



110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358
(319) 643-5888 • Fax (319) 643-2305 • www.westbranchiowa.org • city@westbranchiowa.org

PLANNING AND ZONING COMMISSION MEETING
Tuesday, January 28, 2020 • 7:00 p.m.
West Branch City Council Chambers, 110 N. Poplar St.
Council Quorum May Be Present

1. Call to Order
2. Roll Call
3. Approve Agenda/Move to action.
 - a. Approve minutes from the December 3, 2019 Planning & Zoning Commission Meeting. / Move to action.
4. Public Hearing/Non-Consent Agenda. /Move to action.
 - a. Introduction and welcome Matt Van Scoyoc.
 - b. Approve _____ as Chairperson of the Planning & Zoning Commission. / Move to action.
 - c. Approve _____ as Vice Chairperson of the Planning & Zoning Commission. / Move to action.
 - d. Public Hearing – Rezone a certain parcel of property located North of Interstate 80 and East of Parkside Drive from B-2 Business District to PUD – Planned Unit Development District. (Parkside BP property.)
 - e. Approve Rezoning request of a certain parcel of property located North of Interstate 80 and East of Parkside Drive from B-2 Business District to PUD – Planned Unit Development District. (Parkside BP property). / Move to action.
 - f. Approve Site Plan for 401 Parkside Drive (Parkside BP). /Move to action.
 - g. Discuss Ordinance 734 – Corner Lots
5. Old Business
6. City Staff Reports
 - a. Update on current subdivisions
7. Comments from Chair and Commission Members
8. Next regular Planning & Zoning Commission meeting Tuesday, March 24, 2020.
9. Adjourn

Planning & Zoning Commission Members: Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Emilie Walsh, Brad Bower, Matt Van Scoyoc, Vacant • **Zoning Administrator:** Terry Goerdts • **Deputy City Clerk:** Leslie Brick
Mayor: Roger Laughlin • **Council Members:** Colton Miller, Nick Goodweiler, Jodee Stoolman, Jerry Sexton, Tom Dean
City Administrator/Clerk: Redmond Jones II • **Fire Chief:** Kevin Stoolman • **Police Chief:** Mike Horihan
• **Public Works Director:** Matt Goodale • **Library Director:** Nick Shimmin

(These minutes are not approved until the next Commission meeting.)

City of West Branch Planning & Zoning Commission Meeting
December 3, 2019
West Branch City Council Chambers, 110 North Poplar Street

Chairperson John Fuller opened the Planning & Zoning Commission meeting at 7:00 p.m. welcoming the audience and following city staff; Deputy Clerk Leslie Brick, Zoning Administrator Terry Goerdts and Mayor Roger Laughlin. Commission members Ryan Bowers, Tom Dean, Sally Peck, Brad Bower and Emilie Walsh were present.

APPROVE AGENDA/CONSENT AGENDA/MOVE TO ACTION.

Approve the agenda for the December 3, 2019 Planning & Zoning Commission meeting. /Move to action.
Motion by Bowers, second by Bower to approve the agenda.

Approve minutes from the September 24, 2019 Special Planning & Zoning Commission meeting. /Move to action.

Motion by Bowers, second by Bower to approve the minutes.

PUBLIC HEARING/NON-CONSENT AGENDA

Approve final draft of the West Branch Comprehensive Plan. /Move to action.

Fuller said the final draft was not quite complete but would be done in the coming days. Fuller said his students were working on finishing up formatting issues but that content would not be changing. Fuller took time to review several objectives of the revised Comprehensive Plan that he felt the City should work toward. Fuller said he was hopeful to present the plan to the Council in early 2020.

Motion by Walsh, second by Bowers to approve. AYES: Walsh, Bowers, Dean, Fuller, Peck, Bower. NAYS: None. Motion carried.

Discuss appropriate zoning for animal kennels.

Brick said a recent inquiry made by a resident to the Chief Horihan prompted this discussion on what defines a kennel and where one can operate a kennel. Brick said Chapter 165.04(31) defines a kennel and Chapter 165.27 (1) (A), does not allow them to operate in a residential zone. Based on the Code, it does appear that this would be an enforcement issue if a kennel would be being operated. The commission felt there was no need for further action on their part. Brick said she would discuss the topic with the Horihan.

Discuss new ordinance requirements for swimming pools.

Goerdts presented suggested ordinance requirements for swimming pools and hot tubs which include appropriate zoning, set-backs, lighting and fencing. The commission agreed with the standards and suggested that an ordinance be drafted by staff.

Discuss draft fireworks ordinance – City Attorney comments

Brick said City Attorney Olson reviewed the draft ordinance and suggested that language regarding distance from certain businesses be removed since the state has certain requirements when issuing licenses to firework's vendors. Olson did approve the restriction for sales in the HCI District only.

STAFF REPORTS:

Brick said a site plan had been received from Advantage Custom Builders for the remodeling and expansion of the Parkside BP gas station. Brick indicated that the current plan has set-back issues which may require a special exception or rezoning of the property. Brick said information would be emailed to the commission in the next day or two.

Brick said she had received an application from Matt Van Scoyoc who is interested in joining the commission. Based on information on his application, she felt he would be a good fit and recommended

that he be accepted, the commission agreed. Brick said Van Scoyoc would be appointed at the next City Council meeting and would join the commission in January.

Laughlin mentioned that Cubby Park had been accepted as 100 percent complete and was now officially the City's.

COMMENTS FROM CHAIR AND COMMISSION MEMBERS:

Dean questioned if there were any ordinances for businesses which required them to provide handicap access. Dean said there are a number of businesses downtown whose only entrance are stairs which limit individuals in wheel chairs. Goerdt replied that businesses were private property and therefore not required to abide by state requirements.

Adjourn

Motion by Dean, second by Bowers to adjourn the Planning & Zoning Commission meeting. Motion carried on a voice vote. The meeting adjourned at 8:37 p.m.

Submitted by:

Leslie Brick

Deputy City Clerk

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING ON PROPOSAL TO REZONE A CERTAIN PARCEL OF PROPERTY LOCATED NORTH OF INTERSTATE 80 AND EAST OF PARKSIDE DRIVE FROM B-2 BUSINESS DISTRICT TO PUD – PLANNED UNIT DEVELOPMENT DISTRICT.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the West Branch Planning and Zoning Commission in the Council Chambers at City Hall at 110 N. Poplar Street at 7:00 o'clock P.M. on, Tuesday, January 28, 2020. The public hearing will discuss the proposed rezoning of the following described parcel from B-2 Business District to PUD- Planned Unit Development District.

See Exhibit "A" attached hereto.

YOU ARE HEREBY FURTHER NOTIFIED that a public hearing will be held by the West Branch City Council in the Council Chambers at City Hall at 110 N. Poplar Street, at 7:00 o'clock P.M. on Tuesday, February 4th, 2020. The public hearing will also discuss the proposed rezoning of the aforementioned property.

All interested persons are invited to attend either or both meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch City Clerk.

/s/ _____
Redmond Jones II, City Administrator/Clerk

EXHIBIT "A"

Commencing at a point of reference at the Northwest corner of Section 8, Township 79 North, Range 4 West of the 5th Principal Meridian, West Branch, Cedar County, Iowa, thence South 1,638.0 feet along the West line of the Northwest Quarter of said Section 8 (the West line of the Northwest quarter of said Section 8 is assumed to bear true North and South) to the Southwest corner of Lot A of the Northwest Quarter of said Section 8, according to the plat of survey made for James Cook, said survey being filed in Surveyor's Record 3, Page 265, in the office of the Auditor of Cedar County, Iowa, thence South 89°37' East 60 feet, more or less, along the South line of said Lot A to a point of intersection with the easterly right-of-way line of the public highway and point of beginning of tract herein described; thence continuing South 89°37' East 176.0 feet along the Southerly line of said Lot A to a point; thence South 0°23' West 200.00 feet to a point; thence North 89°37' West 140.84 feet to a point of intersection with the easterly right-of-way line of the public highway; thence North 11°59' West 18.54 feet along the Easterly right-of-way line of said highway to a point; thence North 9°21' West 184.55 feet along the easterly right-of-way line of said public highway (whose right-of-way is described in Iowa State Land Office Correction Patent No. 603, recorded in Volume 5, Page 158, Records of the Iowa Secretary of State, Des Moines, Iowa) to the point of beginning, and except the North 40 feet of tract above described; and subject to a perpetual easement for foot and motor vehicle travel, in common with others, over and across the westerly 30 feet of tract above described.

AND

Commencing as a point of reference at the Northwest corner of Section 8, Township 79 North, Range 4 West of the 5th Principal Meridian, West Branch, Cedar County, Iowa; thence South 1638.0 feet along the West line of the Northwest Quarter of said Section 8 (the West line of the Northwest Quarter of said Section 8 is assumed to bear true North and South) to the Southwest corner of Lot A of the Northwest Quarter of said Section 8 according to plat of survey made for James Cook, said survey being filed in Surveyor's Record 3, page 265 in the office of the Auditor of Cedar County, Iowa; thence South 89°37' East 60 feet, more or less, along the South line of said Lot A to a point of intersection with the Easterly right-of-way line of the public highway; thence South 9°21' East 184.55 feet along the Easterly right-of-way line of said public highway to a point; thence South 11°59' East 18.54 feet to point of beginning of tract herein described; thence South 89°37' East 140.84 feet to a point; thence South 0°23' West 174.42 feet to a point of intersection with the Northerly right-of-way line of Interstate Highway #80; thence North 68°03' West 120.79 feet along the Northeasterly right-of-way line of said highway to a point; thence North 11°59' West 133.11 feet along the Northeasterly right-of-way line of said highway to the point of beginning. (Right-of-way of the subject highway is described in Iowa State Land Office Correction Patent No. 603, recorded in Volume 5, Page 158, records of the Iowa Secretary of State, Des Moines, Iowa).



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www.mmsconsultants.net

SITE PLAN 401 PARKSIDE DRIVE WEST BRANCH, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER: ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317

SHEET INDEX
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2 DEMOLITION PLAN
3 GRADING AND EROSION CONTROL PLAN
4 UTILITY PLAN
5 LANDSCAPE PLAN
6 PUBLIC IMPROVEMENTS
7 GENERAL NOTES AND DETAILS

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
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 - CENTER LINES
 - EXISTING CENTER LINES
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 - RECORDED DIMENSIONS
 - CURVE SEGMENT NUMBER
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 - PROP - POWER POLE W/DROP
 - EXIST - POWER POLE W/TRANS
 - PROP - POWER POLE W/LIGHT
 - EXIST - GUY POLE
 - PROP - LIGHT POLE
 - EXIST - SANITARY MANHOLE
 - PROP - FIRE HYDRANT
 - EXIST - WATER VALVE
 - PROP - DRAINAGE MANHOLE
 - EXIST - CURB INLET
 - PROP - FENCE LINE
 - EXIST - SANITARY SEWER
 - PROP - SANITARY SEWER
 - EXIST - STORM SEWER
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 - EXIST - WATER LINES
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 - PROP - GAS LINES
 - EXIST - CONTOUR LINES (1' INTERVAL)
 - PROP - PROPOSED GROUND
 - EXIST - EXISTING TREE LINE
 - EXIST - EXISTING DECIDUOUS TREE & SHRUB
 - EXIST - EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)	
2	INSTALL STANDARD 6" CURB AND GUTTER	
3	INSTALL THICKENED EDGE SIDEWALK	
4	INSTALL 4" PCC SIDEWALK	
5	CONNECT TO EXISTING PCC PAVING W/ 'BT-5' JOINT	
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)	
7	HANDICAP PARKING STRIPING AND SIGNAGE PER DETAIL SHEET 6	
8	CROSSWALK STRIPING	
9	INSTALL 3" ROLL CURB AND GUTTER	
10	TRANSITION TO 6" CURB	
11	NO PARKING ZONE	
12	END OF PAVEMENT BARRICADE	
13	END PCC PAVING WITH BT-5 JOINT	
14	INSTALL TAPERED CURB	
15	NO CURB	
16	TRANSITION TO 3" ROLL CURB	
17	MATCH EXISTING CURB AND GUTTER	
18	MATCH EXISTING CONCRETE	

LEGAL:
401 PARKSIDE DRIVE IN WEST BRANCH, CEDAR COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, CONTAINING 0.92 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.

SITE DEVELOPMENT SUMMARY:
CLASS: B-2
SQUARE FOOTAGE: 7,318 SF COMMERCIAL
PROPOSED USE: COMMERCIAL

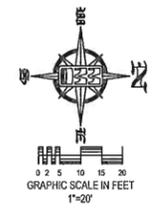
DEVELOPMENT CHARACTERISTICS:
401 PARKSIDE DRIVE IS TO BE A 0.92 ACRE. THE PLAN WILL CONSIST OF 1 (ONE) PROPOSED COMMERCIAL BUILDING IN ADDITION TO REMODELING OF EXISTING COMMERCIAL BUILDING.

DEVELOPMENT SCHEDULE:
APPLICANT PLANS TO BEGIN CONSTRUCTION ON SPRING 2020, WITH AN ESTIMATED COMPLETION DATE IN SUMMER 2020.

SITE COVERAGES:
TOTAL LOT AREA: 40,075 S.F. (100%)
PROPOSED BUILDING AREA: 5,013 S.F. (12.5%)
PROPOSED PAVING AREA: 27,053 S.F. (67.5%)
EXISTING BUILDING AREA: 2,305 S.F. (5.8%)
TOTAL IMPERVIOUS AREA: 34,371 S.F. (85.8%)
TOTAL OPEN AREA: 5,704 S.F. (14.2%)

LOT REQUIREMENTS:
FRONT YARD SETBACK: 25 FEET
SIDE YARD SETBACK: 8 FEET
REAR YARD SETBACK: 25 FEET

PARKING REQUIREMENTS:
1 SPACE PER 200 SF
7,318SF/200 = 37 SPACES
TOTAL PARKING REQUIRED = 37 SPACES
TOTAL PARKING PROVIDED = 38 SPACES (2 ADA)

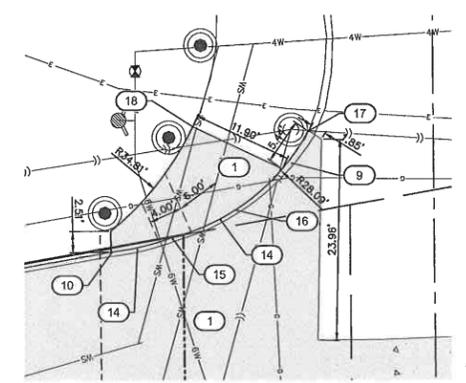


PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAVED PAVEMENT JOINTS SHALL BE SEALED.

PAVEMENT LEGEND	MATERIAL	TOTAL*
	7" PCC	535 SY
	6" PCC	2,869 SY
	4" PCC	231 SY

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

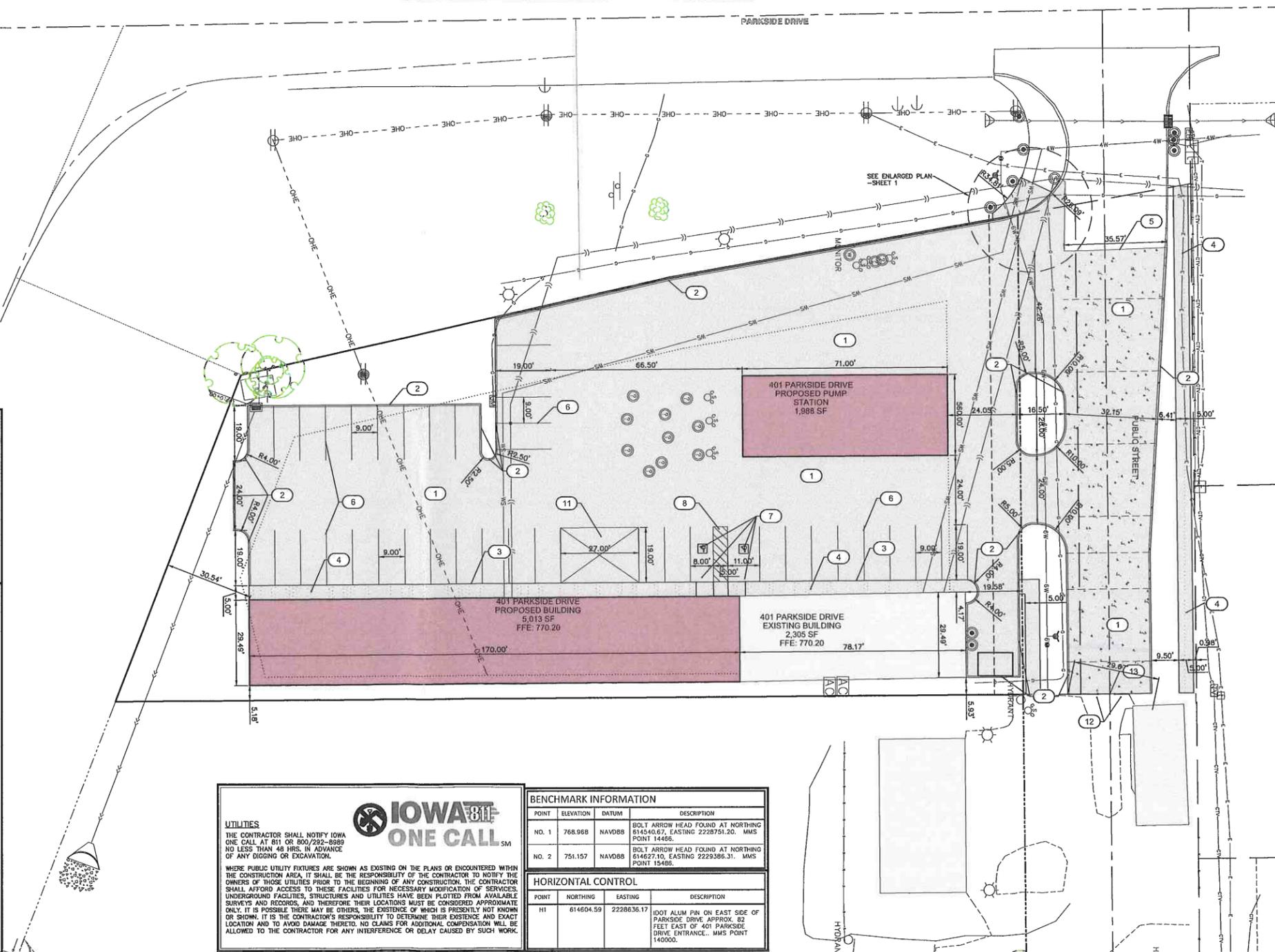
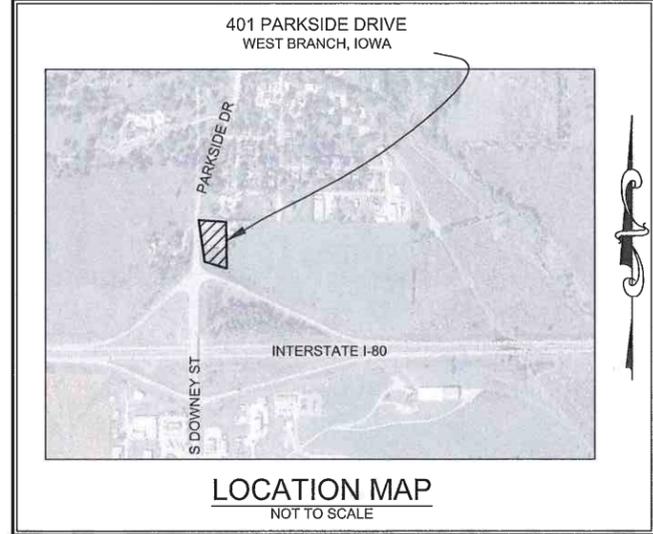


ENLARGED PLAN
SCALE: 1"=10'

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

RONALD L. AMELON, P.E. Iowa Lic. No. 14201
My license renewal date is December 31, 20__.

Seal: RONALD L. AMELON, LICENSED PROFESSIONAL ENGINEER, IOWA, 14201



IOWA ONE CALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/222-6899 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

BENCHMARK INFORMATION

POINT	ELEVATION	DATUM	DESCRIPTION
NO. 1	768.968	NAVD88	BOLT ARROW HEAD FOUND AT NORTHING 614540.67, EASTING 2228751.20. MMS POINT 14465.
NO. 2	751.157	NAVD88	BOLT ARROW HEAD FOUND AT NORTHING 614627.10, EASTING 2229385.31. MMS POINT 15486.

HORIZONTAL CONTROL

POINT	NORTHING	EASTING	DESCRIPTION
HI	614604.59	2228635.17	IDOT ALUM PIN ON EAST SIDE OF PARKSIDE DRIVE, APPROX. 62 FEET EAST OF 401 PARKSIDE DRIVE ENTRANCE. MMS POINT 140000.

Date	Revision

6/16/12/6/12-306/6/12-306Y.DWG
SITE LAYOUT AND DIMENSION PLAN

401 PARKSIDE DRIVE
WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19
Designed by: BJC Field Book No:
Drawn by: KLE Scale: 1"=20'
Checked by: RLA Sheet No:
Project No: WEST BRANCH
6992-306
1
of 6

SITE PLAN 401 PARKSIDE DRIVE WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
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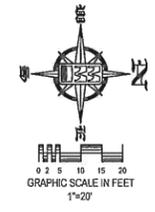
0.92 ACRES



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STANDARD LEGEND AND NOTES

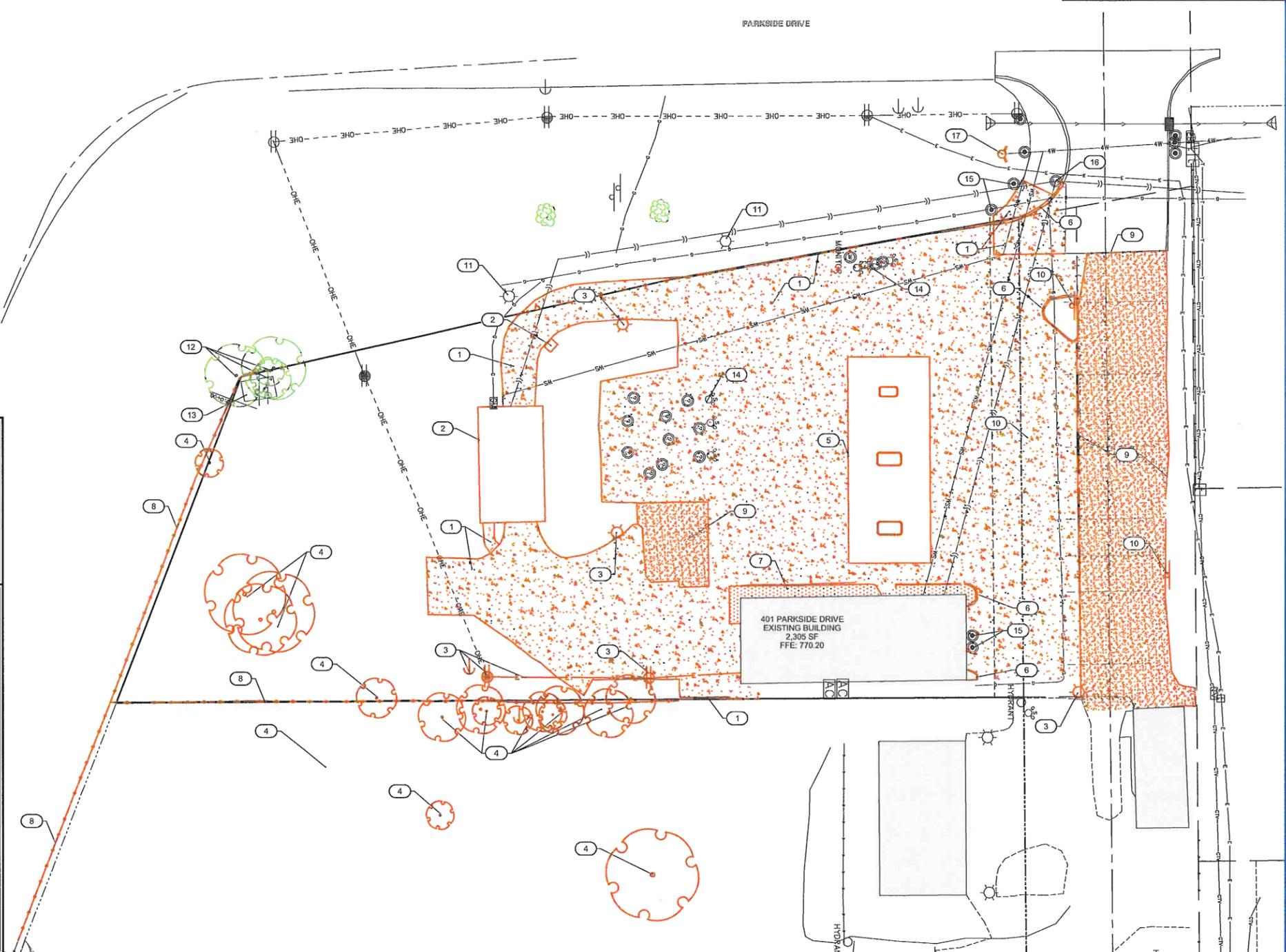
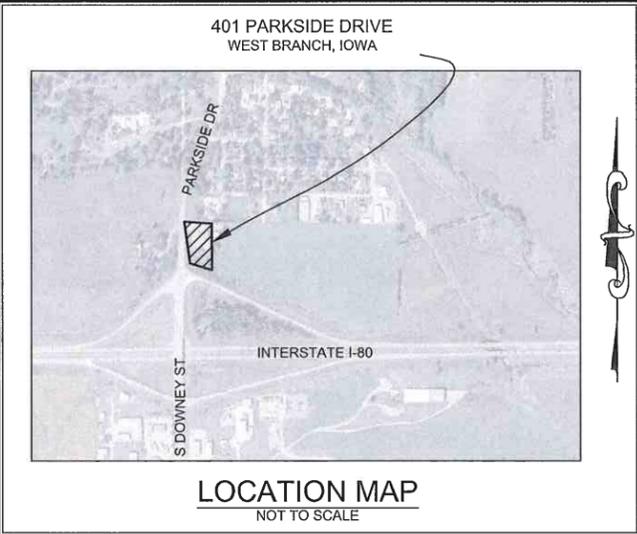
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---	PROPOSED LIGHT POLE
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---	PROPOSED SANITARY MANHOLE
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NUMBER	KEYNOTE	DETAIL
1	REMOVE EXISTING CONCRETE	
2	REMOVE EXISTING CARWASH	
3	REMOVE EXISTING ELECTRICAL	
4	REMOVE EXISTING TREES	
5	REMOVE EXISTING GAS STATION PUMPS	
6	SAW CUT AND REMOVE EXISTING CURB AND GUTTER	
7	REMOVE EXISTING SIDEWALK	
8	REMOVE EXISTING FENCE	
9	REMOVE EXISTING ASPHALT	
10	REMOVE EXISTING SIGN	
11	PROTECT EXISTING ELECTRICAL	
12	PROTECT EXISTING TREES	
13	PROTECT EXISTING SIGN	
14	PROTECT EXISTING GAS MANHOLES	
15	PROTECT EXISTING BOLLARDS	
16	PROTECT EXISTING SANITARY MANHOLE	
17	REMOVE EXISTING FIRE HYDRANT	

UTILITIES
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Date	Revision

6-V-4126-412-306V-412-306Y-D14
DEMOLITION PLAN

401 PARKSIDE DRIVE
WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	11-26-19
Designed by:	BJC
Drawn by:	KLE
Checked by:	RLA
Project No:	WEST BRANCH
Sheet No:	2
Scale:	1"=20'
Field Book No:	
Scale:	
Sheet No:	
Project No:	
Scale:	
Sheet No:	

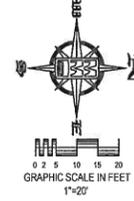


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SITE PLAN 401 PARKSIDE DRIVE WEST BRANCH, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC.
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OWNER/SUBDIVIDER: ADVANTAGE CUSTOM BUILDERS
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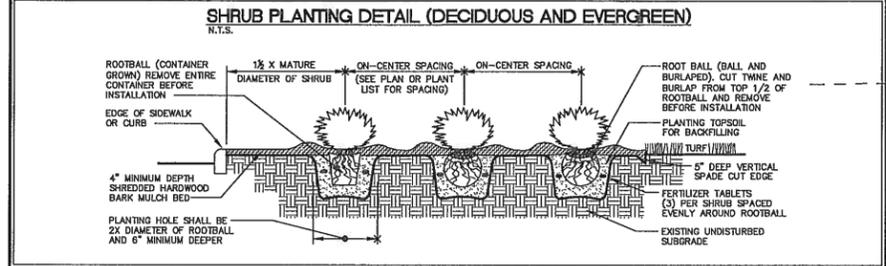
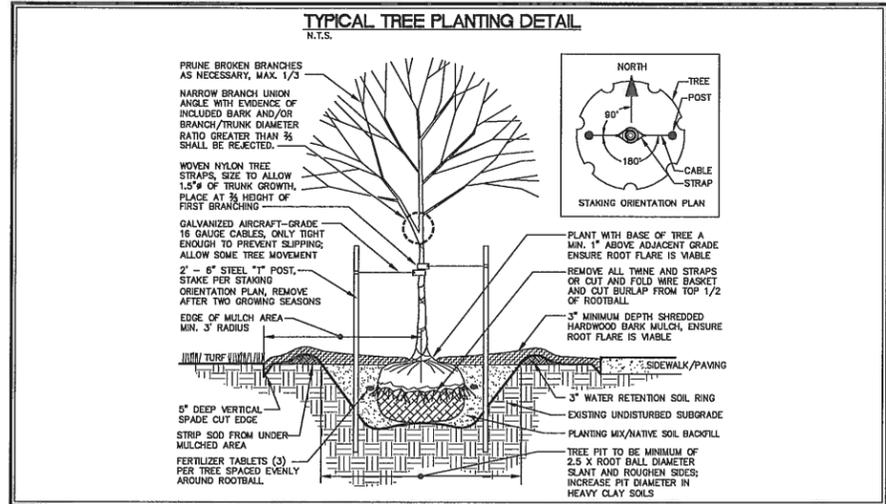
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- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

- EXISTING POWER POLE
- PROPOSED POWER POLE
- EXISTING POWER POLE W/DROP
- PROPOSED POWER POLE W/DROP
- EXISTING POWER POLE W/LIGHT
- PROPOSED POWER POLE W/LIGHT
- EXISTING GUY POLE
- PROPOSED GUY POLE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINES
- PROPOSED WATER LINES
- EXISTING ELECTRICAL LINES
- PROPOSED ELECTRICAL LINES
- EXISTING TELEPHONE LINES
- PROPOSED TELEPHONE LINES
- EXISTING GAS LINES
- PROPOSED GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED CONTOUR LINES
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- PROPOSED DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS
- PROPOSED EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



PLANT LIST - TREES

QTY	KEY	POTENTIAL NAME	COMMON NAME	INITIAL SIZE	COMMENT	MATURE SIZE
1	PA	PIZZA APPEL	NORWAY SPRUCE	9'-4" HT.	D & D	30' X 30'
2	GR	GERARDUS RUBRA	RED OAK	1" CAL.	D & D	12' X 30'
1	GR	SYRINGA RETICULATA 'NORY SILK'	IVORY SILK JAPANESE TREE LILAC	1 1/2" CAL.	D & D	10' X 12'

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER

QTY	KEY	POTENTIAL NAME	COMMON NAME	INITIAL SIZE	COMMENT	MATURE SIZE
4	EA	EURYNAS ALATUS 'COMPACTUS'	COMPACT WINEBERRY	14" HT.	CONT.	5' X 5'
12	MS	MISCANANTHUS SENENSIS 'SILVERLEATHER'	SILVER FEATHER MISCANANTHUS	14" HT.	CONT.	6' X 4'
10	TD	THLAS OCCIDENTALIS 'WOODWARDII'	ELDER ANEMONE	15" HT.	CONT.	5' X 5'

LANDSCAPE REQUIREMENTS:

OPEN SPACE REQUIRED, 25% OF TOTAL LOT AREA

TOTAL LOT AREA = 40,416 SF

REQUIRED = 10,104 SF

PROVIDED = 6,105 SF

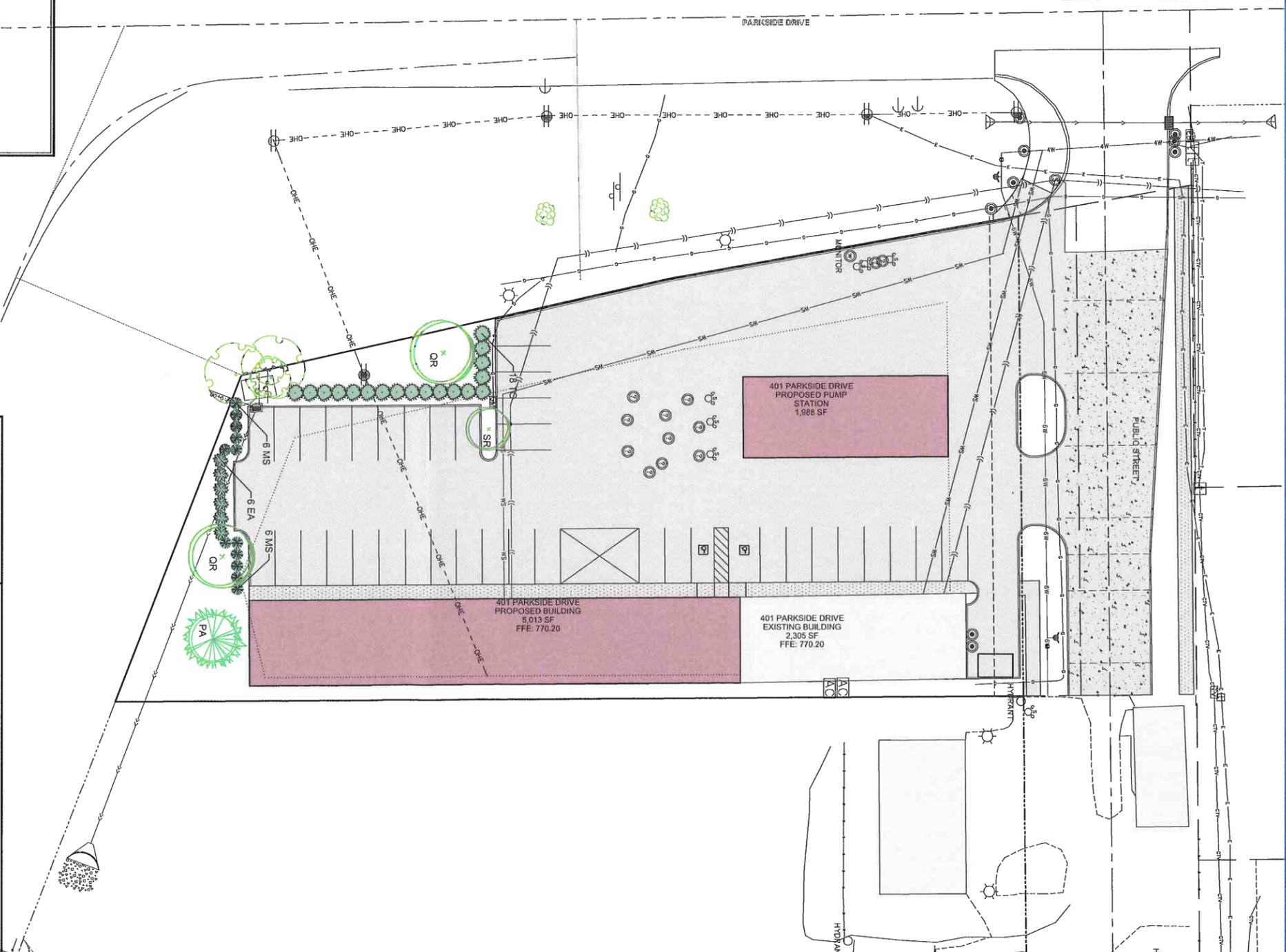
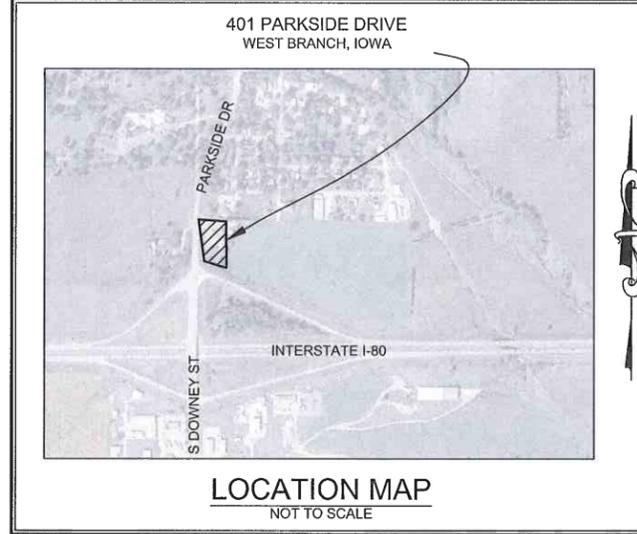
LANDSCAPE REQUIRED.

IOWA ONE CALL

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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Date	Revision

6-V4126-142-306-V412-3061.DWG
LANDSCAPE PLAN

401 PARKSIDE DRIVE
WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 11-26-19

Designed by: BJC Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: RLA Sheet No: 5

Project No: WEST BRANCH

6992-306 of: 6



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IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

SITE PLAN 401 PARKSIDE DRIVE WEST BRANCH, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
ADVANTAGE CUSTOM BUILDERS
760 LIBERTY WAY
NORTH LIBERTY, IA 52317



STANDARD LEGEND AND NOTES

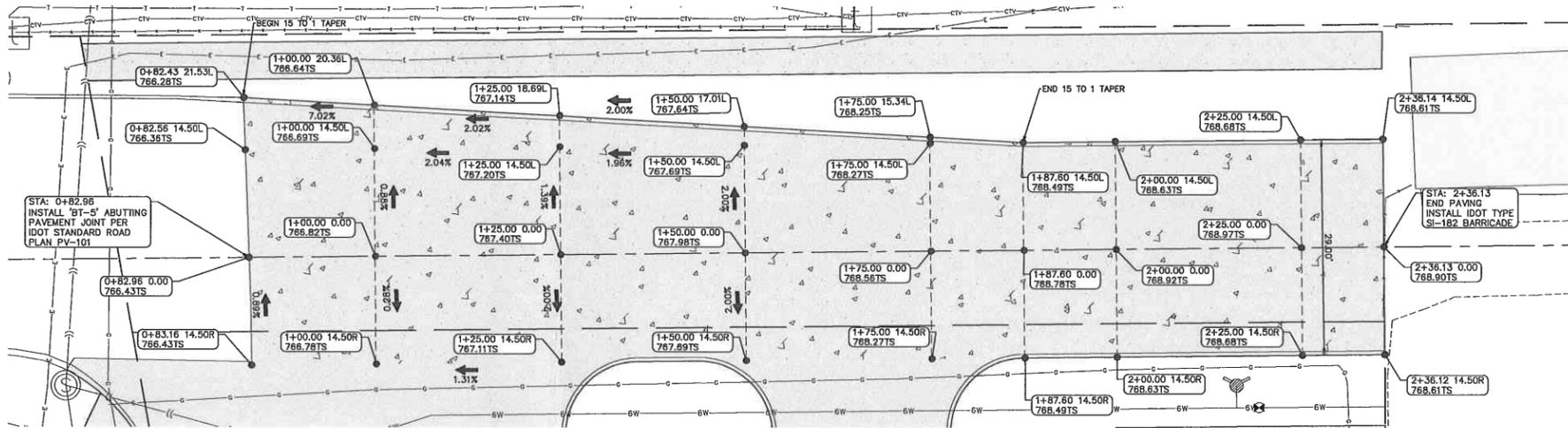
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---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1

⊙	POWER POLE
⊙	POWER POLE W/DROP
⊙	POWER POLE W/TRANS
⊙	POWER POLE W/LIGHT
⊙	GUY POLE
⊙	LIGHT POLE
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	DRAINAGE MANHOLE
⊙	CURB INLET
⊙	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
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---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
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---	EXISTING EVERGREEN TREES & SHRUBS

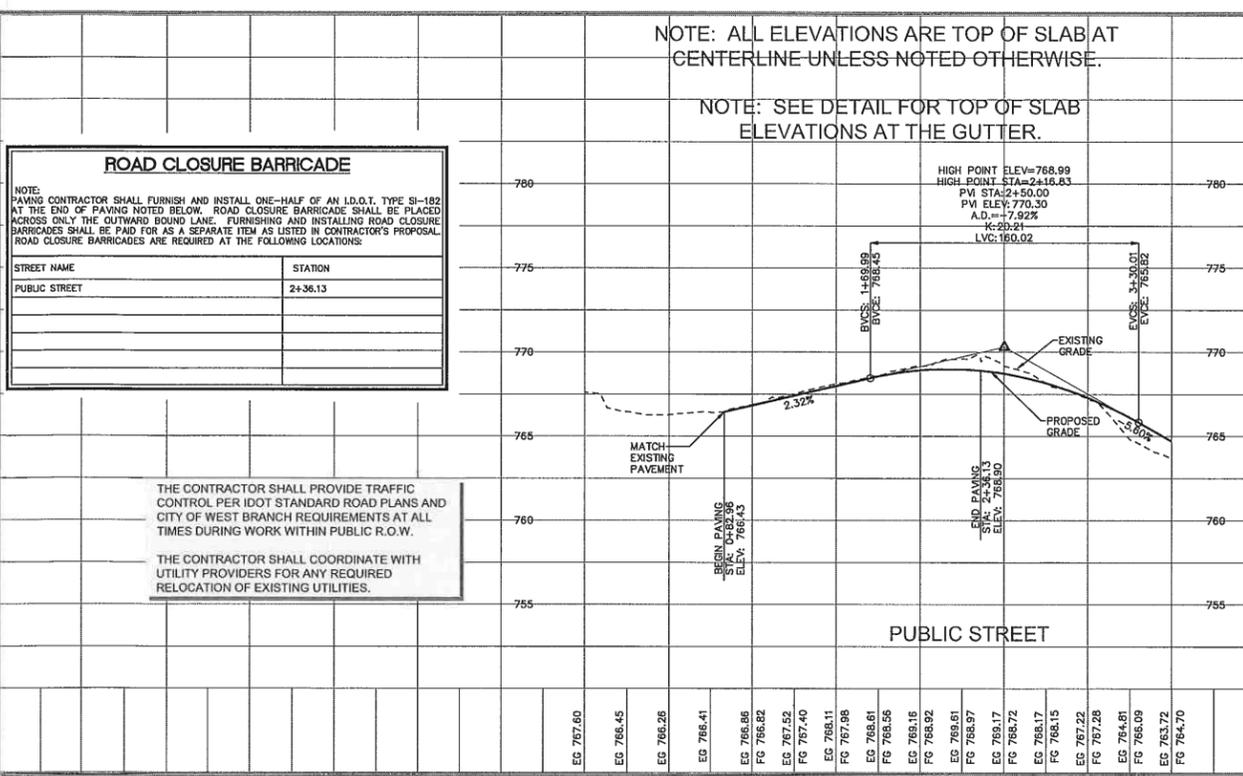
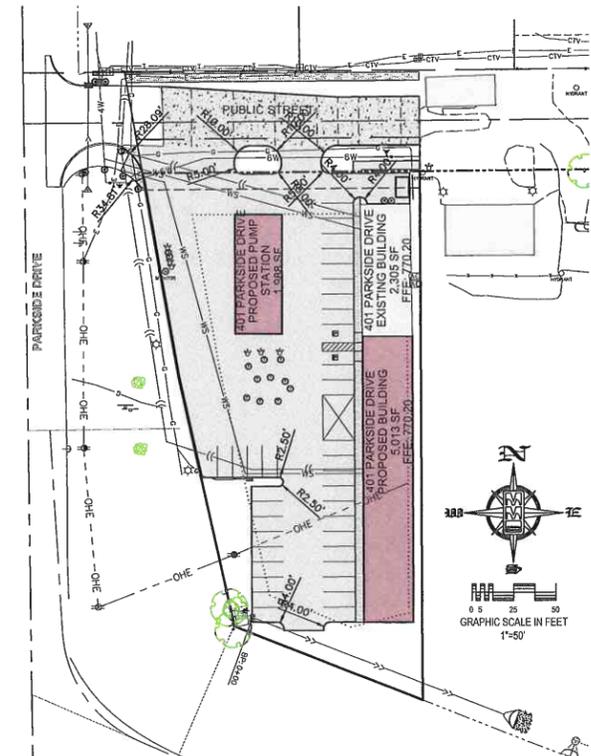
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SHEET INDEX

1	SITE LAYOUT AND DIMENSION PLAN
2	DEMOLITION PLAN
3	GRADING AND EROSION CONTROL PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN
6	PUBLIC IMPROVEMENTS
7	GENERAL NOTES AND DETAILS



ENLARGED PAVING PLAN
SCALE: 1"=10'



NOTE: ALL ELEVATIONS ARE TOP OF SLAB AT CENTERLINE UNLESS NOTED OTHERWISE.

NOTE: SEE DETAIL FOR TOP OF SLAB ELEVATIONS AT THE GUTTER.

ROAD CLOSURE BARRICADE

NOTE: PAVING CONTRACTOR SHALL FURNISH AND INSTALL ONE-HALF OF AN I.D.O.T. TYPE SI-182 AT THE END OF PAVING NOTED BELOW. ROAD CLOSURE BARRICADE SHALL BE PLACED ACROSS ONLY THE OUTWARD BOUND LANE. FURNISHING AND INSTALLING ROAD CLOSURE BARRICADES SHALL BE PAID FOR AS A SEPARATE ITEM AS LISTED IN CONTRACTOR'S PROPOSAL. ROAD CLOSURE BARRICADES ARE REQUIRED AT THE FOLLOWING LOCATIONS:

STREET NAME	STATION
PUBLIC STREET	2+36.13

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF WEST BRANCH REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

IOWA ONE CALL

SM

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/232-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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Date	Revision
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6:V492/6492-306/6492-3061.DWG

PUBLIC IMPROVEMENTS

401 PARKSIDE DRIVE

WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.

Designed by:	BJC	Field Book No.:	
Drawn by:	KLE	Scale:	1"=50'(H), 1"=5'(V)
Checked by:	RLA	Sheet No.:	6
Project No.:	WEST BRANCH		
6992-306		of:	6



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

December 6, 2016

SITE PLAN REVIEW CHECKLIST

Project Name 401 Parkside Dr

Engineer Ron Amelon

Reviewer _____

Reviewed Date _____

1. SITE PLAN

A. Site plans shall only be required whenever any person proposes to place any structure for which a building permit is required under any other section of this Code, on any tract or parcel of and within any district of the West Branch Zoning Ordinance, and for any use, except one and two family dwellings.

2. DESIGN STANDARDS

- A. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines nor increase the danger of erosion, flooding, landslide, or other endangerment of adjoining or surrounding property
- B. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illumination of required perimeter yards, refuse containers, and impairment of light and air.
- C. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets
- D. The proposed development shall conform to all applicable provisions of the Code of Iowa, as amended, Iowa Statewide Urban Design and Specifications (SUDAS), Iowa Stormwater Management Manual and all applicable provisions of the Code of Ordinances of the City of West Branch, as amended

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Coralville, Iowa 52241
319-466-1000



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

December 6, 2016

SITE PLAN:

- 1. Prepared by a licensed Engineer or Land Surveyor [X] YES [] NO
2. Date of preparation, North point and scale no smaller than 1"=100'. Comments: [X] YES [] NO
3. Legal description and address of the property to be developed. Comments: [X] YES [] NO
4. Name and address of the record property owner, the applicant, and the person or firm preparing the site plan. Comments: [X] YES [] NO
5. The existing topography with a maximum of two (2) foot contour intervals. Where existing ground is on a slope of less than two percent (2%), either one (1) foot contours or spot elevations where necessary but not more than fifty (50) feet apart in both directions, shall be indicated on site plan. Comments: [X] YES [] NO
6. Existing and proposed utility lines and easements in accordance with Iowa Statewide Urban Design and Specifications (SUDAS) and City of West Branch Subdivision Regulations. Comments: [X] YES [] NO
7. Structure Information:
a. Total number and type of dwelling units proposed [X] YES [] NO
b. Proposed uses for all buildings [X] YES [] NO
c. Total floor area of each building [X] YES [] NO
d. Estimated number of employees for each proposed use where applicable [] YES [] NO N/A
e. Any other information, including peak demand, which may be necessary to determine the number of off-street parking spaces and loading spaces. [] YES [] NO N/A
8. Location, shape, and all exterior elevation views of all proposed buildings, for the purpose of understanding the structures and building materials to be used, the location of windows, doors, overhangs, projection height, etc. and the grade relationship to floor elevation, and the number of stories of each existing building to be retained and of each proposed building. [X] YES [] NO
9. Property lines and all required yard setbacks. [X] YES [] NO
10. Location, grade and dimensions of all existing and proposed paved surfaces and all abutting streets. [X] YES [] NO

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110 N. Poplar Street
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December 6, 2016

- 11. Complete traffic circulation and parking plan, showing the location and dimensions of all existing and proposed parking stalls, loading areas, entrance and exit drives, sidewalks, dividers, planters, and other similar permanent improvements. YES NO
- 12. Location and type of existing or proposed signs and of any existing or proposed lighting on the property which illuminates any part of any required yard. YES NO
- 13. Location of existing trees six (6) inches or larger in diameter, landslide areas, springs and streams and other bodies of water, and any area subject to flooding by a one hundred (100) year storm on site and downstream off site. YES NO
- 14. Location, amount and type of any proposed landscaping. Location of proposed plantings, fences, walls, or other screening as required by the zoning regulations and the design standards set forth in Section 173.03. YES NO
- 15. A vicinity map at a scale of 1" = 500' or larger, showing the general location of the property, and the adjoining land uses and zoning. YES NO
- 16. Soil tests and similar information, if deemed necessary by the City Engineer, to determine the feasibility of the proposed development in relation to the design standards set forth in Section 173.03. YES NO
- 17. Where possible ownership or boundary problems exist, as determined by the Zoning Administrator, a property survey by a licensed land surveyor may be required. YES NO
- 18. Stormwater Pollution Prevention Plan. YES NO
- 19. Stormwater Management Plan. YES NO
- 20. Pre-Application Conference. YES NO
- 21. Provide 25% of open space
 - a. Said open space shall be unencumbered with any structure, or off-street parking or roadways and drives, and shall be landscaped and maintained with grass, trees and shrubbery. YES NO
 - b. Each principal structure of an apartment or office complex on same site shall be separated from any other principal structure in the complex by an open space of not less than sixteen (16) feet. YES NO N/A
- 22. Landscaping Requirements
 - a. Minimum requirements at the time of planting - Two (2) trees minimum or one (1) tree of the following size per 1,500 square feet of open space, whichever is greater: 40 Percent 1½" - 2" caliper diameter. Balance 1" - 1½" caliper diameter. (Evergreen trees shall not be less than three (3) feet in height.) YES NO
 - b. Minimum requirements at the time of planting - 6 shrubs, or 1 shrub per 1,000 square feet of open space, whichever is greater. YES NO

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December 6, 2016

23. Buffer Required

- a. Any other zoning district, other than an Agricultural A-1 District, that abuts any residential district shall require a buffer as described in this section. The buffer shall be provided by the non-residential use when adjoining a residential district. [] YES [] NO N/A
b. All Industrial Districts that abut any other district shall provide a buffer as required by this section. [] YES [] NO N/A
c. Any storage area, garbage storage, junk storage or loading docks, and loading areas, in any District shall be screened from public street view by a buffer [] YES [X] NO

24. Buffers

- a. Buffer Wall: A buffer wall shall not be less than six (6) feet in height; constructed of a permanent low maintenance material such as concrete block, cinder block, brick, concrete, precast concrete or tile block; the permanent low-maintenance wall shall be designed by an architect or engineer for both structural adequacy and aesthetic quality. [] YES [] NO N/A
b. Landscape Buffer: A landscape buffer shall not be less than twenty-five (25) feet in width, designed and landscaped with earth berm and predominant plantings of evergreen type trees, shrubs and plants so as to assure year around effectiveness. [] YES [] NO N/A

25. Surfacing Requirements.

- a. All off-street parking and loading areas and access roadways shall have a durable and dustless surface paved with asphaltic or Portland cement concrete pavement or pervious pavement. Off-street parking of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other mobile vehicles shall be on an asphaltic or Portland cement concrete paved off-street parking area and not parked or stored within the landscaped open space area of the front yard. All off-street parking areas and associated driveways, access roadways and frontage roads, except driveways for single family residences, shall be constructed with permanent, integrally attached 6" high curbing or curbing of alternate height. [X] YES [] NO
b. Portland Cement Concrete shall have a minimum thickness of five (5) inches. [X] YES [] NO
c. Asphaltic Cement Concrete shall have a minimum thickness of six (6) inches. [X] YES [] NO
d. Material utilized in the subgrade shall be well drained and not susceptible to frost boils. Driveways for attached townhouse style residences shall be Portland cement concrete or asphaltic concrete with minimum thickness of five (5) inches and six (6) inches, with well-drained subgrade base and not greater than eighteen (18) feet in width. [X] YES [] NO

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December 6, 2016

26. Landscaping, Screening and Open Space Requirements.

- a. All parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their use. YES NO
- b. Parking areas shall be effectively screened from general public view and contain shade trees within parking islands where multiple aisles of parking exist. Not less than five (5) percent of the interior parking area shall be landscaped within parking islands. YES NO

27. Off-Street Parking Access to Public Streets and Internal Traffic Circulation.

- a. forward movement of the vehicle. YES NO
- b. Driveway approach returns shall not extend beyond the side lot line as extended. YES NO
- c. The number of ingress/egress access points to public streets from offstreet parking areas located to limit vehicular conflicts, preserve proper traffic safety. YES NO

28. Handicap Accessible Parking Requirements - comply with the parking space minimum requirements.

YES NO

29. Traffic Analysis Requirements. Any project which contains 100 dwelling units or 1,000 average day trips.

YES NO N/A

30. Architectural Standards - architectural plans for buildings shall be submitted for review and approval.

YES NO

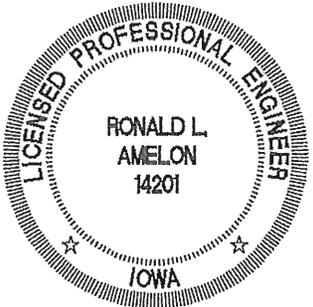
401 PARKSIDE DRIVE

Final Drainage Calculations

Ronald L. Amelon

11/27/2019

MMS CONSULTANTS, INC

 <p>SEAL</p>	<p>I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.</p> <p>_____, 20____ RONALD L. AMELON, P.E. Iowa Lic. No. 14201</p> <p>My license renewal date is December 31, 20 ____.</p> <p>Pages or sheets covered by this seal: _____ _____ _____</p>
---	--

401 Parkside Drive
6992-306
FINAL DRAINAGE CALCULATIONS
West Branch, Iowa
November 27, 2019

- I. 401 Parkside Drive is the redevelopment of the BP gas station at 401 Parkside Drive. The parcel is a 0.92 acres site that is zoned B-2. The site is located east of Parkside Drive and north of the westbound Interstate 80 off ramp. The project will consist of remodeling the existing building, relocating the gas pumps and adding a 5,000 square foot commercial building addition.

The existing conditions have 0.65 acres draining to the existing intake at the north side of the existing entrance. Of this area there are 0.42 acres that the runoff sheet flows across the entrance. This entrance is to become a public street that will be the access for a proposed development to the east. To prevent the runoff from sheet flowing across the future public street some of the pavement will be removed and replaced to form a gutter on the south side of the future public street. The gutter will flow to a curb opening and then to a flared end section.

The post developed runoff from the site is divided into three drainage areas. There are 0.23 acres that will drain to the exiting intake on the north side of the entrance. There are 0.42 acres that will drain to a curb opening and then to the existing 15 inch flared end section under the entrance. There are 0.42 acres that will drain to a proposed intake on the southwest corner of the proposed parking lot. The drainage area map and storm sewer calculations are attached.

Chapter 1 Section 4.A.1 of the Iowa Stormwater Management Manual states that stormwater management is required for new development and/or redevelopment that involves land stubbing activity of 1 acre or more. Since this site is less than one acre stormwater management will not be provided.

APPENDIX

A. Development criteria

This section presents a set of recommended minimum criteria for stormwater management for development activities in the state of Iowa in those communities with regulations. The overall aim is to provide an integrated approach to address both the water quality and quantity problems associated with stormwater runoff due to urban development.

The goal of a set of minimum stormwater management criteria for areas of new development and significant redevelopment is to reduce the impact of post-construction stormwater runoff on the watershed. This can be achieved, as discussed in Chapter 1, section 1, by:

- Maximizing the use of site design and nonstructural methods to reduce the generation of runoff and pollutants
- Managing and treating stormwater runoff through the use of structural stormwater controls
- Implementing pollution prevention practices to limit potential stormwater contaminants

It should be noted that the criteria presented here may be used in all communities in Iowa. They may be adopted by local jurisdictions as stormwater management development requirements as part of the jurisdiction post-construction runoff control ordinance and/or may be modified to meet local or watershed-specific stormwater management goals and objectives. Please consult your local review authority for more information.

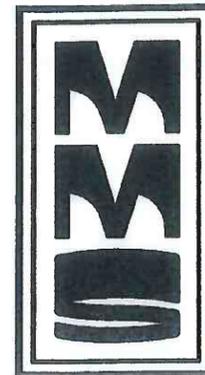
The minimum guidelines for development are designed to assist local governments that are regulated, to comply with regulatory and programmatic requirements for various state and federal programs, including the National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer System (MS4) permit program, and the National Flood Insurance Program under FEMA.

1. Applicability. The stormwater management guidelines for new development and redevelopment are intended to apply to any development site in a regulated agency that meets one or more of the following criteria and are intended to assist in the development of measurable goals for the post-construction runoff minimum control measure:

- a. New development and/or redevelopment that involves land disturbing activity of 1 acre or more.** Based on local conditions and the need for additional measurable water quality improvement, jurisdictions may consider including controls on development based on the addition of a threshold amount of impervious area. Examples of impervious area threshold values in other states are 5,000 ft² and 10,000 ft². A jurisdiction may consider an impervious area threshold to provide an incentive to reduce the increase in developed impervious area and encourage better site design planning.
- b. Any commercial or industrial new development or redevelopment, regardless of size, with a Standard Industrial Classification (SIC) code that falls under the NPDES Industrial Stormwater Permit program or a hotspot land use as defined below.

2. Definitions.

- a. New development** is defined as land disturbing activities, structural development (construction, installation, or expansion of a building or other structure), and/or creation of impervious surfaces on a previously undeveloped site.
- b. Redevelopment** is defined as structural development (construction, installation, or expansion of a building or other structure), creation or addition of impervious surfaces, replacement of impervious surface not part of routine maintenance, and land disturbing activities associated with structural or impervious development. Redevelopment does not include such activities as exterior remodeling.
- c. Hotspot** is defined as a land use or activity on a site that produces higher concentrations of trace metals, hydrocarbons or other priority pollutants than are normally found in urban stormwater runoff. Examples of hotspots include gas stations, vehicle service and maintenance areas, salvage yards, material storage sites, garbage transfer facilities, and commercial parking lots with high-intensity use.



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 (319) 351-8282

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Date	Revision

STORM INTAKE DRAINAGE AREA

401 PARKSIDE DR

WEST BRANCH
 CEDAR COUNTY
 IOWA

MMS CONSULTANTS, INC.

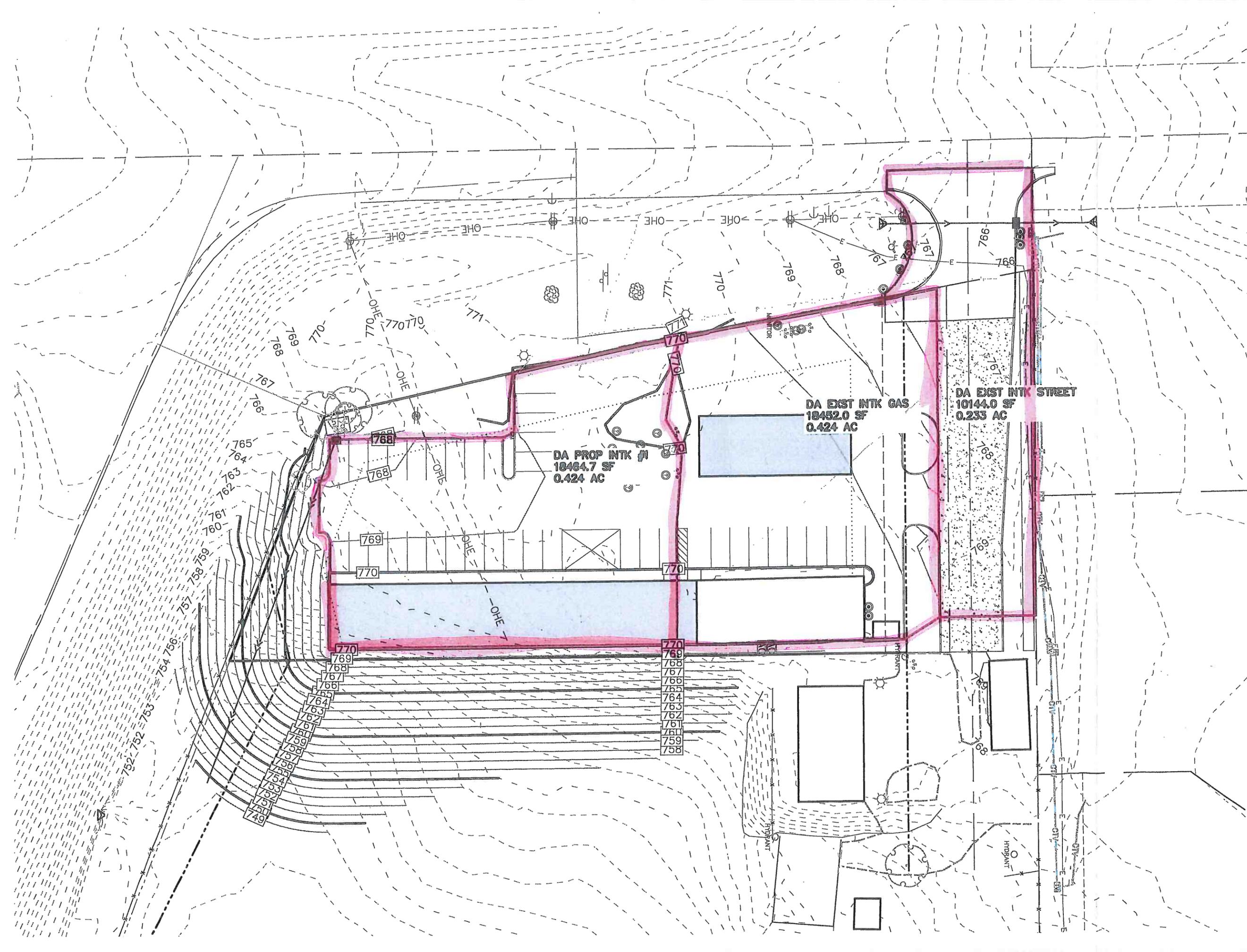
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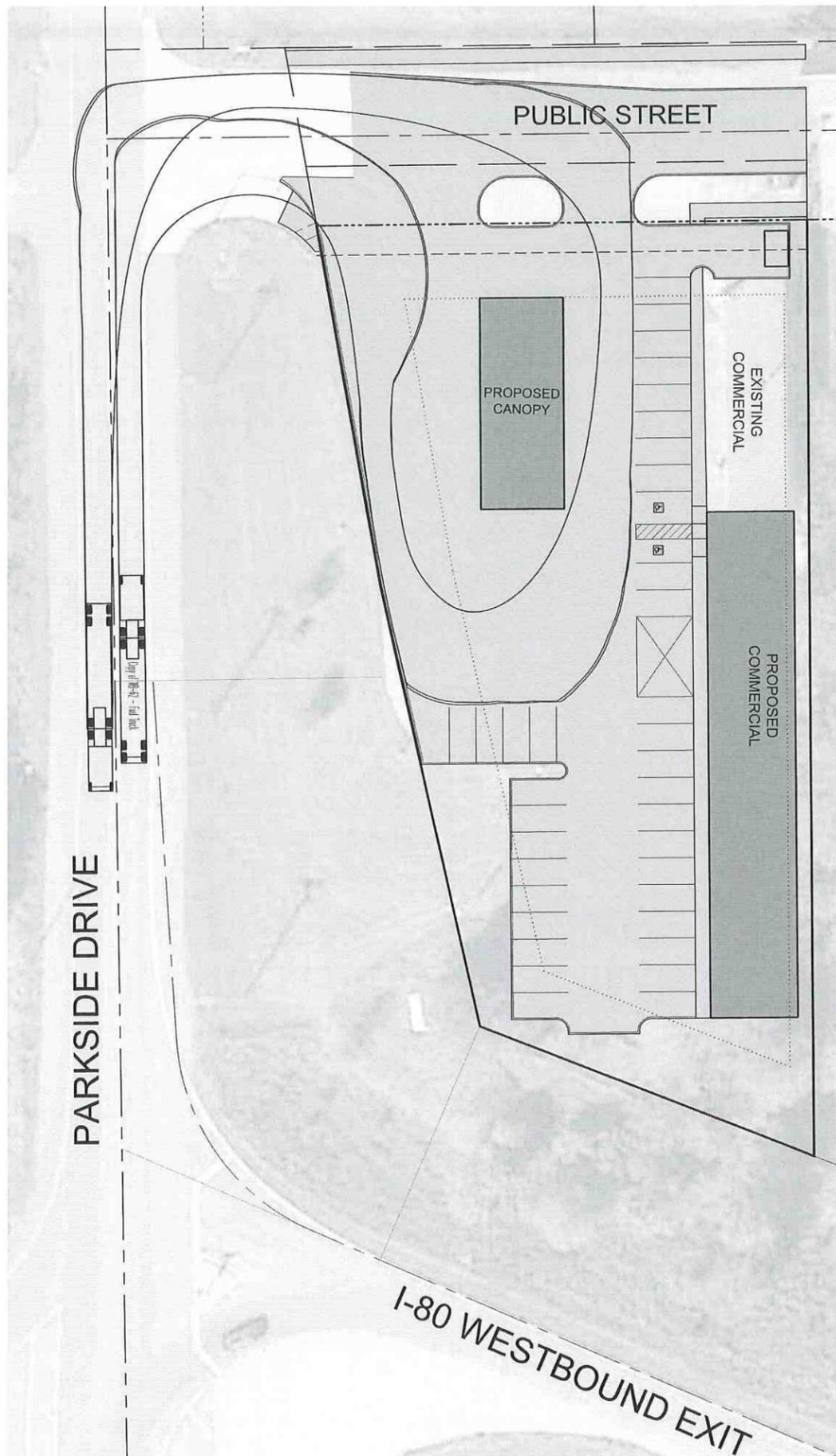
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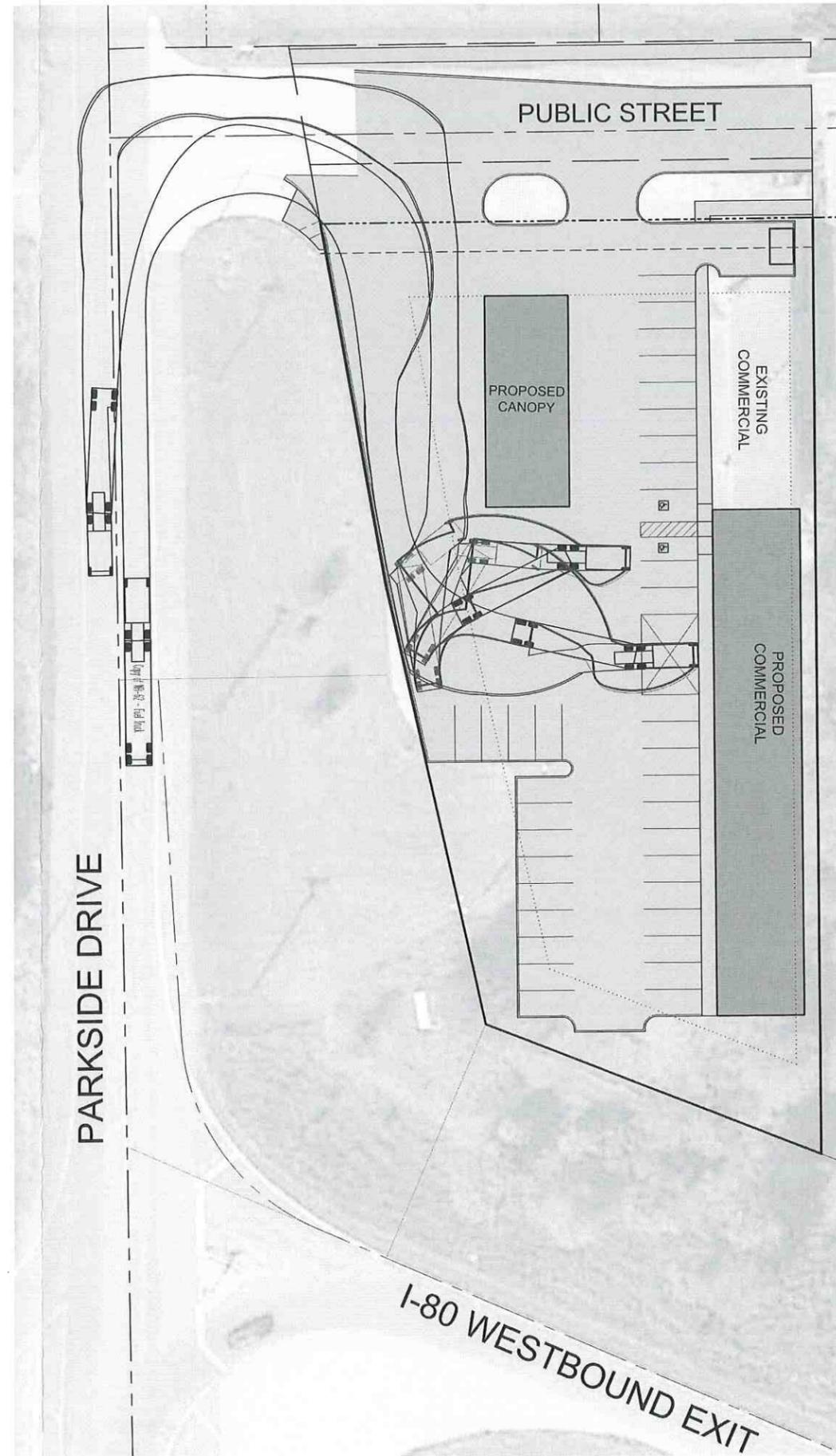
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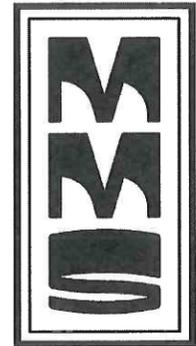




OPTION A



OPTION B



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 IOWA CITY, IOWA 52240
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Date	Revision

FUEL DELIVERY
 TURNING MOVEMENT
 EXHIBIT

401 PARKSIDE DRIVE

WEST BRANCH
 CEDAR COUNTY
 IOWA

MMS CONSULTANTS, INC.

Date:	11-27-19
Designed by: RLA	Field Book No:
Drawn by: MAK	Scale: 1"=30'
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Project No:	IOWA CITY 6992-306

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ORDINANCE NO. 734

AN ORDINANCE AMENDING CHAPTER 165 “ZONING REGULATIONS.”

WHEREAS, the Planning & Zoning Commission of the City of West Branch, Iowa, believes that the clarification of certain sections in the Zoning Code will lead to a clearer understanding of the Code’s requirements; and

WHEREAS, the Planning & Zoning Commission of the City of West Branch, Iowa, believes that a more uniform and consistent wording in the language contained within certain sections in the Zoning Code will aide in making the Zoning Code more navigable and lead to more consistent interpretation of the requirements; and

WHEREAS, the Planning & Zoning Commission recommends to the City Council of the City of West Branch, adoption of these amendment recommendations in the Zoning code; and

WHEREAS, the City Council of the City of West Branch, Iowa has reviewed these recommendations and concurs with the Planning & Zoning Commission.

NOW, THEREFORE, BE IT ORDAINED:

1. BE IT ENACTED by the City Council of West Branch, Iowa, that Chapter 165 “ZONING REGULATIONS” of the Code of West Branch, Iowa is hereby amended by revising the following subsections to Chapter 165:

165.04 DEFINITIONS.

165.04 – Insert the following:

165.04(44) D. For corner lot yard definitions refer to section 165.12

165.04(47) “Corner Lot” means a lot fronting on two (2) intersecting streets or at the angle in the street where the interior angle formed by the intersection of the street lines is one hundred thirty-five degrees (135°) or less and which lot has a frontage of not less than twenty-five (25) feet on each leg of such angle.

165.07 ACCESSORY BUILDINGS.

165.07 – Amend as follows:

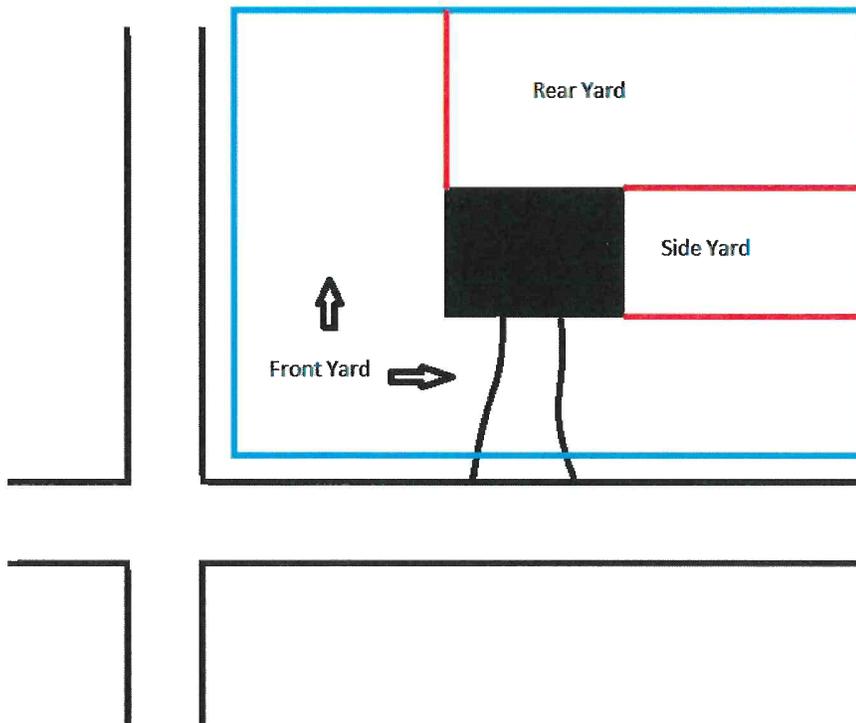
165.07(2) An accessory building may not be located nearer to any interior lot line than that permitted for the main building, if extended. However, when an accessory building is located in the rear yard, it may then be located not nearer

than three (3) feet of the interior lot line, and not nearer than five (5) feet of the rear lot line.

165.12 CORNER LOTS.

165.12 – Amend by deleting the contents of Section 165.12 in its entirety and inserting in lieu thereof:

1. The “Front Yard” for a corner lot means the area situated between the lot lines that are nearest to the intersecting streets and their corresponding building lines.
2. The “Rear Yard” for a corner lot means a yard extending from the rear building line to the rear lot line and from the side lot line that is not adjacent to a street to the front yard.
3. The “Side Yard” for a corner lot means a yard situated between the building line and the side lot line that is not adjacent to a street and extending from the front yard to the rear yard.



165.24 ESTABLISHMENT OF DISTRICTS AND BOUNDARIES.

165.24 – Amend as follows:

Delete Flood Plain, FP District

Delete Central Industrial, CI-2 District

Delete Park, P District and insert Public Use, P District in lieu thereof

165.26 A-1 DISTRICT REQUIREMENTS.

165.26 – Amend as follows:

165.26(1) Permitted Uses.

165.26(3) Area Regulations.

165.26(3) (C) Side Yard. There shall be two (2) side yards on each lot, except for corner lots which have only one (1) side yard, none of which shall be less than twenty (20) feet in depth.

165.27 R-1 DISTRICT REQUIREMENTS.

165.26 – Amend as follows:

165.27(1) Permitted Uses.

165.27(3) Area Regulations.

165.27(3) (C) Side Yard. There shall be two (2) side yards on each lot, except for corner lots which have only one (1) side yard, none of which shall be less than eight (8) feet in depth.

165.28 R-2 DISTRICT REQUIREMENTS

165.28 – Amend as follows:

165.28(1) Permitted Uses.

165.28(3) Area Regulations.

165.28(3) (C) Side Yard. There shall be two (2) side yards on each lot, except for corner lots which have only one (1) side yard, none of which shall be less than eight (8) feet in depth.

165.30 RB-1 DISTRICT REQUIREMENTS.

165.30 – Amend as follows:

165.30(1) Permitted Uses.

165.31 B-1 DISTRICT REQUIREMENTS.

- 165.31 – Amend as follows:
 - 165.31(1) Permitted Uses.
 - 165.31(2) Area Regulations.

165.32 B-2 DISTRICT REQUIREMENTS.

- 165.32 – Amend as follows:
 - 165.32(1) Permitted Uses.
 - 165.32(2) Area Regulations.

165.37 CI-2 DISTRICT REQUIREMENTS.

Delete Section 165.37 in its entirety and insert in lieu thereof 165.49 HCI DISTRICT REQUIREMENTS and all of its contents.

165.44 FENCES.

- 165.44 – Amend as follows:
 - 165.44(4) Fences, hedges, and walls shall not exceed four (4) feet in height in any front yards in any zoning district within the City, except that on corner lots the portion of fence located where the rear yard meets the front yard may be extended into the front yard up to the required front yard setback line but not beyond the front building line of the property to the rear of said corner lot abutting on the intersecting street with the height requirements of the rear yard.

- Delete section 165.44(7) and insert in lieu thereof section 165.44(9)
- Delete section 165.44(8)
- Delete section 165.44(9)

165.49 HCI DISTRICT REQUIREMENTS.

Delete Section 165.49 in its entirety.

2. This amendment to the ordinance shall be in full effect from and after its publication as by law provided.

3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.
4. If any section, provision, or part of this ordinance shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of this ordinance as a whole or any part, section, or provision thereof not adjudged invalid or unconstitutional.

Passed and approved this 21st day of September, 2015.

First Reading: August 17, 2015

Second Reading: September 8, 2015

Third Reading: September 21, 2015


Roger Laughlin, Mayor

Attest:



Matt Muckler, City Administrator/Clerk