARILY LIMIT OWNER ACCESS TO THEIR PROPERTY.
11. THE CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND RIGHT-OF-WAY. IF THE CONTRACTOR OBTAINS ADDITIONAL EASEMENTS FOR THE STORAGE OF EQUIPMENT AND MATERIALS, COPIES OF THE AGREEMENTS WITH THE PROPERTY OWNERS SHALL BE PROVIDED TO THE PROJECT ENGINEER.
12. THE CONTRACTOR SHALL NOT DISTURB GRASS AREAS OR TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES OR EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. ALL STORAGE, PARKING AND SERVICE AREA(S) WILL BE SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
13. DO NOT DRIVE ON THE PAVEMENT WITH CONSTRUCTION TRAFFIC GREATER THAN THE LEGAL LOAD LIMITS.



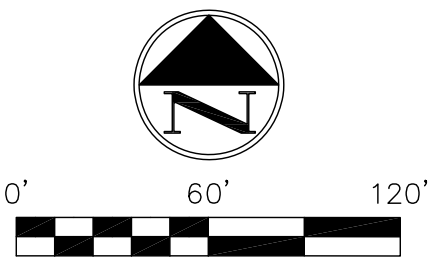
SILT FENCE (9040-119)



SEDIMENT BASIN WITHOUT
EMERGENCY SPILLWAY (9040.113)



STABILIZED CONSTRUCTION
ENTRANCE (9040.120)



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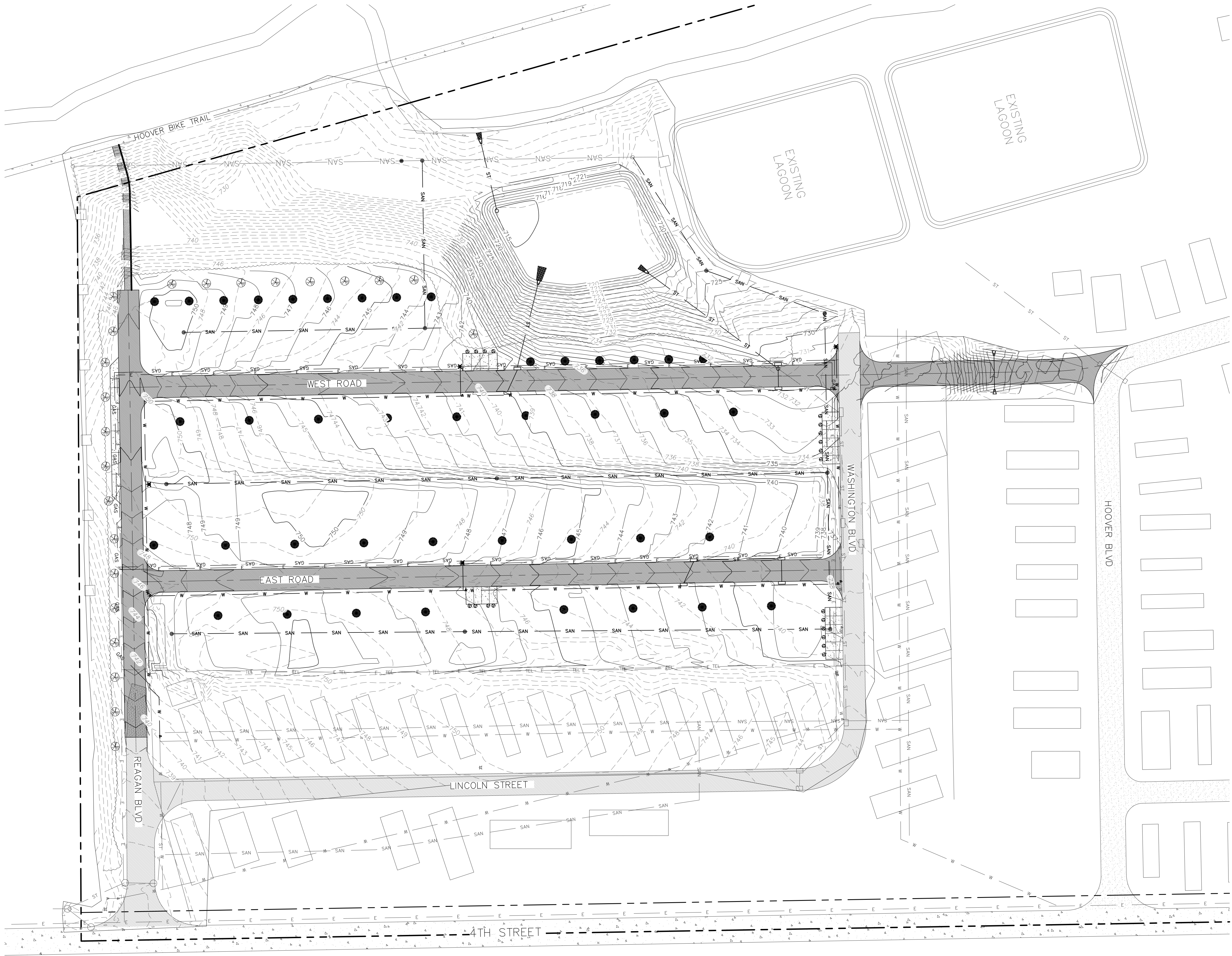
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EROSION CONTROL PLAN

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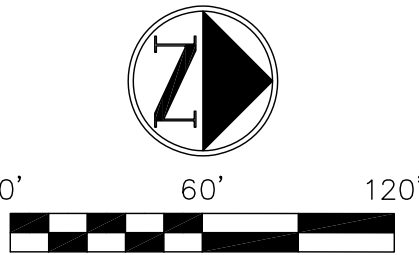


DEMOLITION NOTES

- COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK.
- THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES.
- CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
- WHERE WORK CAUSES REMOVAL OF PAVEMENT WITHIN EXISTING RIGHTS-OF-WAY, PAVEMENT SHALL BE REPLACED AS SOON AS PRACTICAL.
- ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF HIAWATHA REQUIREMENTS.
- WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE ("SIDEWALK CLOSED AHEAD USE OTHER SIDE").
- WHEN WORK EXTENDS INTO THE STREET, THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO ABANDONING EXISTING SANITARY SEWER LINES, CONTRACTOR SHALL HAVE NEW SEWER CONNECTION COMPLETED AND INSPECTED.
- ABANDON EXISTING SEWER PIPE BY PLUGGING THE PIPE AT THE DOWNSTREAM END AND FILLING THE PIPE WITH FLOWABLE FILL.

CUT/FILL REPORT				
CUT FACTOR	FILL FACTOR	EXCAVATION	EMBANKMENT	NET
1.00	1.30	10,597	9,679	918 CUT

*ONSITE SPOILS TO BE USED TO SHAPE SHOULDERS AND SIDE SLOPES OF PROPOSED ROAD CONNECTION TO EXISTING COMMUNITY.



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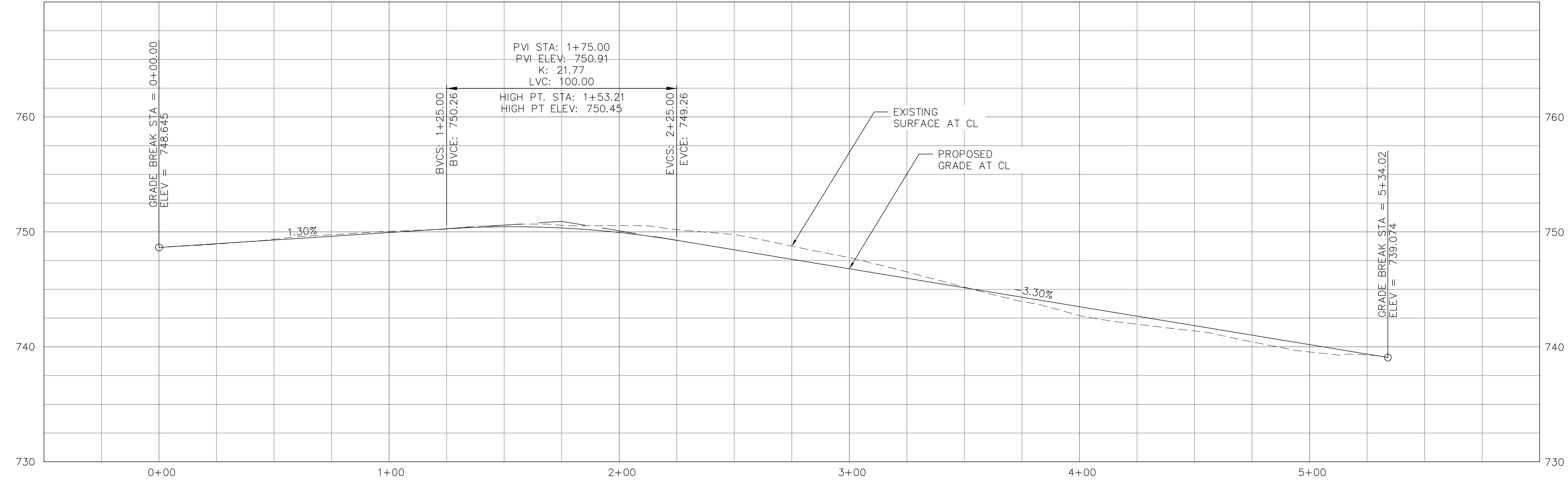
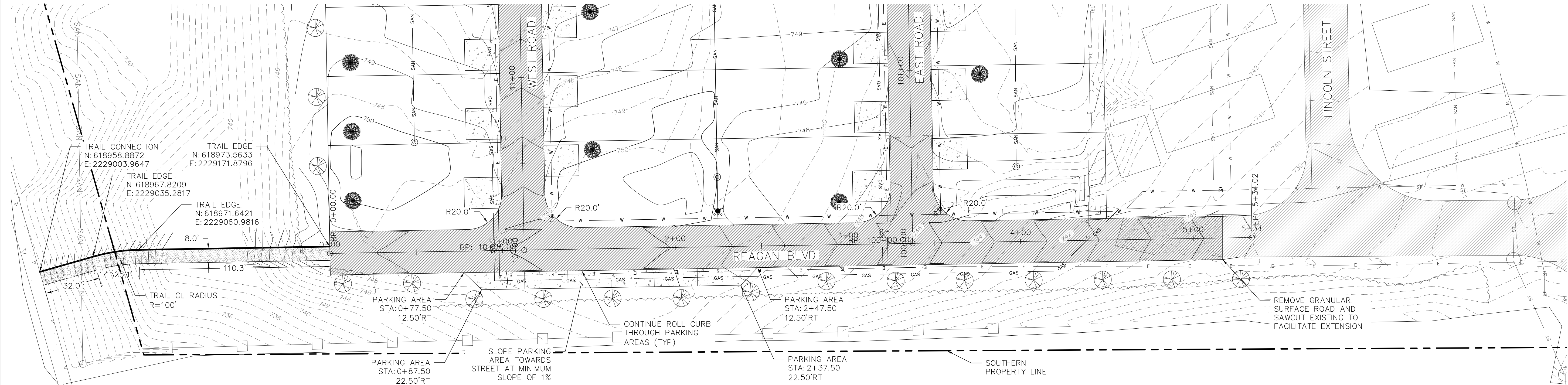
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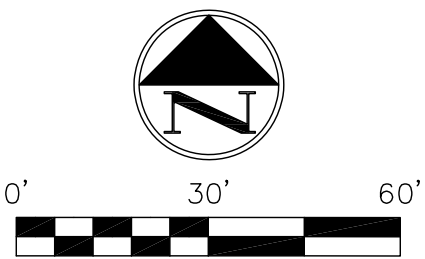
GRADING PLAN

SHEET NO.
C.04



PAVING CONSTRUCTION NOTES:

1. A MINIMUM 6" THICK GRANULAR SUBBASE OF I.D.O.T. GRADATION 12 OR 14 SHALL BE PROVIDED FOR ALL PUBLIC AND PRIVATE STREETS. SUBBASE SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 2010.
2. NO NEW CONCRETE PAVING SHALL BE OPENED TO VEHICULAR TRAFFIC UNTIL APPROVED BY THE CITY OF WEST BRANCH.
3. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN AND CITY OF WEST BRANCH REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.



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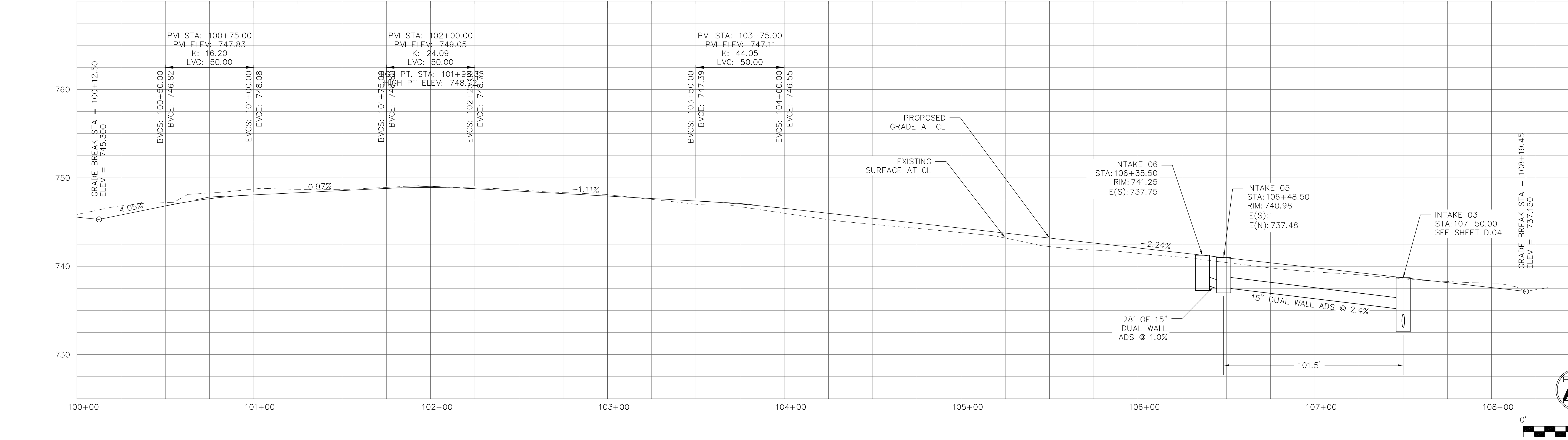
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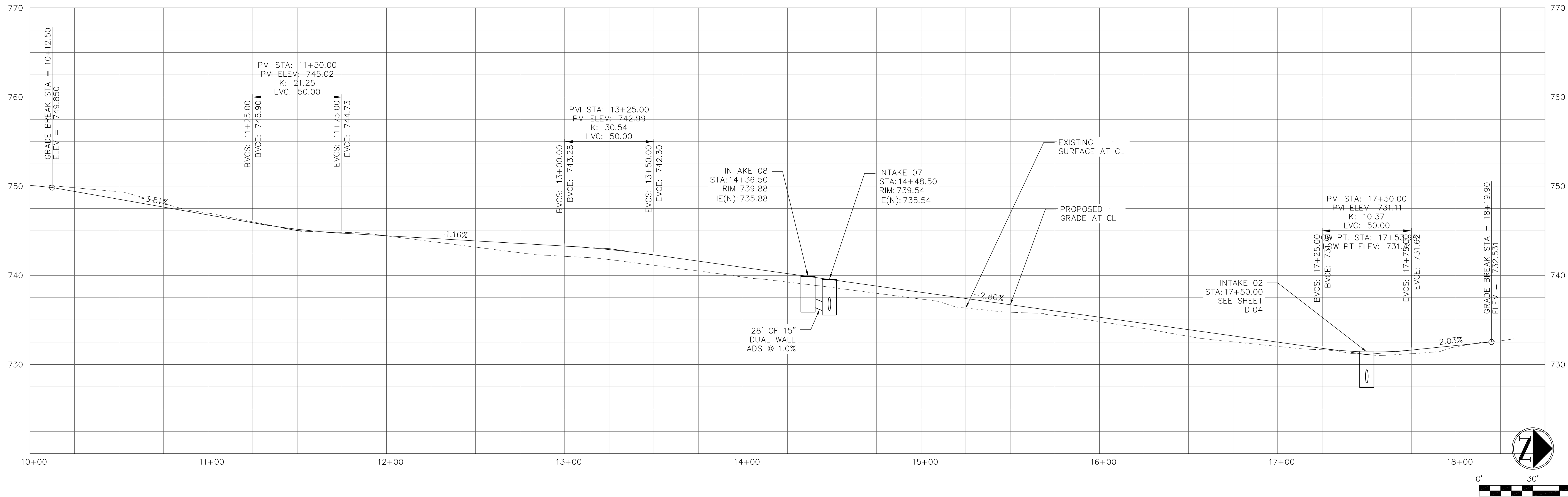
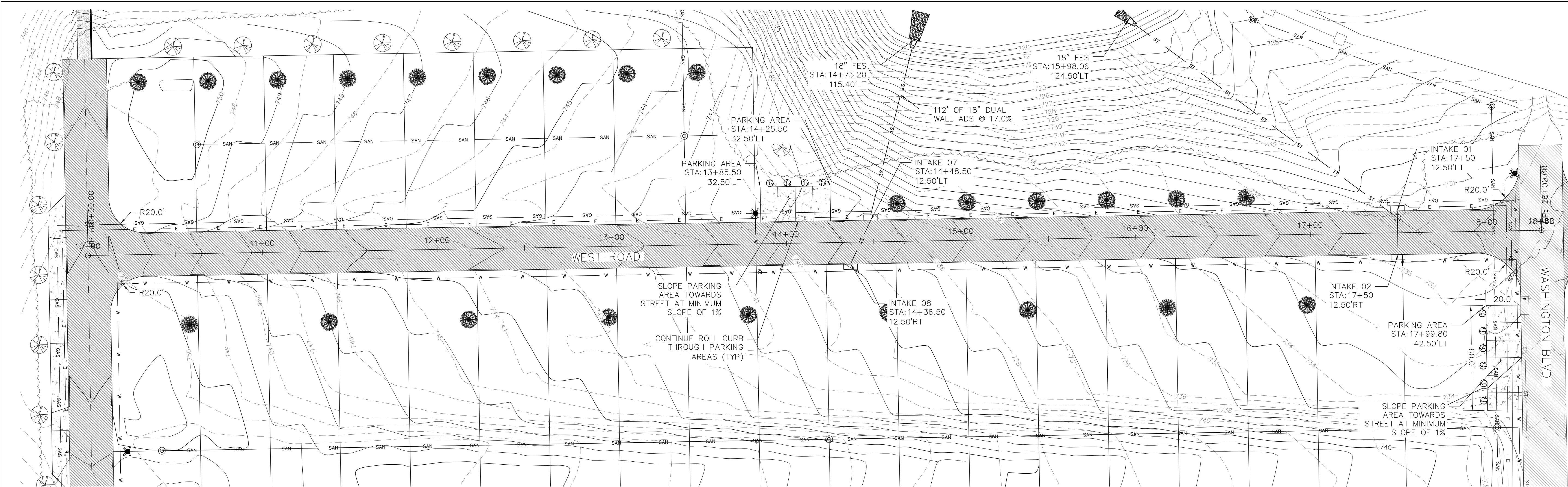
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WEST BRANCH, IOWA

ROADWAY AND DRAINAGE PLANS
SOUTH ROAD

SHEET NO.
D.01





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DATE: June 28, 8:06am
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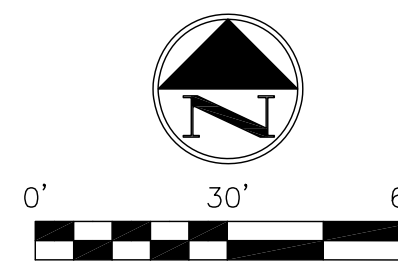
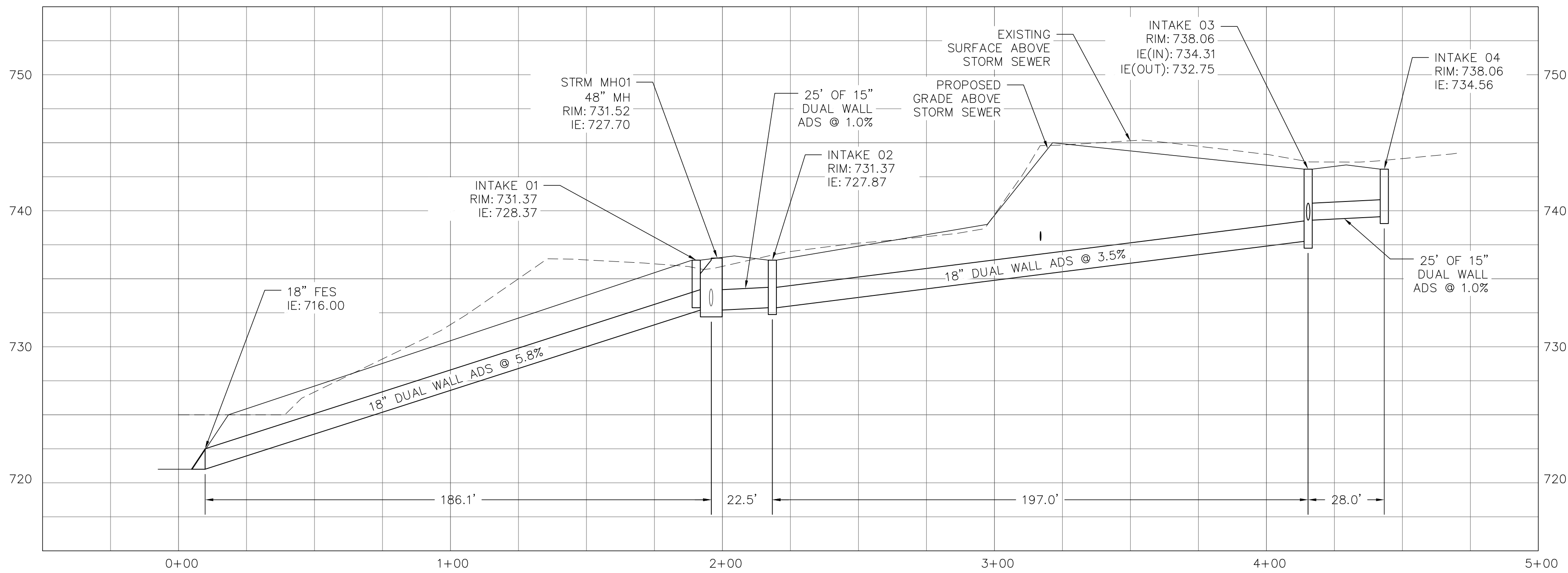
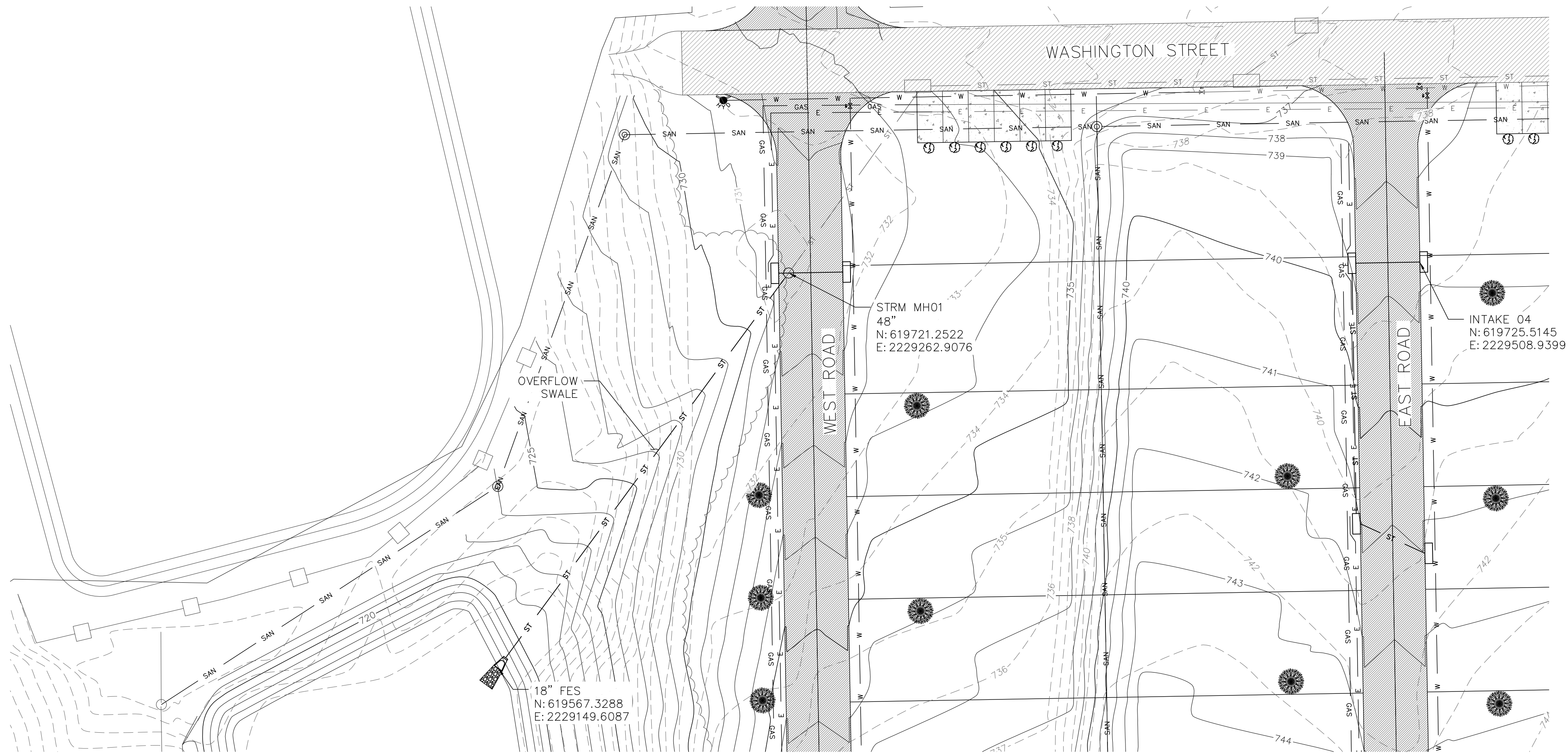
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ROADWAY AND DRAINAGE PLANS
WEST ROAD

SHEET NO.
D.03



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WEST BRANCH VILLAGE IMP PLANS.dwg | D.04

NO.	REVISION DESCRIPTION	APPROVED	DATE

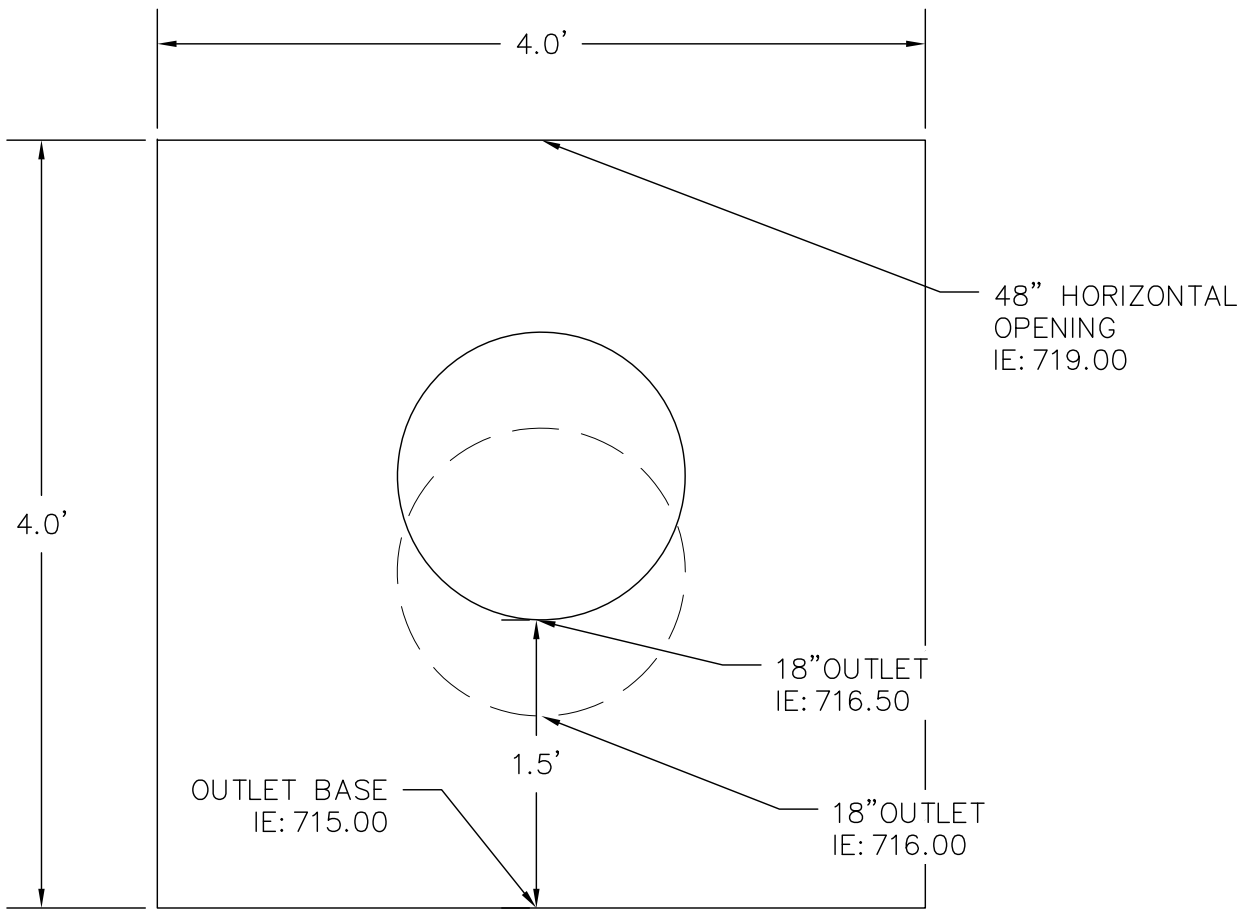
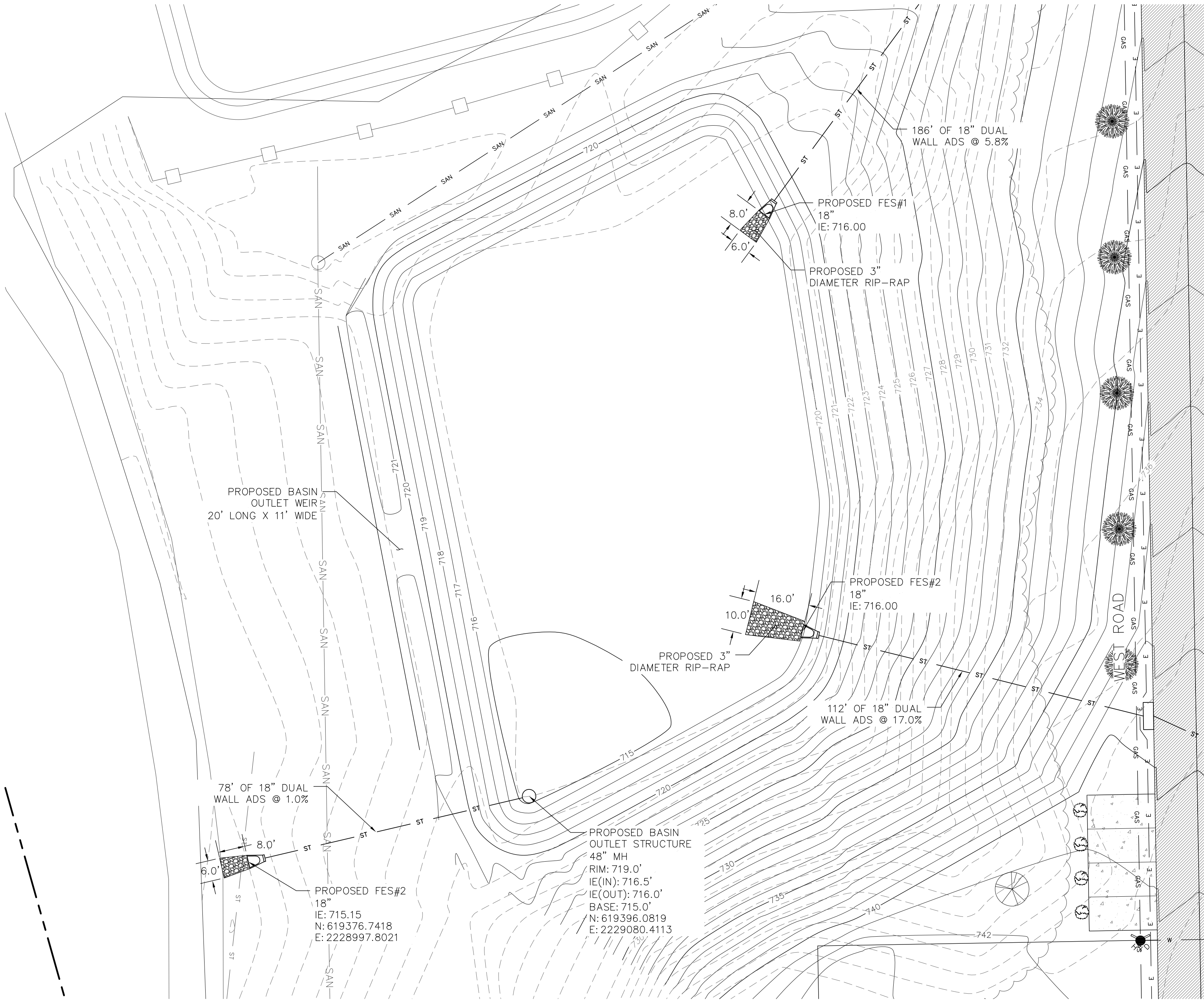
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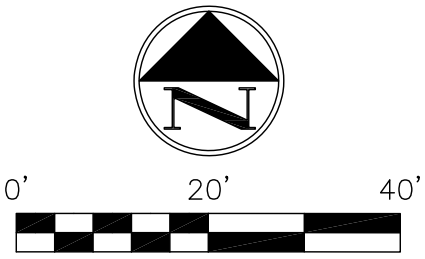
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ROADWAY AND DRAINAGE PLANS
STORM SEWER TO BASIN

SHEET NO.
D.04



BASIN OUTLET STRUCTURE
NOT TO SCALE



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DATE: <u>June 28, 8:06am</u>	
<u>WEST BRANCH VILLAGE IMP PLANS.dwg D.05</u>	

NO.	REVISION DESCRIPTION	APPROVED	DATE

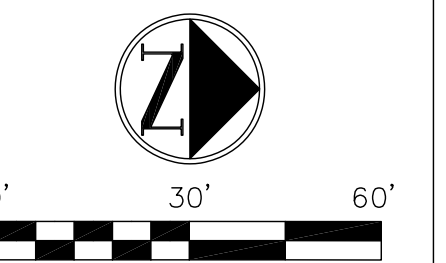
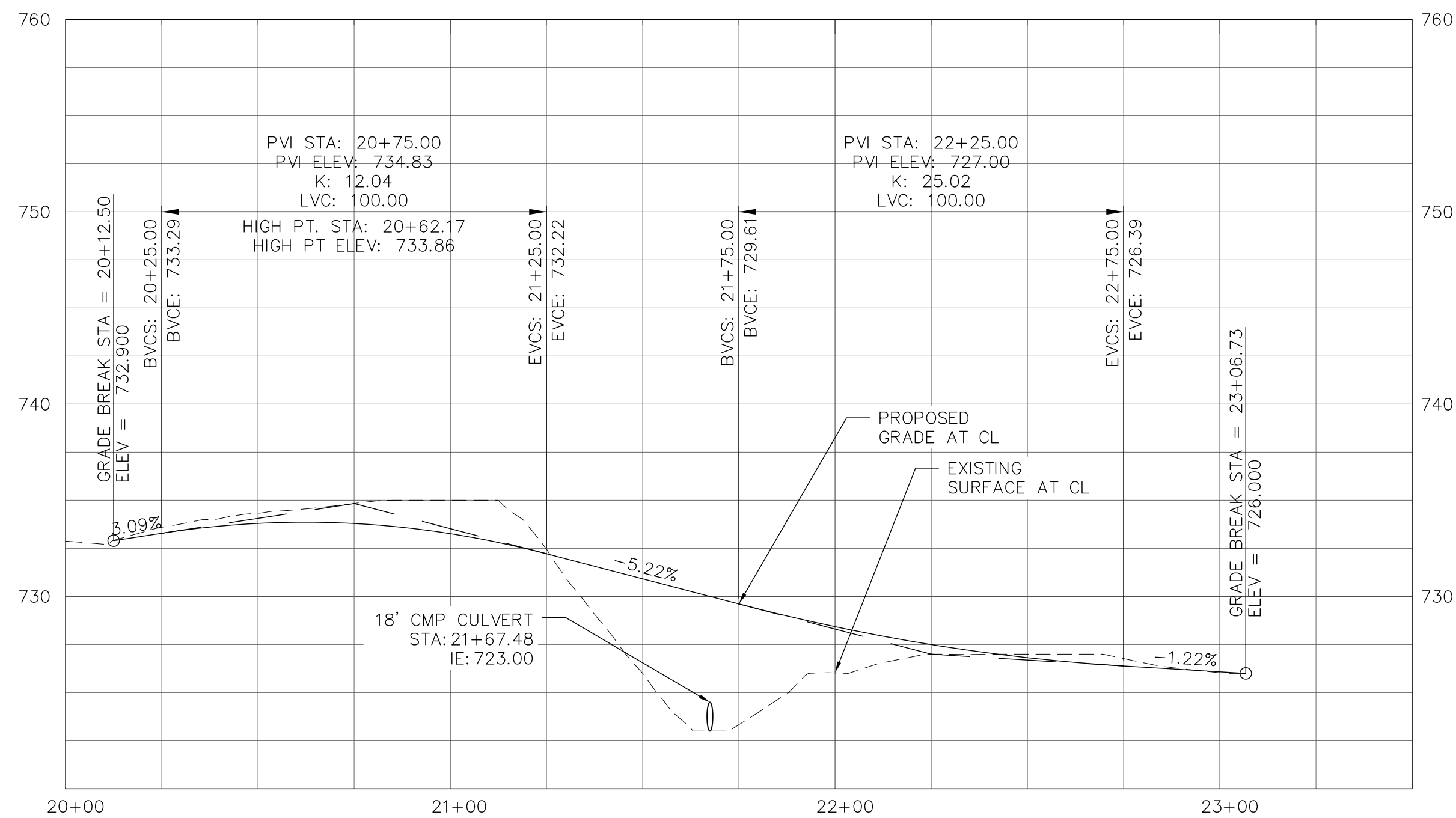
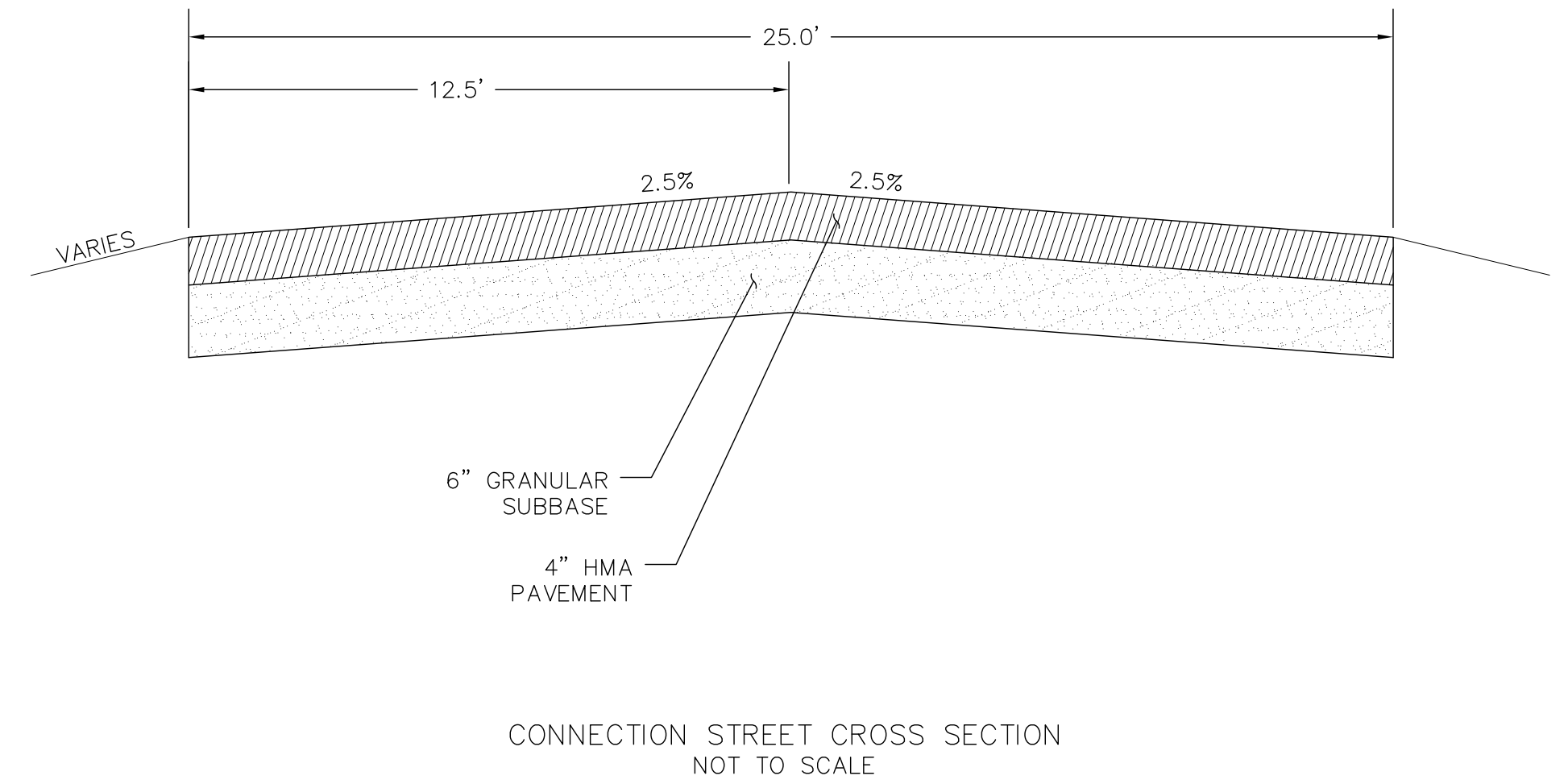
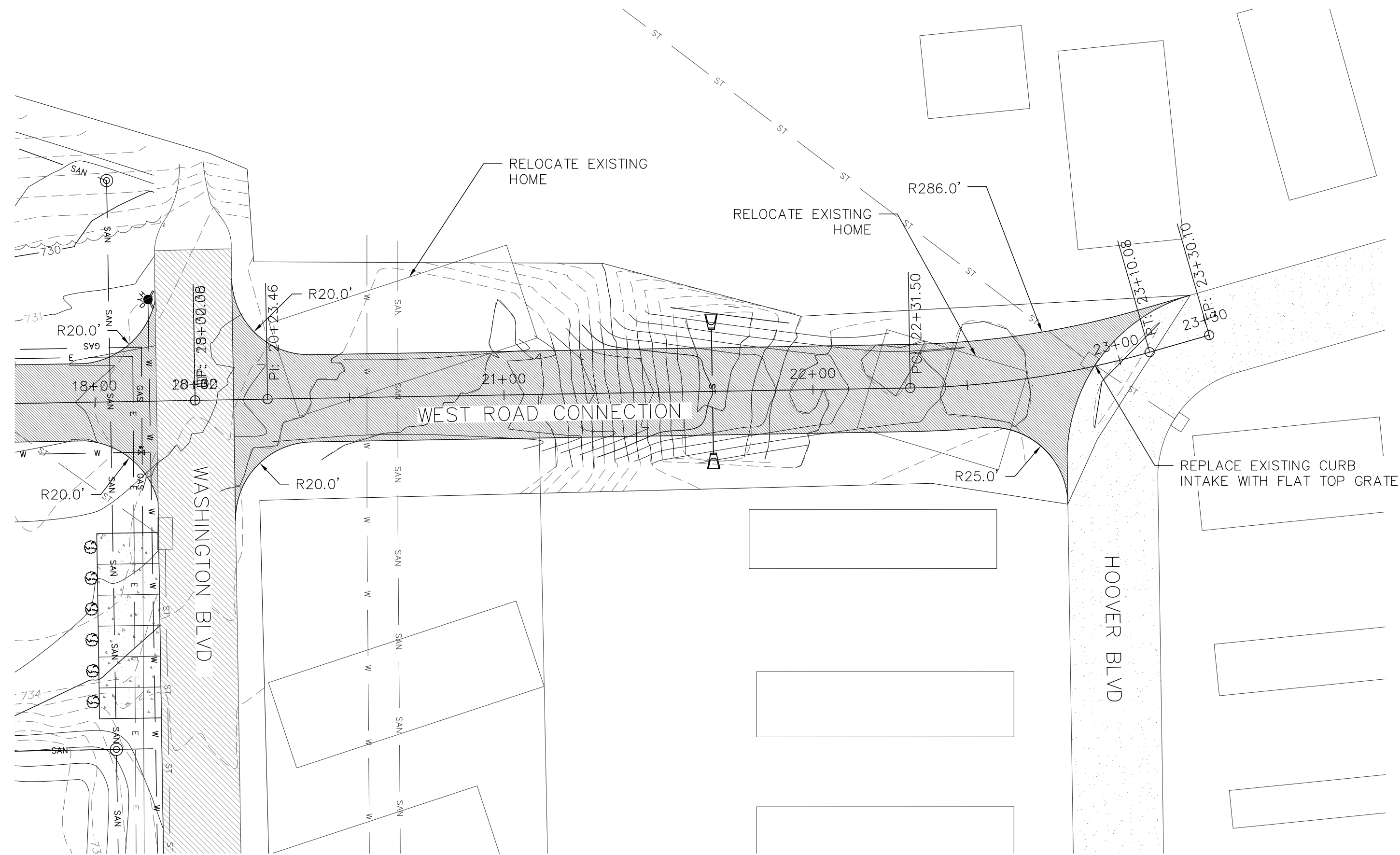


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ROADWAY AND DRAINAGE PLANS
DRAINAGE BASIN DETAIL

SHEET NO.
D.05



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DATE: <u>June 28, 8:06am</u>	
<u>WEST BRANCH VILLAGE IMP PLANS.dwg D.06</u>	

NO.	REVISION DESCRIPTION	APPROVED	DATE

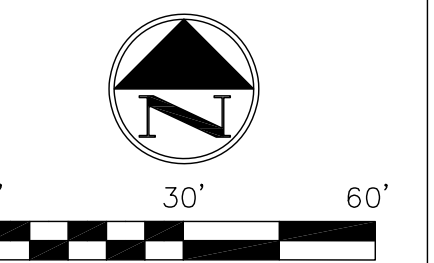
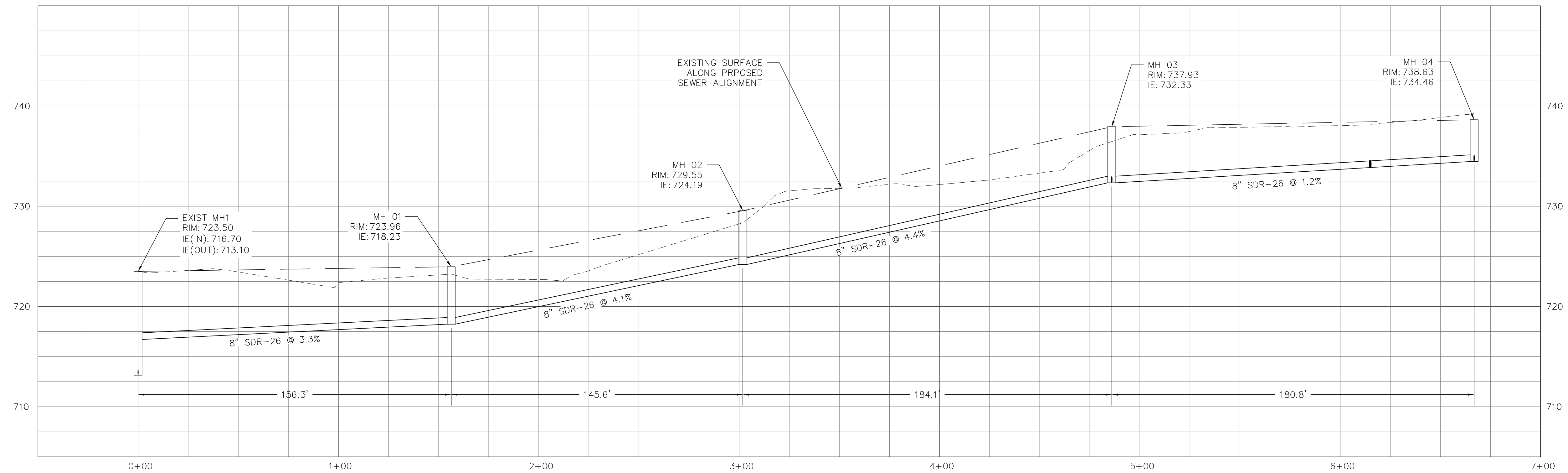
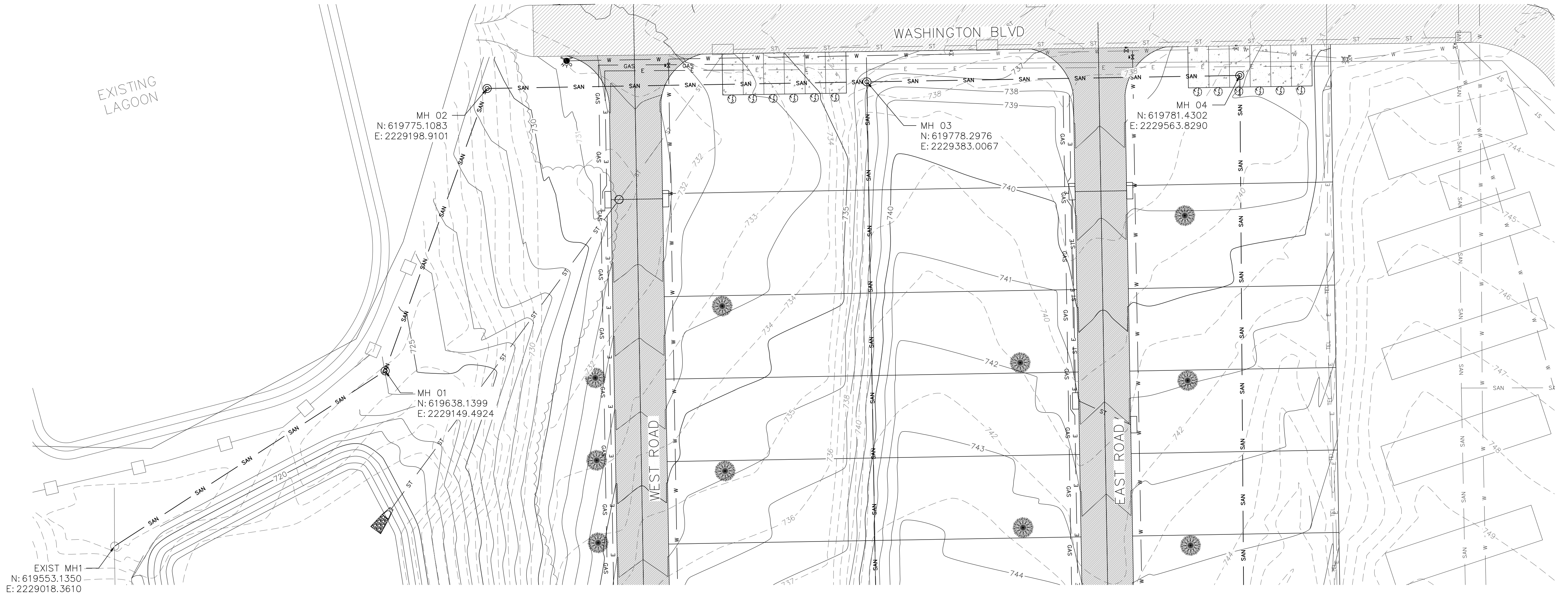
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ROADWAY AND DRAINAGE PLANS
WEST ROAD CONNECTION

SHEET NO.
D.06



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WEST BRANCH VILLAGE IMP PLANS.dwg | S.01

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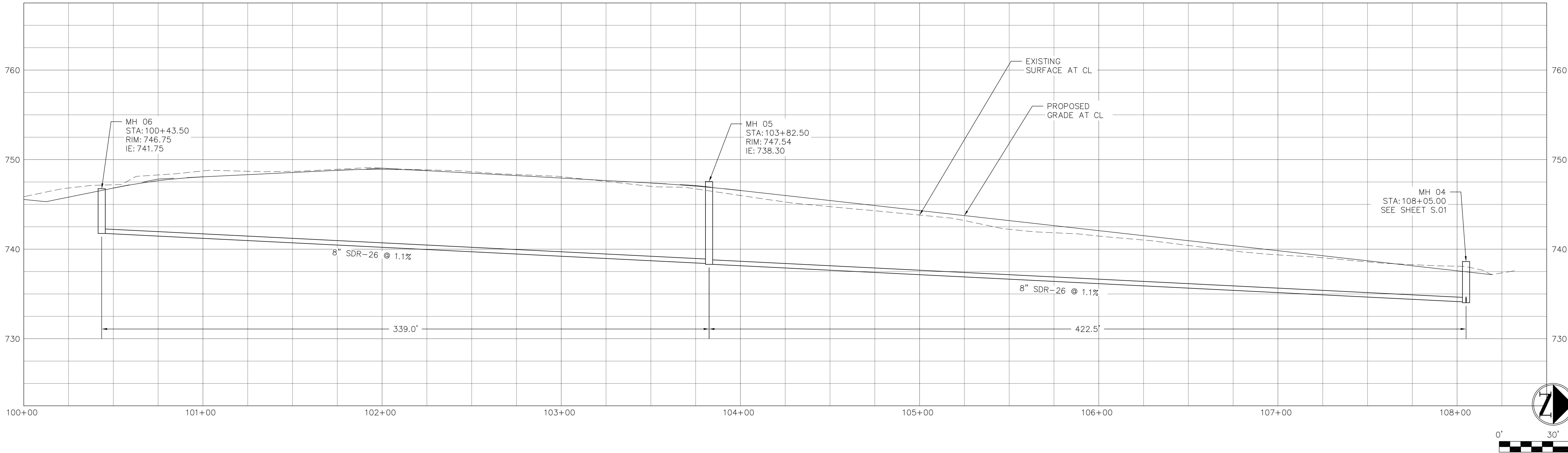
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SANITARY SEWER MAIN PLANS
WEST ROAD

SHEET NO.
S.01



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WEST BRANCH VILLAGE IMP PLANS.dwg | S.02

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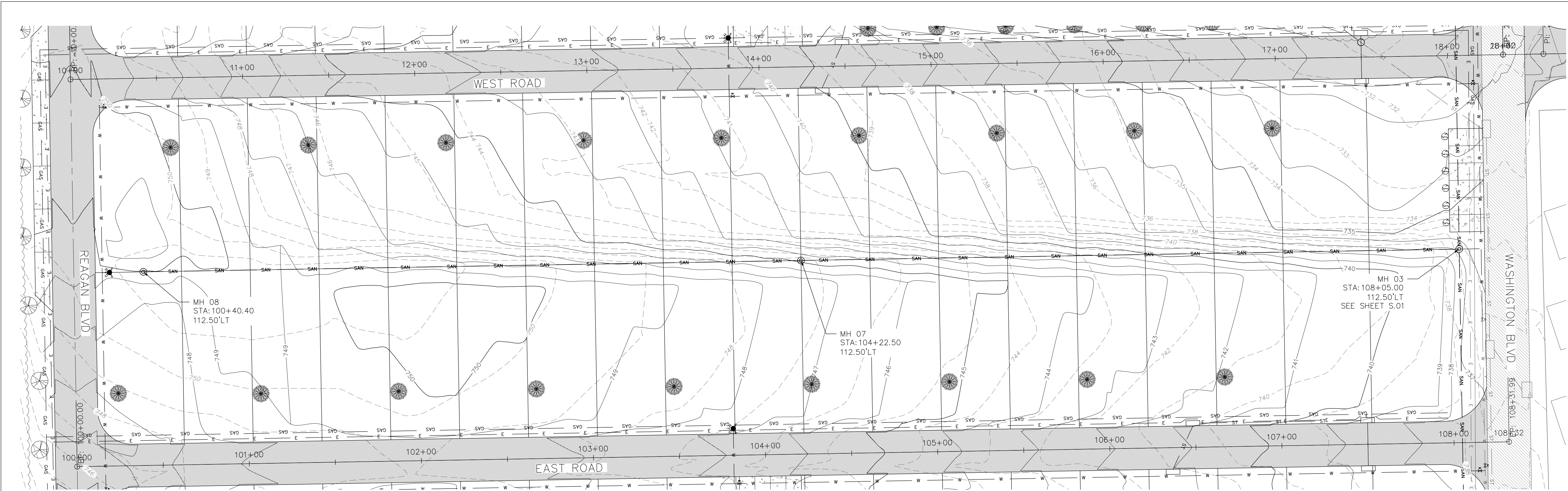
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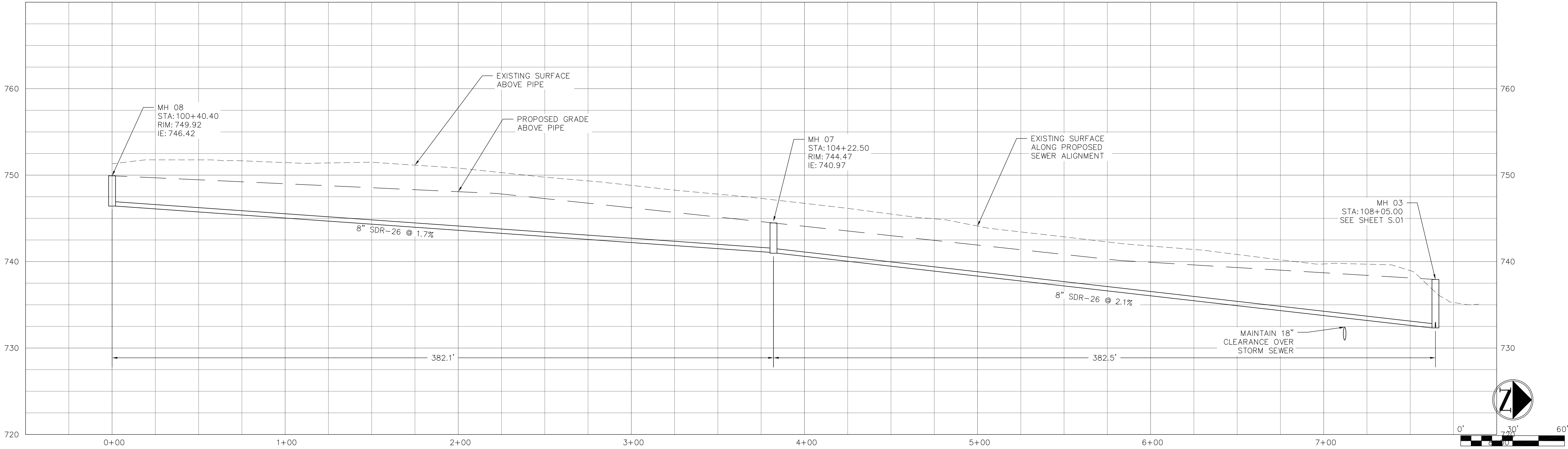
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WEST BRANCH, IOWA

SANITARY SEWER MAIN PLANS
EAST ROAD

SHEET NO.
S.02



*EAST ROAD STATIONING AND OFFSETS ARE SHOWN FOR MANHOLE LOCATIONS BEHIND HOMES.



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WEST BRANCH VILLAGE IMP PLANS.dwg | S.03

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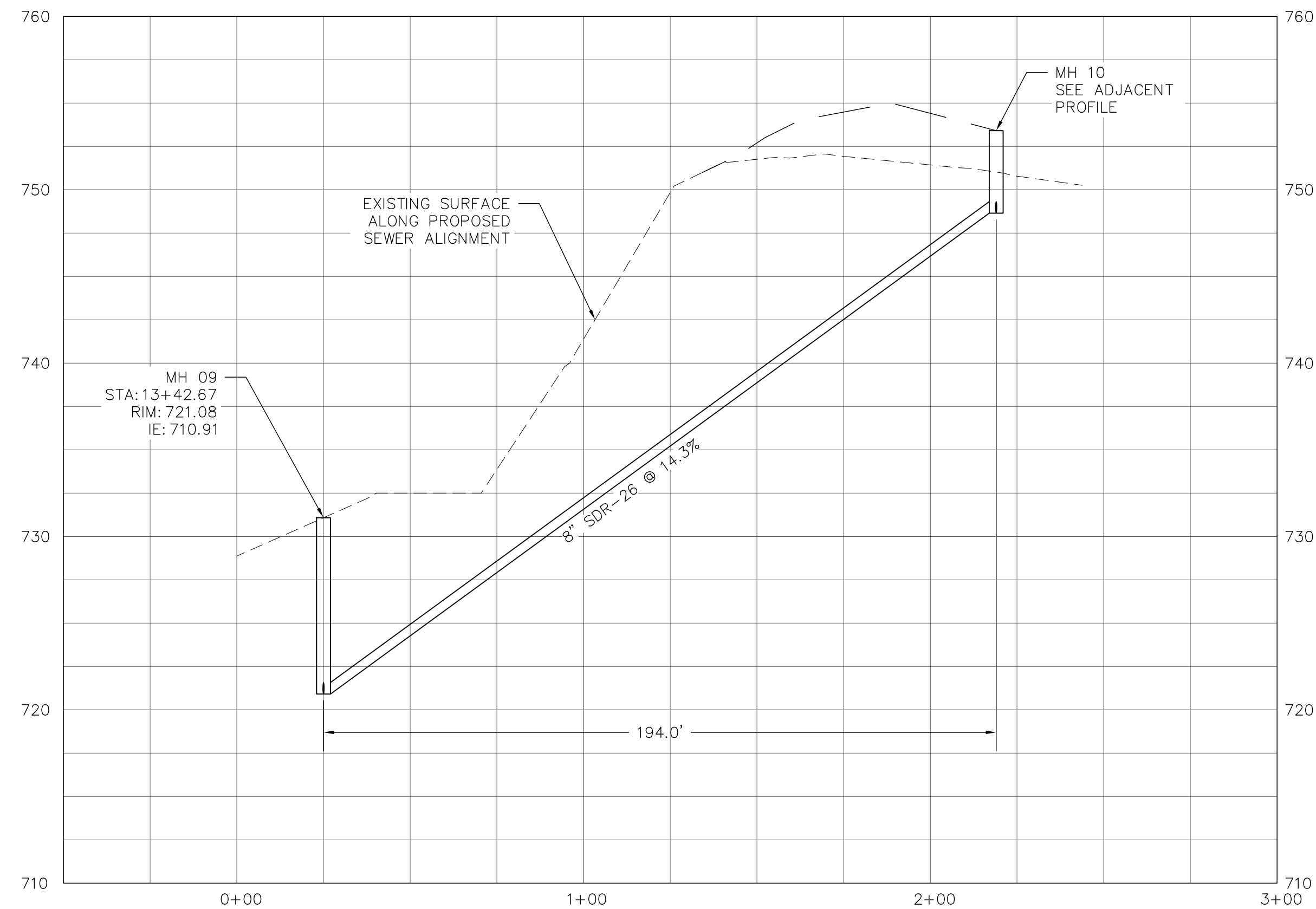
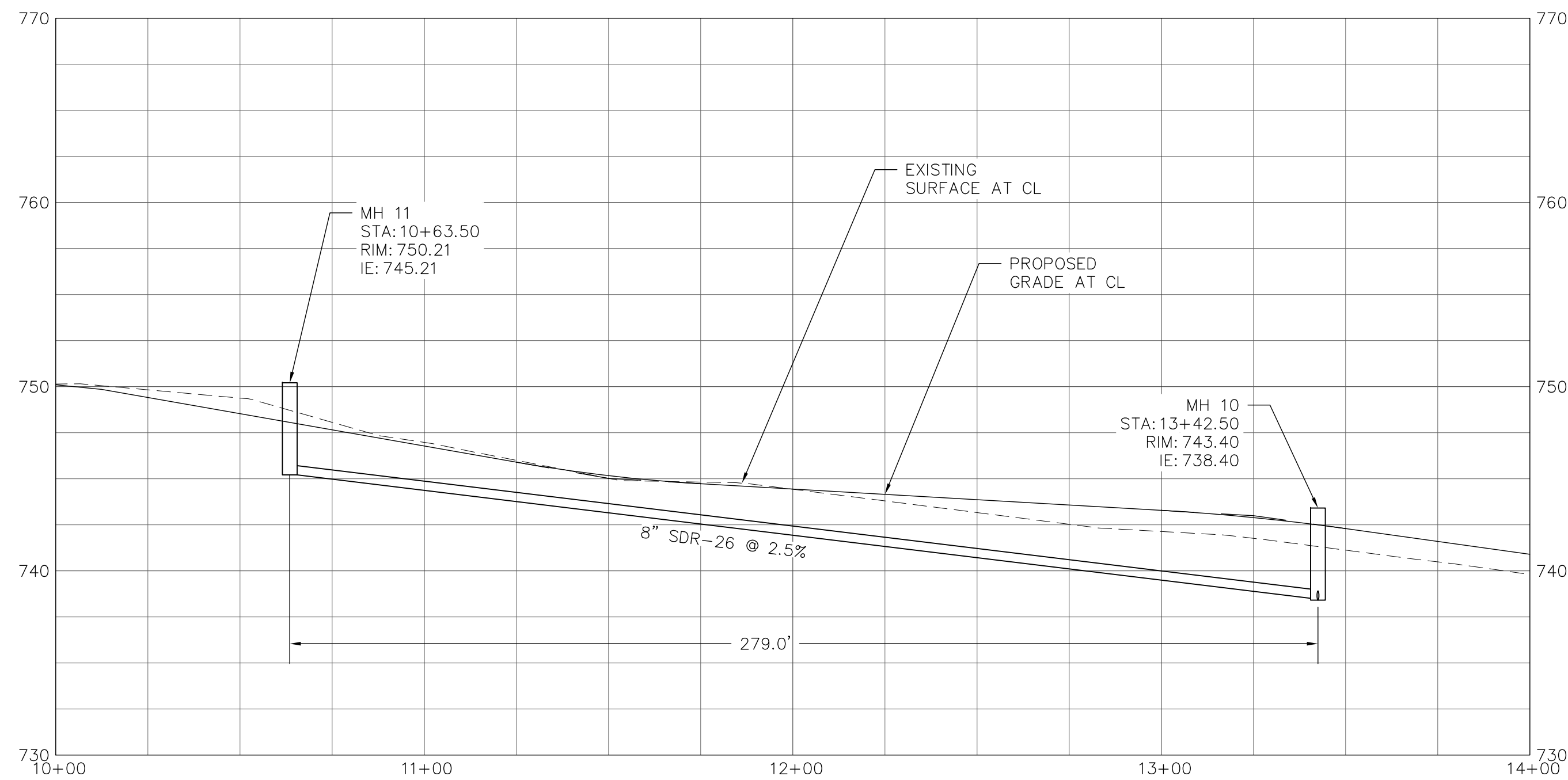
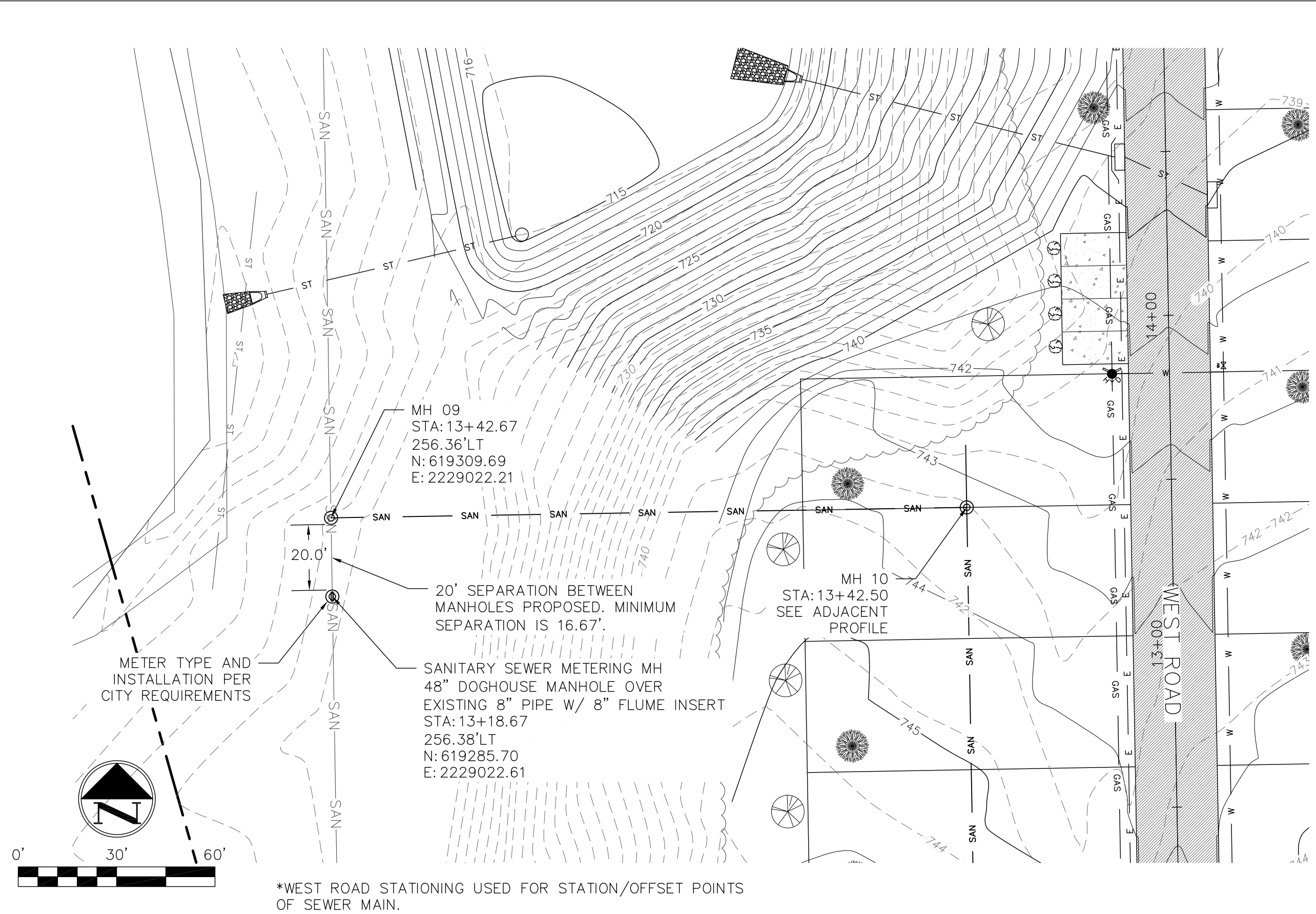
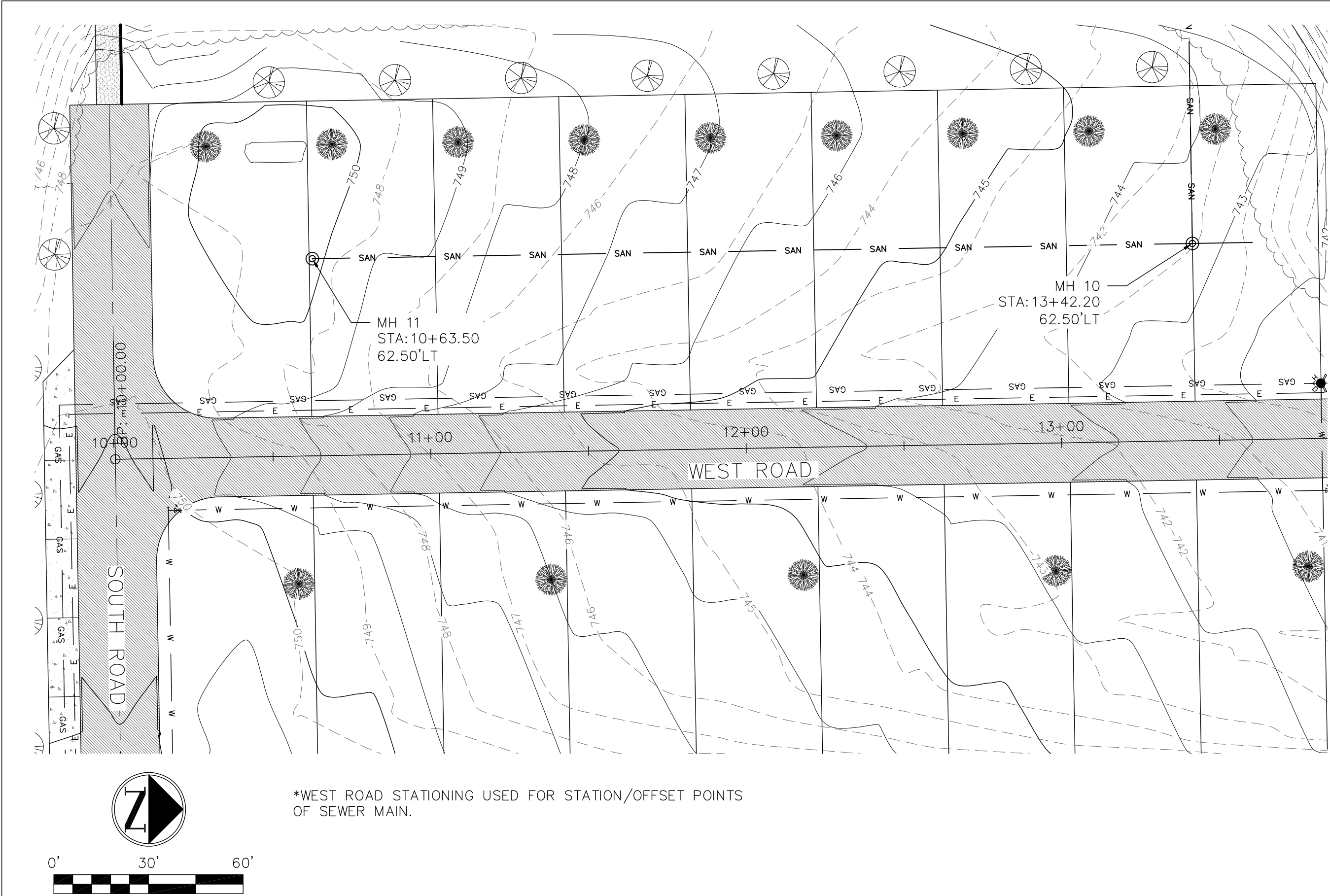
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WEST BRANCH, IOWA

SANITARY SEWER MAIN PLANS
BACK OF LOTS

SHEET NO.
S.03



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DATE: June 28, 8:07am
WEST BRANCH VILLAGE IMP PLANS.dwg | S.04

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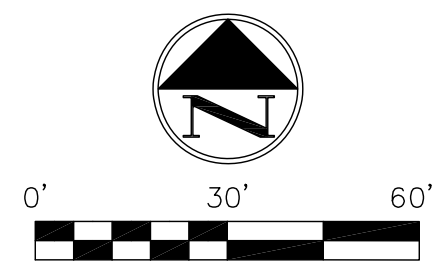
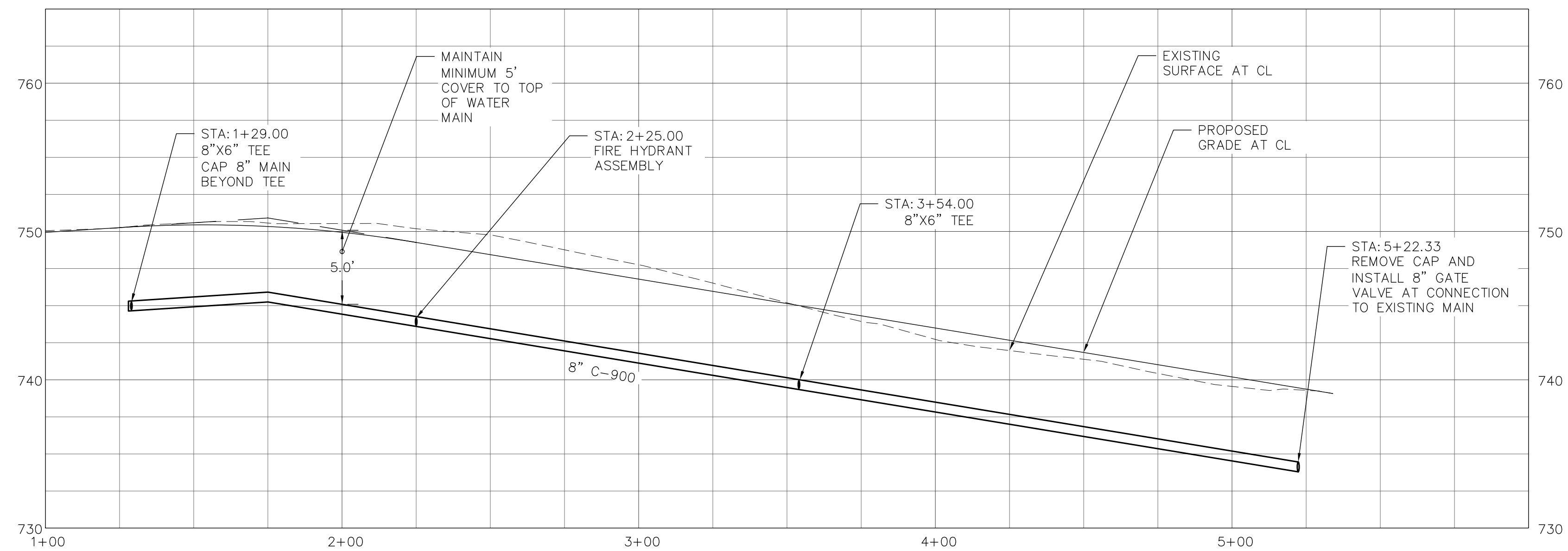
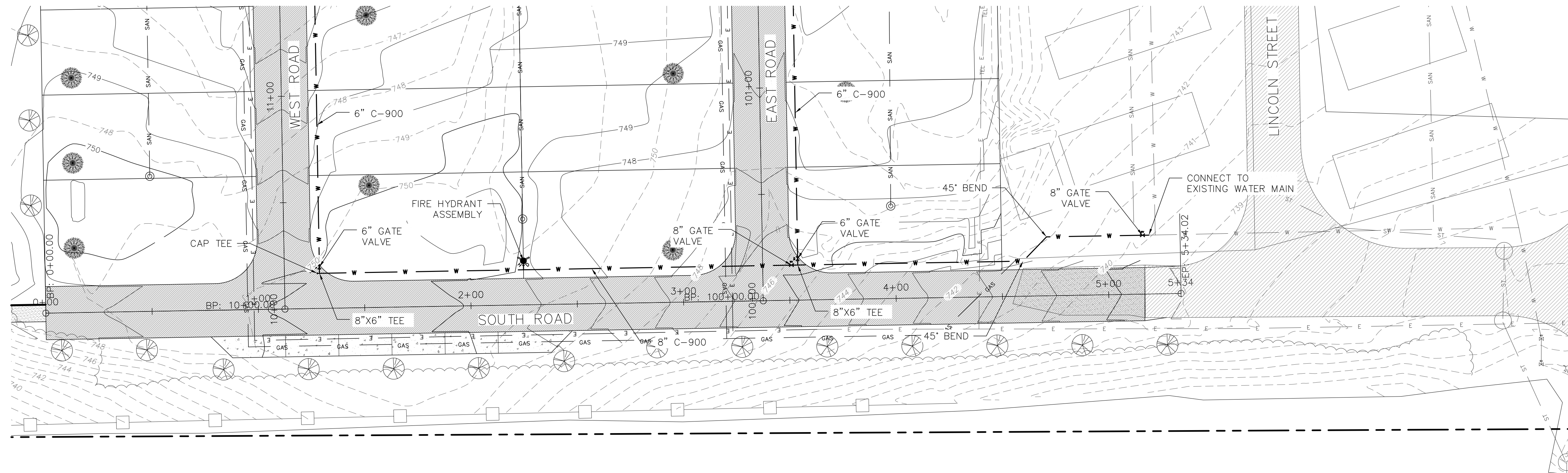
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SANITARY SEWER MAIN PLANS
WEST ROAD

SHEET NO.
S.04



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<u>WEST BRANCH VILLAGE IMP PLANS.dwg W.01</u>	

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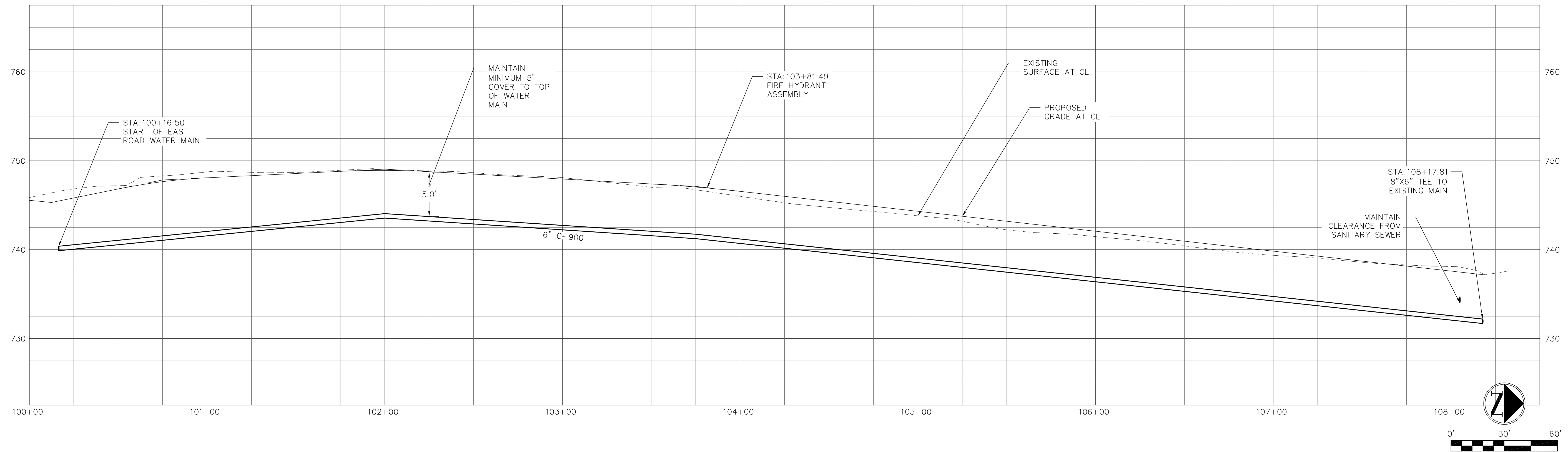
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WEST BRANCH, IOWA

WATER MAIN PLANS
SOUTH ROAD

SHEET NO.
W.01



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DATE: June 28, 8:07am
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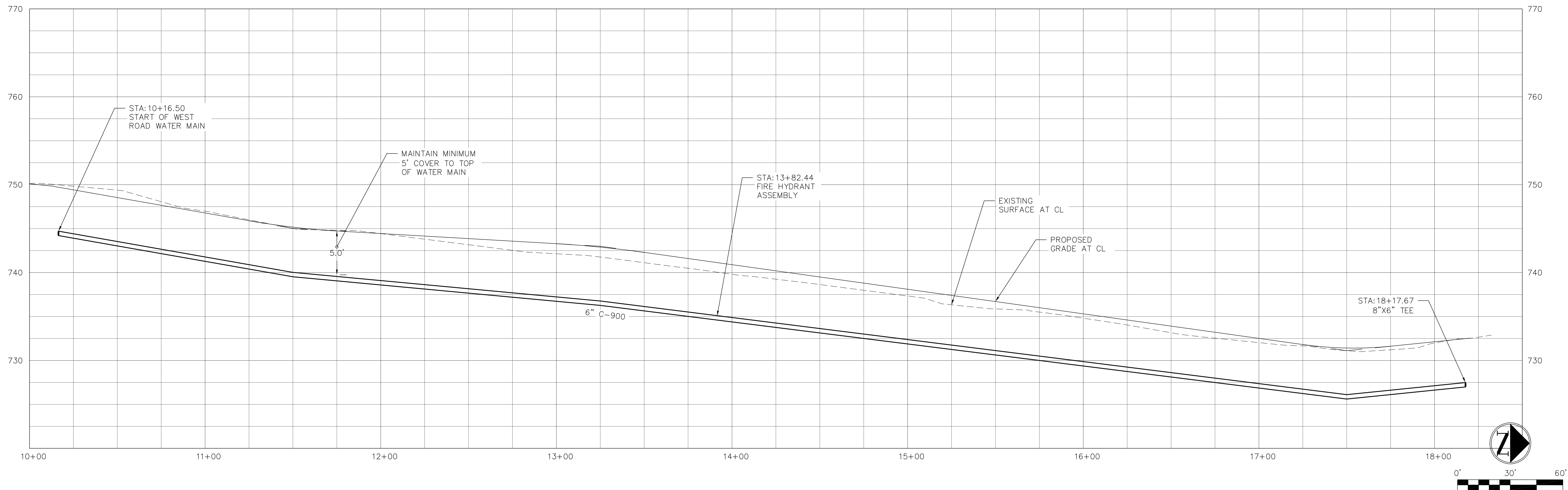
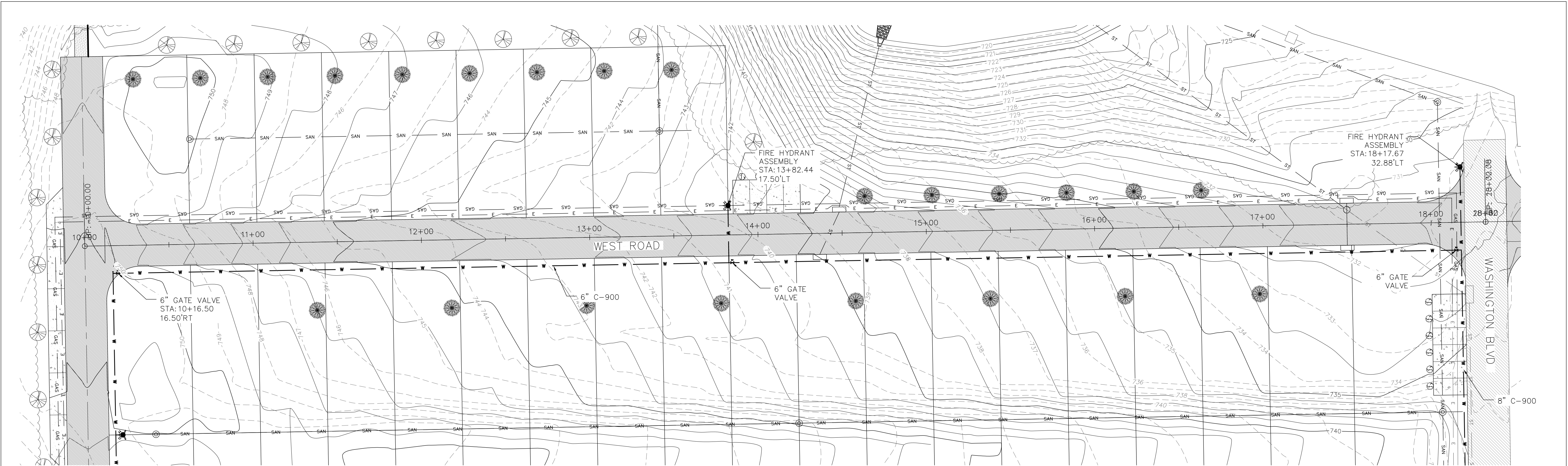
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WEST BRANCH, IOWA

WATER MAIN PLANS
EAST ROAD

SHEET NO.
W.02



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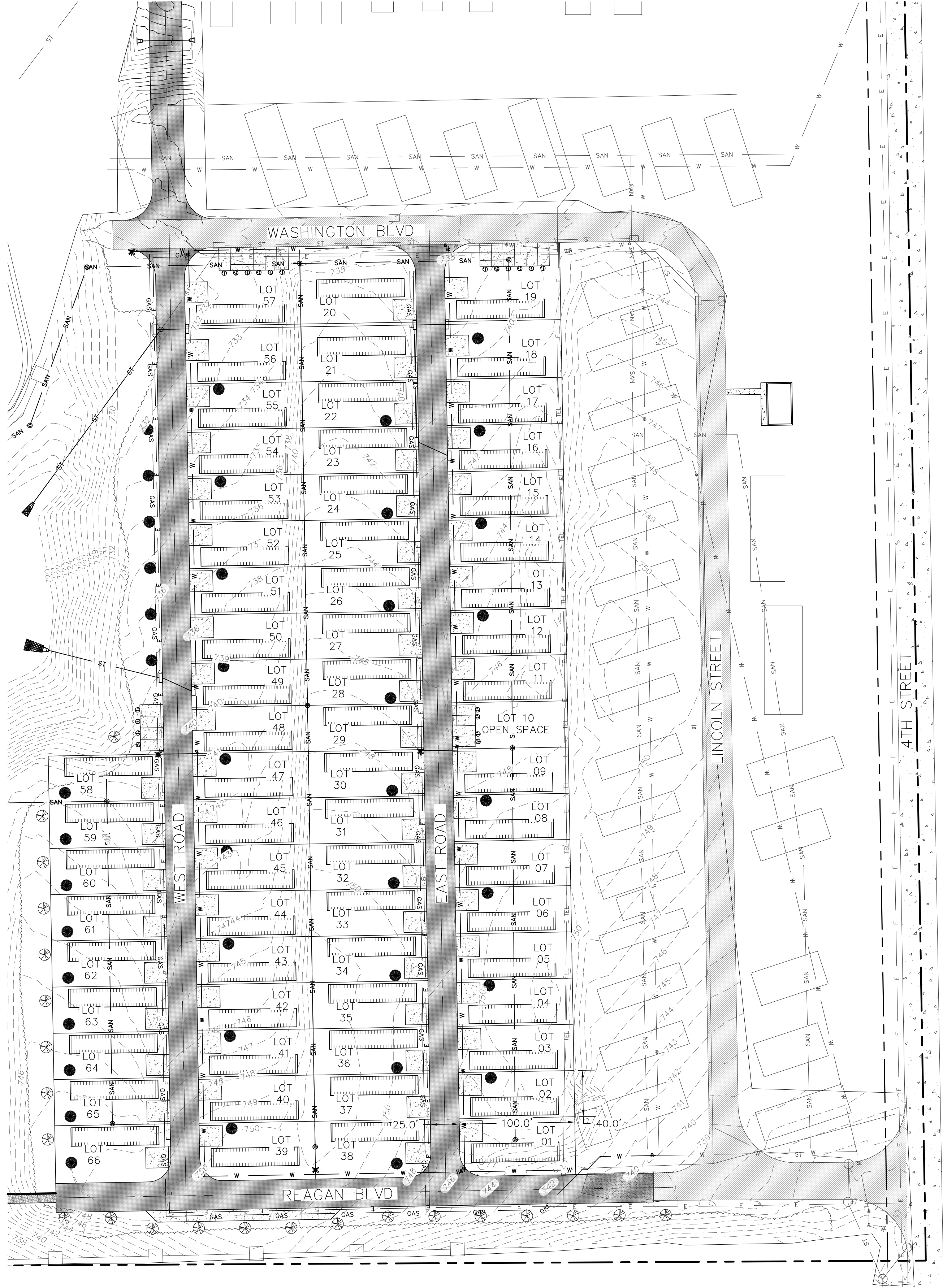
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WEST BRANCH, IOWA

WATER MAIN PLANS
WEST ROAD

SHEET NO.
W.03

- GENERAL LANDSCAPE NOTES
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8989) OR 811 AT LEAST 48 HOURS PRIOR TO DIGGING. CONTRACTOR TO REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY AT CONTRACTORS EXPENSE.
 - PRIOR TO PLANT MATERIAL INSTALLATION, THE OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES, TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS AND/OR IN CONSIDERATION OF OTHER FACTORS.
 - PRIOR TO INSTALLATION, ALL TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR LAYOUT APPROVAL.
 - ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - PROVIDE A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS AND TREE RINGS. MULCH RINGS FOR TREES SHALL BE A MINIMUM SIX FOOT (6') DIAMETER. ALL MULCH BEDS AND TREE RINGS SHALL CONTAIN SPADE/SHOVE CUT EDGING AT MULCH EDGE.
 - NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
 - CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
 - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS, METALS, OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
 - AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/3 THE PLANT.
 - CONTRACTOR SHALL WATER AND MAINTAIN ALL SEEDED AREAS AS WELL AS ALL PLANT MATERIAL UNTIL GROUND FREEZES. MAINTENANCE IS INCIDENTAL AND INCLUDES, BUT IS NOT LIMITED TO, WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE. INITIAL ACCEPTANCE IS CONSIDERED TO BE THE DATE AT WHICH PLANTING AND MULCHING, ETC., PER LANDSCAPE PLAN, HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE. REPLACE ALL PLANT MATERIAL UP TO ONE YEAR OF INITIAL ACCEPTANCE, IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - ALL AREAS DISTURBED BY CONSTRUCTION SHALL HAVE FULL SURFACE RESTORATION IMPLEMENTED BY MEANS OF TURF GRASS LAWN SEED AND/OR SOD, CONTRACTOR TO VERIFY/COORDINATE WITH OWNER UNLESS NOTED OTHERWISE.
 - FOR ALL OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS OR NOT COVERED WITHIN THESE GENERAL NOTES, CONTRACTOR SHALL FOLLOW SUDAS OR CITY STANDARDS AS APPLICABLE. THE PLAN AND NOTES ON THIS SHEET SHALL SUPERCEDE SUDAS OR CITY STANDARDS AS APPLICABLE.
 - ALL LANDSCAPE TO BE INSTALLED PER APPLICABLE SUDAS OR CITY STANDARDS.
 - NURSERY SOURCE FOR LANDSCAPE PLANTS SHOWN HEREON SHALL BE WITHIN A 500 MILE RADIUS OF WEST BRANCH, IOWA AND GROWN IN A CLIMATE ZONE OF 5A OR COLDER.
 - PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.



PROPOSED TREE SPECIES – DECIDUOUS TREES		
D1	ALDER, BLACK	ALNUS GLUTINOSA
D2	BIRCH, RIVER	BETULA NIGRA
D3	BIRCH, YELLOW	BETULA ALLEGHANIENSIS
D4	MAPLE, BLACK	ACER NIGRUM

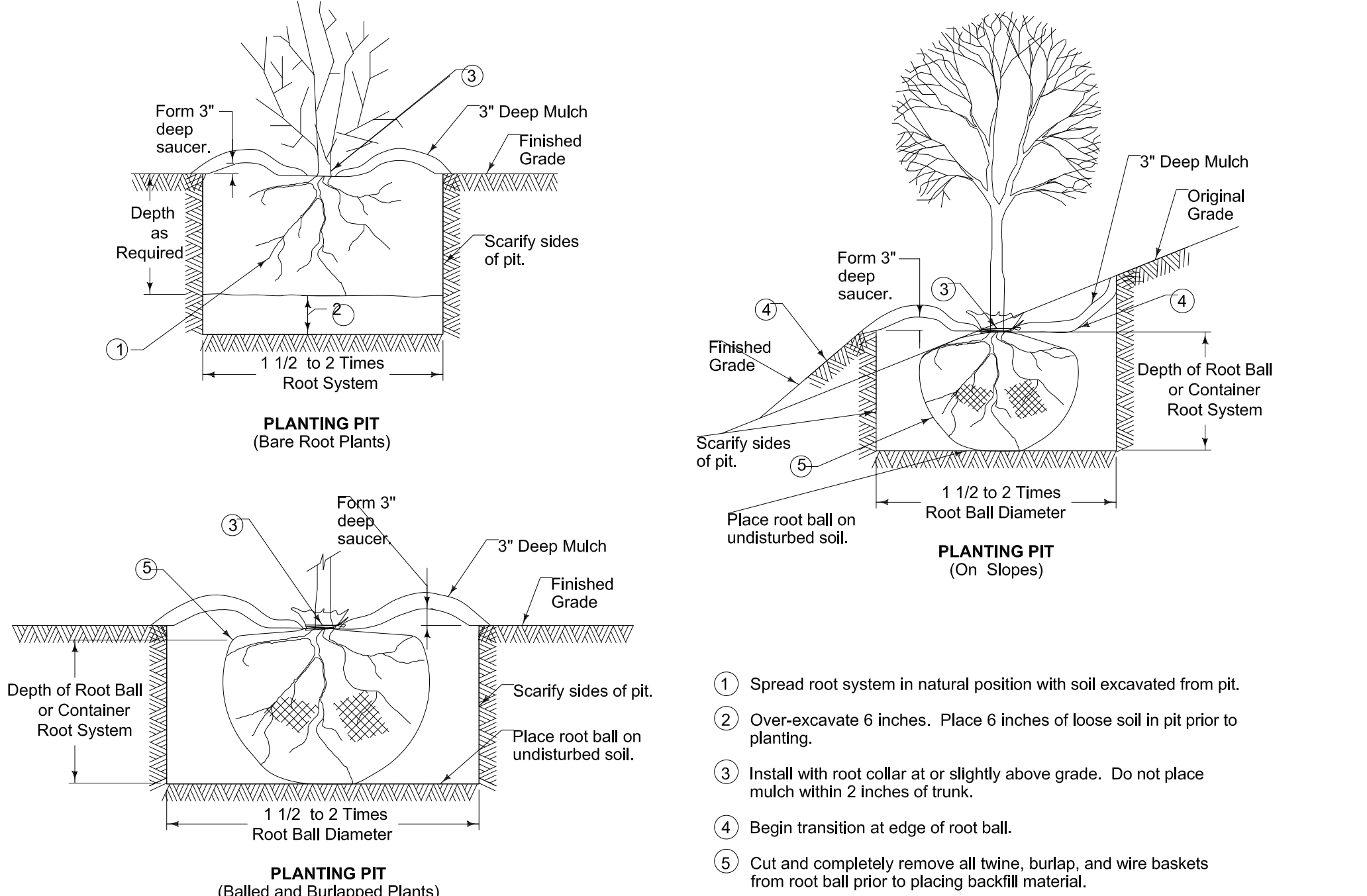
PROPOSED TREE SPECIES – CONIFEROUS TREES		
C1	PINE, WHITE	PINUS STROBUS
C2	SPRUCE, WHITE	PICEA GLAUCA
C3	FIR, DOUGLAS	PSEUDOTSUGA MENZIESII

- NOTES:
- DECIDUOUS TREES SHALL BE PLACED AS STREET TREES ALONG PROPOSED DRIVEWAYS.
 - REFER TO PLANTING DETAILS ON C.06.
 - DECIDUOUS TREES SHALL BE ALTERNATED BETWEEN VARITIES SHOWN ABOVE.

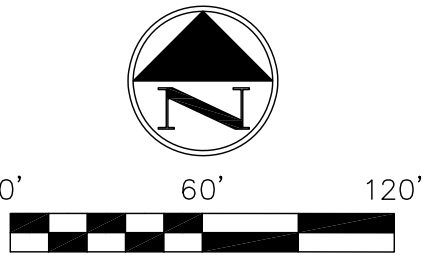
REQUIRED CONIFEROUS TREES = 22 TREES
PROPOSED CONIFEROUS TREES = 23 TREES

REQUIRED DECIDUOUS TREES = 43 TREES
PROPOSED DECIDUOUS TREES = 45 TREES

- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB



TREE PLANTING PIT DETAIL
NOT TO SCALE



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WEST BRANCH VILLAGE EXPANSION
WEST BRANCH, IOWA

SITE PLAN

SHEET NO.
L.01



REQUEST FOR COUNCIL CONSIDERATION

MEETING DATE:	July 12, 2021
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AGENDA ITEM:	Motion to approve installing the University of Iowa public art project mural at the City Office.
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PREPARED BY:	Deputy City Clerk Leslie Brick
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DATE:	July 1, 2021
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BACKGROUND INFORMATION:

In 2019, the City Council approved participation in the University of Iowa Public Art project which would create a mural that would be reflective of West Branch's history and uniqueness. University of Iowa student, Ali Hval, artist provided a few design options for Council consideration and a design was chosen.

The mural (one of several throughout Cedar County), was to be created on a building within the community, but finding a property in the downtown area that would allow the mural to be painted on it proved to be challenging. The Council then decided to move forward with the project when the artist said she would be able to paint the mural on 4 x 8 plastic panels which could then be mounted on a wood constructed frame at the City's choice of locations.

Ms. Hval completed the project in 2020 and the mural (panels) are currently being stored at the Public Works building. We were hoping to get the mural placed by Hoover's Hometown Days and the City Office was suggested as a possible temporary (or permanent) location. The mural would be placed at the north end of the City Office building in the island near the drop box location. The City Office receives several visitors on a daily basis and would be an ideal location.

