



110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358
(319) 643-5888 • Fax (319) 643-2305 • www.westbranchiowa.org • city@westbranchiowa.org

SPECIAL PLANNING AND ZONING COMMISSION MEETING
Tuesday, October 16, 2018 • 7:00 p.m.
West Branch City Council Chambers, 110 N. Poplar St.
Council Quorum May Be Present

1. Call to Order
2. Roll Call
3. Approve Agenda/Consent Agenda/Move to action.
 - a. Approve minutes from the September 25, 2018 Planning & Zoning Commission meeting. /Move to action.
4. Public Hearing/Non-Consent Agenda. /Move to action.
 - a. Public Hearing on the proposed amendment to the West Branch Zoning Code concerning a rezoning request from KLM Investments regarding The Meadows, Part 4.
 - b. Approve a recommendation to the City Council for the rezoning of 18 lots in The Meadows, Part 4 Subdivision from R-1 to R-2./Move to action.
 - c. Public Hearing on the proposed amendment to the West Branch Zoning Code concerning a rezoning request from IWB, LLC for a tract of land named Loethen Ridge Estates, formerly known as Pedersen Valley.
 - d. Approve a recommendation to the City Council for the rezoning of approximately 8.56 acres in Pedersen Valley, Part 4 (now known as Loethen Ridge Estates) from R-1 to R-2./Move to action.
 - e. Approve Loethen Ridge Estates Preliminary Plat. / Move to action.
 - f. Public Hearing on the proposed amendment to the West Branch Zoning Code concerning a rezoning request from Cedar's Edge Golf Course.
 - g. Approve a recommendation to the City Council for the rezoning a portion of Cedar's Edge Golf Course from A-1 to R-1 and R-2./Move to action.
 - h. Approve Cedar's Edge **revised** Site Plan and Preliminary Plat. / Move to action.
 - i. Review and approve the West Branch High School Concession Stand Site Plan. /Move to action.
 - j. Approve Comprehensive Plan, Chapter 13, Intergovernmental Cooperation. /Move to action.
5. City Staff Reports
6. Comments from Chair and Commission Members
7. The next regularly-scheduled Planning and Zoning Commission Meeting – November 27, 2018 at 7:00 p.m.
8. Adjourn

Planning & Zoning Commission Members: Chair John Fuller, Vice Chair Ryan Bowers, Sally Peck, Gary Slach, Emilie Walsh, Tom Dean, Vacant • **Zoning Administrator:** Terry Goerd • **Deputy City Clerk:** Leslie Brick
Mayor: Roger Laughlin • **Council Members:** Jordan Ellyson, Colton Miller, Brian Pierce, Nick Goodweiler, Jodee Stoolman
City Administrator/Clerk: Redmond Jones II • **Fire Chief:** Kevin Stoolman • **Library Director:** Nick Shimmin
Parks & Rec Director: Melissa Russell • **Police Chief:** Mike Horihan • **Public Works Director:** Matt Goodale

(These minutes are not approved until the next Commission meeting.)

City of West Branch Planning & Zoning Commission Meeting
September 25, 2018
West Branch City Council Chambers, 110 North Poplar Street

Chairperson John Fuller opened the special meeting of the Planning & Zoning Commission at 7:00 p.m. welcoming the audience and following; Zoning Administrator Terry Goerdts, Mayor Roger Laughlin. Commission Members Emilie Walsh, Ryan Bowers and Tom Dean were present. Gary Slach and Sally Peck were absent.

APPROVE AGENDA/CONSENT AGENDA/MOVE TO ACTION.

Approve minutes from the July 24, 2018 Planning & Zoning Commission meeting. /Move to action.

Approve minutes from the August 14, 2018 Special Planning & Zoning Commission meeting. /Move to action.

Motion by Walsh, second by Bowers to approve the agenda. Absent: Slach and Peck. Motion carried on a voice vote.

PUBLIC HEARING/NON-CONSENT AGENDA

Discuss and consider a request for rezoning a portion of The Meadows, Part 4 from R-1 to R-2 (Lots 22-39). Legal Description: THE MEADOWS SUBDIVISION PART 4, BEING PART OF PARCEL G, AS RECORDED IN PLAT BOOK I, PAGE 103 OF THE CEDAR COUNTY RECORDER'S OFFICE, IN THE SOUTHWEST FRACTIONAL QUARTER (SW ¼) OF THE SOUTHWEST FRACTIONAL QUARTER (SW ¼) AND THE NORTHWEST FRACTIONAL QUARTER (NW ¼) OF THE SOUTHWEST FRACTIONAL QUARTER (SW ¼) OF SECTION 6, TOWNSHIP 89 NORTH, RANGE 4 WEST, IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF LOT 32 OF THE MEADOWS SUBDIVISION PART II, AN OFFICIAL PLAT NOW IN THE CITY OF WEST BRANCH, THENCE N18°59'30"W, 119.27 FEET; THENCE N86°38'50"E, 14.10 FEET; THENCE N3°21'11"W, 138.68 FEET; THENCE N3°10'34"W, 60.00; THENCE S86°46'30"W, 19.31 FEET; THENCE N3°20'32"W, 135.00 FEET TO THE NORTH LINE OF SAID PARCEL G; THENCE ALONG SAID NORTH LINE S86°46'30"W, 758.80 FEET TO THE EAST RIGHT OF WAY LINE OF CEDAR JOHNSON ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE S01°19'13"E, 165.54 FEET; THENCE N86°40'45"E, 347.57 FEET; THENCE S03°21'10"E, 57.06 FEET; THENCE 120.05 FEET ALONG A 182.99 FOOT RADIUS CURVE CONCAVE EAST (CHORD BEARING S22°08'48"E, 117.91 FEET); THENCE S40°55'59"E, 635.23 FEET; THENCE N49°03'28"W, 215.06 FEET TO THE WEST LINE OF SAID MEADOWS SUBDIVISION PART II, THENCE ALONG SAID WEST LINE OF SAID PLAT N32°16'00"W, 292.73 FEET TO THE POINT OF BEGINNING.

Chris Kofoed, KLM Investments presented the preliminary plat previously approved by the City Council for The Meadows, Part 4 indicating which lots are proposed to be rezoned from R-1 to R-2.

Set a date for a Public Hearing on the request for rezoning a portion of The Meadows, Part 4, Lots 22-39, described above./Move to action.

Fuller made a motion to set a date for a public hearing for the rezoning request. Absent: Slach and Peck. Motion carried on a voice vote.

Discuss and consider a request for rezoning from IWB, LLC for a tract of land named Loethen Ridge Estates, formerly known as Pedersen Valley from R-1 to R-2, twenty seven (27) lots.

Legal description: PARCEL "A" BEING DESCRIBED AS: BEING THAT PART OF LOT B IN THE SOUTHWEST QUARTER ¼ (SW ¼) OF SECTION 6, TOWNSHIP 79, RANGE 4 WEST LYING NORTH OF PEDERSEN VALLEY PART 4 AND SOUTH OF CEDARS EDGE GOLF COURSE, AND PART OF THE SOUTHEAST QUARTER (SE ¼), ALL IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF LOT 82 OF PEDERSEN VALLEY PART 4, AN OFFICIAL PLAT IN THE CITY OF WEST BRANCH, THENCE N00° 51' 11"E, 331.84 FEET TO THE SOUTH LINE OF GREEN VIEW ESTATES , AN OFFICIAL PLAT IN THE CITY OF WEST BRANCH, THENCE ALONG SAID SOUTH LINE N86° 39' 40"E, 1083.46 FEET; THENCE S01° 19' 16"E, 319.75 FEET TO THE NORTHEAST CORNER OF SAID PEDERSEN VALLEY PART 4, THENCE ALONG SAID NORTH LINE S88° 40' 44"W, 180.00 FEET; THENCE ALONG SAID NORTH LINE

S01° 19' 16"E, 50.00 FEET; THENCE ALONG SAID NORTH LINE S88° 40' 44"W, 915.38 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 8.56 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

Brian Boelk, Axiom Consultants presented the rezoning exhibit for the 8.56 acre parcel in the Pedersen Valley, Part 4 subdivision. Boelk said that although an R-2 zoning is being requested, it is not the intent of the developer to build zero lot lines. The smaller lot sizes shown on the exhibit are intended for smaller single family homes. Matt Adam, partner with IWB, LLC said market analysis shows that smaller, more affordable homes are needed so this development is trying to meet that need. Adam also said that they are working with the City to provide a second access to Cubby Park as well as to the Greenview Subdivision.

Set a date for a Public Hearing on the request for rezoning Loethen Ridge Estates from R-1 to R-2. /Move to action.

Fuller made a motion to set a date for a public hearing for the rezoning request. Absent: Slach and Peck. Motion carried on a voice vote.

Discuss and consider a request for rezoning a portion of Cedar's Edge Golf Course from A-1 to R-1 & R-2. Legal description R-1: BEING PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M, CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER (NW ¼) THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER N01°02'17"W, 644.68 FEET; THENCE N88°57'43"E, 158.00 FEET; THENCE S01°02'17"E, 445.44 FEET; THENCE N88°57'43"E, 24.74 FEET; THENCE N43°02'35"E, 277.14 FEET; THENCE N88°57'43"E, 141.44 FEET; THENCE S55°39'59"E, 149.13 FEET; THENCE S20°07'32"E, 153.79 FEET; THENCE S69°52'29"W, 348.32 FEET; THENCE S03°13'20"E, 79.95 FEET; THENCE S86°43'55"W, 193.71 FEET; THENCE S03°09'26"E, 40.96 FEET; THENCE S86°42'09"W, 439.64 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 5.76 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

AND

Legal description R-2: BEING PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M, CITY OF WEST BRANCH, CEDAR COUNTY IOWA DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER (NW ¼) THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER N01°02'17"W, 644.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N01°02'17"W, 495.00 FEET; THENCE N88°57'43"W, 343.00 FEET; THENCE S01°02'17"E, 495.00 FEET; THENCE S88°57'43"W, 343.00 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 3.90 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

Brian Boelk, Axiom Consultants presented a rezoning exhibit for the proposed rezoning a portion of the Cedar's Edge Golf Course from A-1 to R-1 and R-2 along with a site plan concept which shows the golf course being split into 3 separate parcels. Boelk explained the reason for the split is the intent of the current owner, Jerry Sexton to sell a lot to an individual for the purpose of building an event center. Boelk reminded the commission that previous plans were to have on combined building (event center and club house), but now plans have changed to have two separate buildings instead. Sexton addressed the commission and explained that estimates for the original concept came in much higher than expected and therefore the owner(s) were forced to scale back on the design and make plan revisions to cut costs. Boelk noted other changes from previous site plan presented include extending the public street to the club house / event center, shifting of some of the single family lots and addressed the access points for lot 11 & 16. Goerdts said he would need to research what zoning would be appropriate for the event center and suggested that spot zoning could be an issue.

Set a date for a Public Hearing on the request for rezoning a portion of Cedar's Edge Golf Course from A-1 to R-1 and R-2. /Move to action.

Fuller set October 9, 2018 for the public hearing for all three rezoning requests.**

Fuller made a motion to set a date for a public hearing for the rezoning request. Absent: Slach and Peck. Motion carried on a voice vote.

Discuss and create area regulation for Chapter 165.34, I-2 and CI-2

Deputy Clerk Brick introduced this item for discussion. Brick said in a recent conversation with a property owner on East College Street, a question was raised about rebuilding on a particular property. It was then noted by the City Engineer that the I-2 and CI-2 zoning codes lacked area regulations. Brick asked the commission to review those Code sections and bring this item back to the next meeting for further discussion.

Discussion on Outlot B, Lynch Heights

Brick introduced this item for discussion and stated Wayne Lynch, co-owner of Lynch Heights asked what he was able to do with the outlot platted. Brick said that Lynch previously had a buyer for the property, but now that transaction has fallen through. Goerdts said that this could be another issue of spot zoning, but did feel that if Lynch had the proper lot frontage for the lot, there was a possibility of rezoning. Goerdts said this would affect the current driveway used by Steve Lynch. Brick said she would relay the information to Mr. Lynch.

Comprehensive Plan Update

Fuller presented Chapter 13, Intergovernmental Cooperation to the commission and asked for them to review and provide their comments before the next meeting.

STAFF REPORTS:

Goerdts advised the commission that an error to Ordinance 747 was brought to his attention that would need to be retracted. Goerdts said he would work with Deputy Clerk Brick to have it corrected and determine next steps.

Brian Boelk, Axiom Consultants requested staff to have the City Engineer look into the elevations of Cedar-Johnson Road. Boelk said the connection of The Meadows, Part 4 to the Cedar-Johnson would be impacted.

COMMENTS FROM CHAIR AND COMMISSION MEMBERS:

Next regular meeting of the Planning & Zoning Commission will be Tuesday, November 27, 2018.

Adjourn

Fuller adjourned the Planning & Zoning Commission meeting at 8:03 p.m. Motion carried on a voice vote.

**After further discussion, it was determined that in order to meet publishing requirements, the special Planning & Zoning Commission meeting would be scheduled for Tuesday, October 16, 2018 to allow adequate notification timelines to be met.

Submitted by:
Leslie Brick
Deputy City Clerk

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING ON THE PROPOSED AMENDMENT TO THE WEST BRANCH ZONING CODE.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the West Branch Planning and Zoning Commission in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on Tuesday, October 16, 2018.

The public hearing will discuss the proposed rezoning of eighteen (18) lots from R-1 to R-2, Lots 22 through 39 of the following described parcel:

THE MEADOWS SUBDIVISION PART 4, BEING PART OF PARCEL G, AS RECORDED IN PLAT BOOK I, PAGE 103 OF THE CEDAR COUNTY RECORDER'S OFFICE, IN THE SOUTHWEST FRACTIONAL QUARTER (SW ¼) OF THE SOUTHWEST FRACTIONAL QUARTER (SW ¼) AND THE NORTHWEST FRACTIONAL QUARTER (NW ¼) OF THE SOUTHWEST FRACTIONAL QUARTER (SW ¼) OF SECTION 6, TOWNSHIP 89 NORTH, RANGE 4 WEST, IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF LOT 32 OF THE MEADOWS SUBDIVISION PART II, AN OFFICIAL PLAT NOW IN THE CITY OF WEST BRANCH, THENCE N18°59'30"W, 119.27 FEET; THENCE N86°38'50"E, 14.10 FEET; THENCE N3°21'11"W, 138.68 FEET; THENCE N3°10'34"W, 60.00; THENCE S86°46'30"W, 19.31 FEET; THENCE N3°20'32"W, 135.00 FEET TO THE NORTH LINE OF SAID PARCEL G; THENCE ALONG SAID NORTH LINE S86°46'30"W, 758.80 FEET TO THE EAST RIGHT OF WAY LINE OF CEDAR JOHNSON ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE S01°19'13"E, 165.54 FEET; THENCE N86°40'45"E, 347.57 FEET; THENCE S03°21'10"E, 57.06 FEET; THENCE 120.05 FEET ALONG A 182.99 FOOT RADIUS CURVE CONCAVE EAST (CHORD BEARING S22°08'48"E, 117.91 FEET); THENCE S40°55'59"E, 635.23 FEET; THENCE N49°03'28"W, 215.06 FEET TO THE WEST LINE OF SAID MEADOWS SUBDIVISION PART II, THENCE ALONG SAID WEST LINE OF SAID PLAT N32°16'00"W, 292.73 FEET TO THE POINT OF BEGINNING.

All interested persons are invited to attend these meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch Deputy City Clerk.

/s/ Leslie Brick
Leslie Brick, Deputy City Clerk
by West Branch City Council

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The public hearing will discuss the proposed rezoning from R-1 to R-2 of the following described parcel:

PARCEL "A" BEING DESCRIBED AS:

BEING THAT PART OF LOT B IN THE SOUTHWEST QUARTER $\frac{1}{4}$ (SW $\frac{1}{4}$) OF SECTION 6, TOWNSHIP 79, RANGE 4 WEST LYING NORTH OF PEDERSEN VALLEY PART 4 AND SOUTH OF CEDARS EDGE GOLF COURSE, AND PART OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$), ALL IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF LOT 82 OF PEDERSEN VALLEY PART 4, AN OFFICIAL PLAT IN THE CITY OF WEST BRANCH, THENCE N00° 51' 11"E, 331.84 FEET TO THE SOUTH LINE OF GREEN VIEW ESTATES , AN OFFICIAL PLAT IN THE CITY OF WEST BRANCH, THENCE ALONG SAID SOUTH LINE N86° 39' 40"E, 1083.46 FEET; THENCE S01° 19' 16"E, 319.75 FEET TO THE NORTHEAST CORNER OF SAID PEDERSEN VALLEY PART 4, THENCE ALONG SAID NORTH LINE S88° 40' 44"W, 180.00 FEET; THENCE ALONG SAID NORTH LINE S01° 19' 16"E, 50.00 FEET; THENCE ALONG SAID NORTH LINE S88° 40' 44"W, 915.38 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 8.56 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

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/s/ Leslie Brick
Leslie Brick, Deputy City Clerk
by West Branch City Council

PRELIMINARY PLAT

LOETHEN RIDGE ESTATES

WEST BRANCH, IOWA

LEGAL DESCRIPTION

PARCEL "A" BEING DESCRIBED AS:

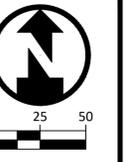
BEING THAT PART OF LOT B IN THE SOUTHWEST QUARTER ¼ (SW ¼) OF SECTION 6, TOWNSHIP 79, RANGE 4 WEST LYING NORTH OF PEDERSEN VALLEY PART 4 AND SOUTH OF CEDARS EDGE GOLF COURSE, AND PART OF THE SOUTHEAST QUARTER (SE ¼), ALL IN THE CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS:

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DESCRIBED PARCEL CONTAINS 8.56 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

NOTES:

1. ALL LOTS ZONED R2.
2. SETBACKS FOR R-2 ARE 25' FOR FRONT, 25' FOR REAR, AND 8' FOR SIDE YARDS.
3. 100 YEAR FLOOD ELEVATION = XXX.X
4. GREEN VIEW DRIVE BETWEEN LOTS 24 & 24 WILL BE CONSTRUCTED AS PART OF A FUTURE CITY PROJECT.
5. PARK ROAD WILL BE CONSTRUCTED AS PART OF A FUTURE CITY PROJECT.
6. PORTIONS OF THIS DEVELOPMENT ARE COVERED IN STORM WATER MANAGEMENT OF PETERSEN VALLEY DESIGN.



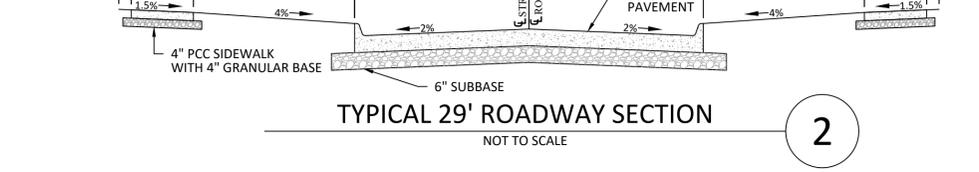
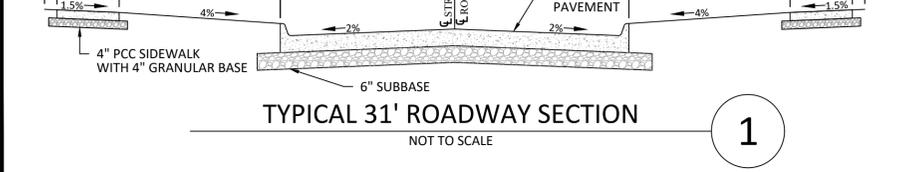
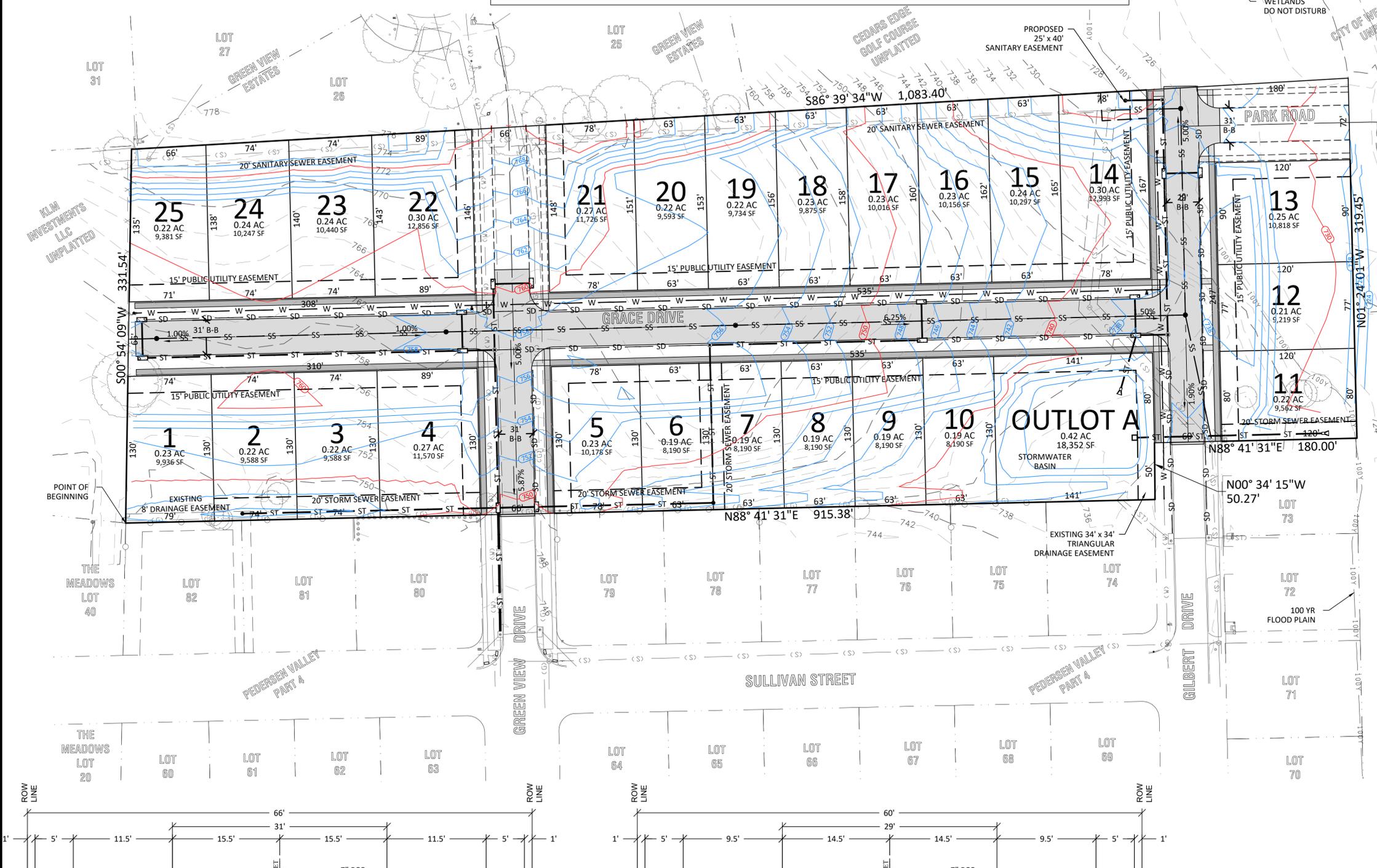
REV	DATE	DESCRIPTION OF CHANGES

REV	DATE	DESCRIPTION OF CHANGES

REV	DATE	DESCRIPTION OF CHANGES

REV	DATE	DESCRIPTION OF CHANGES

LEGEND:	UTILITIES	
	EXISTING	PROPOSED
COMMUNICATIONS	(CD)	CO
OVERHEAD LINE	(OH)	OH
ELECTRIC	(E)	E
FIBER OPTIC	(FO)	FO
GAS	(G)	G
SANITARY SEWER	(SS)	SS
STORM	(ST)	ST
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	W
COMMUNICATIONS HANDHOLE	(CCH)	(CCH)
COMMUNICATIONS PEDESTAL	(CP)	(CP)
COMMUNICATIONS MANHOLE	(CMH)	(CMH)
GUY WIRE ANCHOR	(GWA)	(GWA)
UTILITY POLE	(UP)	(UP)
UTILITY POLE WITH LIGHT	(UPL)	(UPL)
LIGHT POLE	(LP)	(LP)
ELECTRIC MANHOLE	(EMH)	(EMH)
ELECTRIC TRANSFORMER	(ET)	(ET)
FIBER OPTIC HANDHOLE	(FOH)	(FOH)
FIBER OPTIC MANHOLE	(FOMH)	(FOMH)
GAS VALVE	(GV)	(GV)
SANITARY SEWER MANHOLE	(SSMH)	(SSMH)
SANITARY SEWER CLEANOUT	(SSCO)	(SSCO)
STORM SEWER MANHOLE	(SSMH)	(SSMH)
STORM SEWER INTAKE	(SSI)	(SSI)
HYDRANT	(H)	(H)
WATER VALVE	(WV)	(WV)
CURB STOP	(CS)	(CS)
WATER MANHOLE	(WMH)	(WMH)
SITE		
CONTOUR - INDEX	(100)	(100)
CONTOUR - INTERMEDIATE	(101)	(101)
FENCE: BARB WIRE	(X-X)	(X-X)
FENCE: CHAIN LINK	(CL)	(CL)
FENCE: CONSTRUCTION	(C)	(C)
FENCE: VINYL	(V)	(V)
FENCE: WIRE	(W)	(W)
FENCE: WOOD	(WO)	(WO)
STREAM CENTERLINE	(SC)	(SC)
SHRUBBERY	(S)	SEE LANDSCAPE PLAN
TREE: DECIDUOUS	(D)	SEE LANDSCAPE PLAN
TREE: CONIFEROUS	(C)	SEE LANDSCAPE PLAN
MAIL BOX	(M)	(M)
SIGN	(S)	(S)
WATER METER	(WM)	(WM)
HOSE BIB	(HB)	(HB)
YARD HYDRANT	(YH)	(YH)



OWNER / APPLICANT:
IWB, LLC
MATTHEW ADAM
2916 HWY 1 NORTH
IOWA CITY, IOWA 52240

ATTORNEY:
TBD

PREPARED BY:
AXIOM CONSULTANTS, LLC
MICHAEL J. WELCH, PE
60 E. COURT STREET
UNIT 3
IOWA CITY, IOWA 52240

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING ON THE PROPOSED AMENDMENT TO THE WEST BRANCH ZONING CODE.

YOU ARE HEREBY NOTIFIED that a public hearing will be held by the West Branch Planning and Zoning Commission in the Council Chambers at the City Office, located at 110 N. Poplar Street in West Branch, IA at 7:00 p.m. on Tuesday, October 16, 2018.

The public hearing will discuss the proposed rezoning of twenty five (25) lots from A-1 to R-1 and R-2, of the following described parcels:

Legal description R-1: BEING PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M, CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER (NW ¼) THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER N01°02'17"W, 644.68 FEET; THENCE N88°57'43"E, 158.00 FEET; THENCE S01°02'17"E, 445.44 FEET; THENCE N88°57'43"E, 24.74 FEET; THENCE N43°02'35"E, 277.14 FEET; THENCE N88°57'43"E, 141.44 FEET; THENCE S55°39'59"E, 149.13 FEET; THENCE S20°07'32"E, 153.79 FEET; THENCE S69°52'29"W, 348.32 FEET; THENCE S03°13'20"E, 79.95 FEET; THENCE S86°43'55"W, 193.71 FEET; THENCE S03°09'26"E, 40.96 FEET; THENCE S86°42'09"W, 439.64 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 5.76 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

AND

Legal description R-2: BEING PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M, CITY OF WEST BRANCH, CEDAR COUNTY IOWA DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER (NW ¼) THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER N01°02'17"W, 644.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N01°02'17"W, 495.00 FEET; THENCE N88°57'43"W, 343.00 FEET; THENCE S01°02'17"E, 495.00 FEET; THENCE S88°57'43"W, 343.00 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 3.90 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

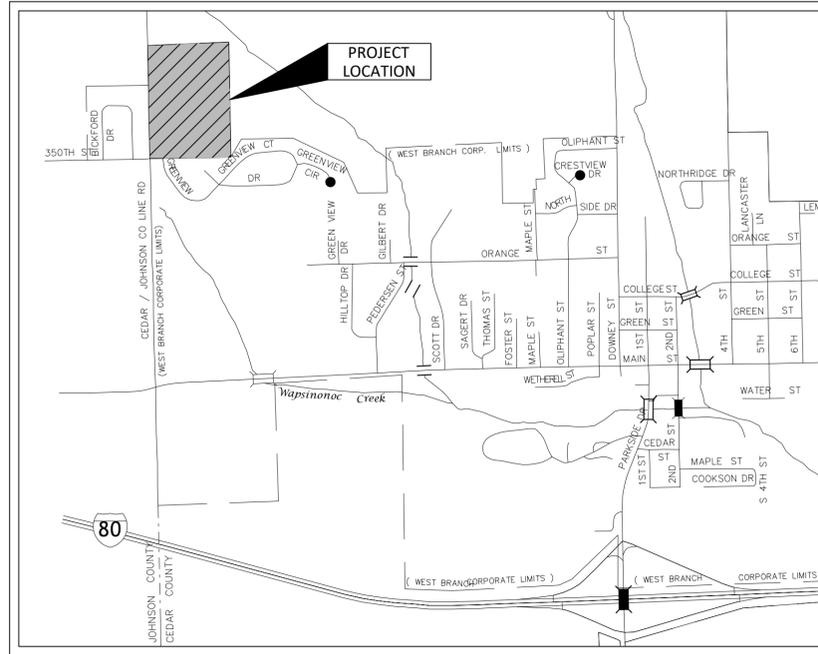
All interested persons are invited to attend these meetings and be heard on the aforementioned proposed adoption of the amendment. Further information regarding same may be obtained by contacting the West Branch Deputy City Clerk.

/s/ Leslie Brick
Leslie Brick, Deputy City Clerk
by West Branch City Council

DRAWINGS FOR PROPOSED IMPROVEMENTS EVENT CENTER LOT 26 - CEDARS EDGE WEST BRANCH, IOWA

LEGAL DESCRIPTION

BEING PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M, CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS:
LOT 26 OF CEDARS EDGE PLAT.
DESCRIBED PARCEL CONTAINS 2.44 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



CITY OF WEST BRANCH, IOWA

CO.00	COVER SHEET	
CIVIL		
CO.01	LEGEND AND GENERAL NOTES	
CO.02	GENERAL NOTES	
C1.00	TOPOGRAPHIC SURVEY AND REMOVALS	
C2.00	OVERALL SITE PLAN	
C3.00	LOT 26 SITE & UTILITY PLAN	
C3.01	LOT 26 GRADING & EROSION CONTROL PLAN	
C5.00	STORMWATER POND PLAN	
LANDSCAPE		

DESIGN STANDARDS AND REFERENCE DRAWINGS

THE PROPOSED IMPROVEMENTS INCLUDED IN THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH CITY OF WEST BRANCH REQUIREMENTS AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST ADDITION, UNLESS NOTED OTHERWISE ON THE PLANS.

THE FOLLOWING DESIGN EXCEPTIONS ARE REQUIRED:

NONE

THE FOLLOWING SUDAS FIGURES ARE INCLUDED BY REFERENCE:

FIGURE	TITLE
3010.101	TRENCH BEDDING AND BACKFILL ZONES
3010.103	FLEXIBLE GRAVITY PIPE TRENCH BEDDING
4010.201	SANITARY SEWER SERVICE STUB
4040.231	SUBDRAINS
4040.233	SUBDRAIN OUTLETS
5010.101	THRUST BLOCKS
5010.102	TRACER SYSTEM
5010.901	MINIMUM CLEARANCE BETWEEN WATER SERVICE AND STRUCTURE
5020.201	FIRE HYDRANT ASSEMBLY
6010.301	CIRCULAR SANITARY SEWER MANHOLE
6010.401	CIRCULAR STORM SEWER MANHOLE
6010.508	SINGLE OPEN-THROAT CURB INTAKE, LARGE BOX
6010.601	CASTINGS FOR SANITARY SEWER MANHOLES
6010.602	CASTINGS FOR STORM SEWER MANHOLES
9040.102	FILTER BERM AND FILTER SOCK
9040.104	ROLLED EROSION CONTROL INSTALLATION - CHANNEL
9040.119	SILT FENCE
9040.120	STABILIZED CONSTRUCTION ENTRANCE

APPLICANT INFORMATION

DEVELOPER:

LITTLE LIGHTS WEDDINGS & EVENTS, LLC
100 - 102 W MAIN STREET
WEST BRANCH, IA 52358
(319) 330-4607

PROPERTY OWNER:

SEXTON CONSTRUCTION
192 HILLTOP CIRCLE
WEST BRANCH, IA 52358

DEVELOPER'S ATTORNEY:

MATTHEW ADAM
SIMMONS PERRINE MOYER BERGMAN, PLC
1150 5TH STREET, SUITE 170
CORALVILLE, IA 52241
(319) 354-6316

PROJECT INFORMATION

SCOPE OF WORK:

CONSTRUCTION OF AN EVENT CENTER. PROJECT WILL INCLUDE THE DEMOLITION OF THE EXISTING CLUB HOUSE AND OTHER STRUCTURES, CONSTRUCTION OF A NEW EVENT CENTER BUILDING, AND ASSOCIATED PAVING AND INFRASTRUCTURE IMPROVEMENTS.

CONTACT PERSON:

MICHAEL WELCH
AXIOM CONSULTANTS, LLC
60 E COURT STREET, UNIT 3
IOWA CITY, IOWA 52240-3833
PHONE: 319-519-6220
mwelch@axiom-con.com

SITE INFORMATION

PROPOSED PARKING

PERMANENT	
STANDARD STALLS	123
HANDICAP STALLS	7 (4 VAN ACCESSIBLE)
TOTAL	130

LANDSCAPE AND OPEN SPACE

OWNER REQUESTS A WAIVER FROM THE CITY OF WEST BRANCH LANDSCAPE AND OPEN SPACE REQUIREMENTS BASED ON THE NATURE OF THE PROPERTY AND THE NUMBER OF EXISTING TREES AND AMOUNT OF OPEN SPACE ALREADY PRESENT ON SITE. DEVELOPER TO LANDSCAPE SITE SPECIFICALLY FOR EVENT CENTER USE AND OUTDOOR PHOTOGRAPHY.

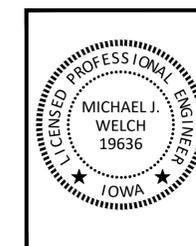
UTILITY CONTACTS

ALLIANT ENERGY
LAURA BARR
(319) 286-1315

LINN COUNTY REC
JOHNA NUNEMAKER
(319) 377-1587
NUNEMAKER@LINNCOUNTYREC.COM

IOWA COMMUNICATIONS NETWORK (ICN)
SHANNON MARLOW
(515) 725-4402
SHANNON.MARLOW@IOWA.GOV

CITY OF WEST BRANCH
MATT GOODALE
(319) 643-5888
WBCITY@NETINS.NET



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: _____ DATE: _____

MICHAEL J. WELCH, P.E.

LICENSE NUMBER 19636

MY LICENSED RENEWAL DATE IS DECEMBER 31, 2018

PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS LISTED IN INDEX



ENGINEER:

DATE:

DRAWING LOG

DESCRIPTION OF CHANGES

REV

PLANNING & ZONING REVIEW

NOT FOR CONSTRUCTION

DATE ISSUED:

OCTOBER 11, 2018

CURRENT REV:

A

PROJECT NAME:

EVENT CENTER

LOT 26 - CEDARS EDGE

CLIENT NAME:

LITTLE LIGHTS ON THE LANE

SHEET NAME:

COVER SHEET

SHEET NUMBER:

CO.00

PROJECT NO.:

18-0117

PROJECT MANAGER:

WELCH

LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	— (CD) —	— CO —
OVERHEAD LINE	— (OH) —	— OH —
ELECTRIC	— (E) —	— E —
FIBER OPTIC	— (FD) —	— FO —
GAS	— (G) —	— G —
SANITARY SEWER	— (S) —	— SS —
STORM	— (ST) —	— ST —
SUBDRAIN	— (SD) — (SD) — (SD)	— SD —
WATER: DOMESTIC	— (W) —	— W —
WATER: WELL	— (WELL) —	— WELL —
CHILLED WATER: SUPPLY	— (CHWS) —	— CHWS —
CHILLED WATER: RETURN	— (CHWR) —	— CHWR —
CONDENSATE	— (CND) —	— CND —
STEAM: HIGH PRESSURE	— (HPS) —	— HPS —
STEAM: LOW PRESSURE	— (LPS) —	— LPS —
COMMUNICATIONS HANDHOLE		
COMMUNICATIONS PEDESTAL		
COMMUNICATIONS MANHOLE		
GUY WIRE ANCHOR		
UTILITY POLE		
UTILITY POLE WITH LIGHT		
LIGHT POLE		
ELECTRIC MANHOLE		
ELECTRIC TRANSFORMER		
TRAFFIC HANDHOLE		
TRAFFIC MANHOLE		
FIBER OPTIC HANDHOLE		
FIBER OPTIC MANHOLE		
GAS MANHOLE		
GAS VALVE		
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
STORM SEWER MANHOLE		
STORM SEWER INTAKE		
HYDRANT		
WATER VALVE		
CURB STOP		
WATER MANHOLE		
POST INDICATOR VALVE		

SITE	EXISTING	PROPOSED
CONTOUR - INDEX	— 100 —	— 100 —
CONTOUR - INTERMEDIATE	— 101 —	— 101 —
FENCE: BARB WIRE	- x - x - x - x -	- x - x - x - x -
FENCE: CHAIN LINK	- o - o - o - o -	- o - o - o - o -
FENCE: CONSTRUCTION	- . - . - . - . -	- . - . - . - . -
FENCE: VINYL	- - - - -	- - - - -
FENCE: WIRE	- // - // - // - // -	- // - // - // - // -
FENCE: WOOD	- o - o - o - o -	- o - o - o - o -
TREE LINE		
DELINEATED WETLAND		
100-YEAR FLOODPLAIN	— 100Y —	— 100Y —
500-YEAR FLOODPLAIN	— 500Y —	— 500Y —
STREAM CENTERLINE		
BOLLARD		
FLAG POLE		
LANDSCAPE LIGHT		
SHRUBBERY		SEE LANDSCAPE PLAN
TREE: DECIDUOUS		SEE LANDSCAPE PLAN
TREE: CONIFEROUS		SEE LANDSCAPE PLAN
MAIL BOX		
POST		
SIGN		
PARKING METER		
FIRE DEPARTMENT CONNECTION		
WATER METER		
HOSE BIB		
YARD HYDRANT		
DRINKING FOUNTAIN		
MONITORING WELL		
WELL		

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT SHOWN ON THIS DRAWING.
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48 - 72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. THE CITY OF WEST BRANCH SHALL BE THE PUBLIC AGENCY RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION OF THE PUBLIC PORTIONS OF THE PROJECT.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

GRADING NOTES

- STRIP EXISTING VEGETATION WITHIN THE GRADING LIMITS AND AREAS TO RECEIVE FILL STOCKPILE ON-SITE FOR REUSE IF SUITABLE.
- PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOFROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.
- REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT.
- SCARIFY EXISTING SUBGRADE TO A DEPTH OF 12 INCHES AND RECOMPACT TO 98% OF STANDARD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.
- DO NOT PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS AND DO NOT RESUME COMPACTION OPERATIONS UNTIL MOISTURE CONTENT AND DENSITY OF IN-PLACE FILL MATERIAL ARE WITHIN SPECIFIED LIMITS.
- PLACE FILL MATERIAL IN 9" MAXIMUM LIFTS.
- FILLS PLACED BELOW LAWN AREAS SHALL BE COMPACTED TO 90% OF MATERIALS MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D698).
- SCARIFY SUBGRADE TO DEPTH OF 3 INCHES WHERE TOPSOIL IS SCHEDULED. SCARIFY AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
- FILL MATERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OF 6 INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2-1/2 INCHES IN GREATEST DIMENSION.
- SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING SUBGRADE TO 98% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS. REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT RESULTING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- FINISH CONTOURS SHOWN ARE TO TOP OF FINISHED GRADE OR TO TOP OF TOPSOIL.

SITE PREPARATION NOTES

- PROTECT ADJACENT PROPERTY DURING DEMOLITION.
- DEMOLITION LIMIT LINE IS THE EXISTING PROPERTY LINE UNLESS NOTED OTHERWISE.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAUL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
- KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
- DURING CONSTRUCTION, CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT THE CONTRACTOR'S OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER COST.
- REMOVE ALL DESIGNATED STREETS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- WHERE A SECTION OF PAVEMENT, CURB AND GUTTER OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
- SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING CONCRETE STRUCTURES ON THE SITE AS SHOWN ON THE PLANS. THE REMOVAL INCLUDES DRIVEWAYS, CURB AND GUTTER, SIDEWALK, AND BASEMENT FOUNDATION FOOTINGS, FLOOR AND WALLS. THE REMOVAL ALSO INCLUDES STORM SEWER INTAKES AND PIPE AS SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT TREES AND SHRUBS NOTED ON THE PLANS TO REMAIN IN PROJECT AREA FROM DAMAGE DUE TO CONSTRUCTION ACTIVITY. PROTECTION INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION FENCING AROUND THE DRIP LINE OF TREES AND PROHIBITING VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES.
- REMOVAL AND DISPOSAL OF EXISTING TREES AND SHRUBS WITHIN CONSTRUCTION LIMITS SHALL BE INCIDENTAL TO THE GRADING PORTION OF THE PROJECT. STUMPS ARE TO BE GROUND TO TWO FEET BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.

EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:

- CONNECT TILE TO THE NEAREST STORM SEWER.
- DAYLIGHT TO FINISHED GROUND.
- REPAIR TILE AND MAINTAIN SERVICE.

SURFACE RESTORATION NOTES

- ONLY DISTURBED AREAS NOT PAVED OR HARD SURFACED, ADJACENT TO THE PROPOSED BUILDING AND PAVING, SHALL RECEIVE MINIMUM 4" TOPSOIL. SCARIFY AREAS TO RECEIVE TOPSOIL TO A MIN. DEPTH OF 4". REMOVE ALL STONES, WOOD AND DEBRIS LARGER THAN 2" FROM AREAS TO RECEIVE TOPSOIL. DO NOT COMPACT TOPSOIL.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SUDAS SECTION 9010.
- SEED ALL DISTURBED AREAS NOT TO BE HARD SURFACED, AND NOT TO HAVE TOPSOIL SPREAD, WITH TYPE 1 EROSION CONTROL MIXTURE PER SUDAS SECTION 9010.
- APPLY SEED AT THE RATES INDICATED IN THE PROJECT SPECIFICATIONS.
- MAINTAIN SEEDED AREAS UNTIL AN ADEQUATE STAND OF GRASS HAS BEEN ESTABLISHED. RESEED ANY AREAS AS NECESSARY TO STABILIZE SOIL PER PROJECT SPECIFICATIONS.
- EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT ARE TO REMAIN AND DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL, SEDIMENT, AND DUST CONTROL IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN AND THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INCORPORATE ALL EROSION CONTROL FEATURES INTO THE PROJECT PRIOR TO DISTURBING THE SOIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 1/2" OR MORE. IF A CONTROL MEASURE HAS BEEN REDUCED IN CAPACITY BY 50% OR MORE, THE CONTRACTOR SHALL RESTORE SUCH FEATURES TO THEIR ORIGINAL CONDITION IMMEDIATELY, WEATHER PERMITTING.
- ERECT SILT FENCE AS SHOWN ON THE PLANS TO LIMIT LOSS OF MATERIAL FROM THE SITE. DEVICES TO REMAIN IN PLACE AND TO BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.
- MINIMIZE SOIL EROSION BY MAINTAINING ALL EXISTING VEGETATIVE GROWTH WITHIN THE GRADING LIMITS FOR AS LONG AS PRACTICAL.
- INSTALL A SILT FENCE AROUND ALL STOCKPILED TOPSOIL.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SEEDING FOR ALL AREAS THAT ARE DISTURBED AND OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED IN LESS THAN 14 DAYS.
- SEQUENCE OF EROSION AND SEDIMENT CONTROL EVENTS:
 - INSTALL INLET PROTECTION AROUND EXISTING INTAKES AS INDICATED ON THE SITE CONSTRUCTION PLAN. USE THESE LOW AREAS AS SEDIMENT BASINS DURING CONSTRUCTION.
 - INSTALL PERIMETER SILT FENCE AS INDICATED ON THE SITE CONSTRUCTION PLAN.
 - INSTALL SILT FENCE AROUND ANY TOPSOIL OR EXCESS SOIL STOCKPILES. APPLY TEMPORARY SEEDING TO ALL TOPSOIL OR EXCESS SOIL STOCKPILES.
 - INSTALL STONE SUBBASE ON STREET AREAS FOLLOWING COMPLETION OF GRADING.
 - APPLY TEMPORARY SEEDING TO ALL DENUDED AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR 14 DAYS OR MORE. FERTILIZE AND LIME IF NEEDED. APPLY MULCH ON SLOPES GREATER THAN 4:1 (HORIZONTAL:VERTICAL).
 - DESTROY TEMPORARY SEEDING AND APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS NOT TO BE HARD SURFACED. FERTILIZE AND MULCH PERMANENT SEEDING AS REQUIRED. APPLY MULCH AT 1.5 TO 2.0 TONS PER ACRE ON SLOPES GREATER THAN 4:1.
 - WHEN CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH PERMANENT SEEDING, REMOVE ACCUMULATED SEDIMENT FROM ANY SEDIMENT BASINS, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVALS.

STORMWATER POLLUTION PREVENTION:

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES FROM THE DATE CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION. THE CONTRACTOR SHALL MAINTAIN THE SWPPP PER THE REQUIREMENTS OF GENERAL PERMIT NO. 2. ALL OPERATORS/CONTRACTORS WORKING ONSITE MUST SIGN THE CERTIFICATION STATEMENT PROVIDED AND WILL BECOME CO-PERMITTEES ON THE NPDES GENERAL PERMIT NO. 2 FOR THIS SITE. ALL OPERATORS/SUBCONTRACTORS WORKING ONSITE SHALL BE SUPPLIED A COPY OF THE SWPPP BY THE CONTRACTOR AND MUST BE FAMILIAR WITH ITS CONTENTS. THE SWPPP MUST BE PERIODICALLY UPDATED TO SHOW CURRENT EROSION CONTROL PRACTICES PER THE REQUIREMENTS OF THE GENERAL PERMIT #2. UPDATED VERSIONS OF THE SWPPP WILL BE PROVIDED TO ALL OF THE OPERATORS/SUBCONTRACTORS WHOM ARE AFFECTED BY THE CHANGES MADE TO THE SWPPP. IT WILL BE THE DUTY OF THE CONTRACTOR TO SEE THAT THESE REQUIREMENTS ARE MET.

ENGINEER:		
	60 EAST COURT STREET, UNIT 3, IOWA CITY, IA 52240	
DRAWING LOG	DATE	
	DESCRIPTION OF CHANGES	
ISSUED FOR:	PLANNING & ZONING REVIEW	REV
	NOT FOR CONSTRUCTION	CURRENT REV: A
PROJECT NAME:	EVENT CENTER	DATE ISSUED: OCTOBER 11, 2018
	LOT 26 - CEDARS EDGE	
LEGEND AND GENERAL NOTES	PROJECT NUMBER: C0.01	PROJECT MANAGER: WELCH
	SHEET NUMBER: 18-0117	
LITTLE LIGHTS ON THE LANE		

WATER NOTES

ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.

- WATER MAIN PIPE SHALL BE PVC C900. BEDDING FOR WATER MAIN AND SERVICES SHALL BE CLASS P-1 PER SUDAS 3010.104 (IDOT STANDARD ROAD PLAN SW-104). ALL WATER MAIN TO BE INSTALLED WITH TRACER WIRE.
- BACKFILL WATER MAIN AND SERVICES UNDER PAVEMENT WITH SUITABLE NATIVE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY. TRENCH COMPACTION TESTING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 3010 - 3.06.
- WATER SERVICE LINES SHALL BE TYPE K COPPER OR 200 PSI SDR-7 PE PIPE. REFER TO PLANS FOR SIZE AND LOCATION. CURB STOPS SHALL BE LOCATED AS INDICATED ON THE PLANS. MAINTAIN 36" HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SERVICES. THE ENDS OF WATER SERVICE LINES SHALL BE MARKED WITH 2X4 POSTS PAINTED BLUE.
- VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC. TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN AS-BUILTS REGARDING ASPECTS OF THE PROJECT WHICH DIFFER FROM THE CONTRACT DOCUMENTS. THIS INCLUDES BOTH EXISTING FACILITIES ENCOUNTERED AND PROPOSED FACILITIES CONSTRUCTED. THE INFORMATION SHALL INCLUDE LOCATION, DIMENSION AND MATERIAL DATA. THE LOCATION OF UNDERGROUND FACILITIES SHALL BE NOTED IF THEY DIFFER FROM THE PLANS BY MORE THAN 2 FEET HORIZONTALLY AND 0.5 FEET VERTICALLY OR ARE NOT SHOWN. FACILITIES CONSTRUCTED OR ENCOUNTERED ABOVE GROUND SHALL BE NOTED IF THEY DIFFER FROM THE PLANS BY MORE THAN 1 FOOT HORIZONTALLY AND 0.25 FEET VERTICALLY.
- ALL FIRE HYDRANT STATIONING IS TO CENTER OF THE WATER MAIN. CONTRACTOR SHALL INSTALL HYDRANT OFFSET 3-FT FROM THE BACK OF CURB UNLESS STATED OTHERWISE. ALL FIRE HYDRANT'S SHALL INCLUDE TEE AND EXTENSION PIPE (OR REDUCER WHEN APPLICABLE). ASSEMBLIES SHALL ALSO INCLUDE 6" GATE VALVE FOR ALL FIRE HYDRANT'S. SEE FIGURE 5020.201. HYDRANTS SHALL INCLUDE "STORZ" CONNECTION AS REQUIRED BY WEST BRANCH FIRE DEPARTMENT.
- PIPE LENGTHS FOR ALL UTILITIES ARE GIVEN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS FOR WATER MAIN ARE MEASURED BETWEEN ELBOWS, CROSSES, OR TEES (INCLUDING FH TEES).
- CONTRACTOR SHALL INSTALL A MINIMUM OF 2" BLUE BOARD INSULATION OR EQUIVALENT ALONG THE BACK OF INTAKES TO PROTECT WATERMANS FROM FREEZING.
- CONTRACTOR MAY DEFLECT WATER MAIN PER MANUFACTURER'S SPECIFICATIONS FOR HORIZONTAL DEFLECTION. PIPE DEFLECTION IS NOT ALLOWED FOR VERTICAL DEFLECTIONS. CONTRACTOR SHALL USE DUCTILE IRON FITTINGS WITH MAG-A-LUG TYPE RESTRAINTS AS NECESSARY. ALL BENDS, TEES, ETC. SHALL HAVE ADEQUATE AND APPROPRIATE JOINT RESTRAINTS AND THRUST BLOCKS.
- CONTRACTOR SHALL CONTACT WEST BRANCH PUBLIC WORKS DEPARTMENT OFFICE TO OBTAIN A 'START WORK' ORDER 24 HOURS PRIOR TO BEGINNING CONSTRUCTION OF WATER SYSTEM IMPROVEMENTS.
- CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE WITH THE CITY OF WEST BRANCH.
- CONTRACTOR RESPONSIBLE FOR COORDINATING ON SITE INSPECTION OF WATER MAIN INSTALLATION WITH THE MUNICIPAL UTILITY.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT IOWA ONE-CALL 1-800-292-8989 PRIOR TO EXCAVATION.
- WATER MAIN MATERIALS, INSTALLATION AND TESTING MUST COMPLY WITH THE STATEWIDE URBAN DESIGN STANDARDS AND SPECIFICATIONS (SUDAS). THIS APPLIES TO BOTH PUBLIC AND PRIVATE WATER MAINS AND LARGE SERVICE LINES (3" OR LARGER) ON THE DISTRIBUTION SIDE OF THE METER. CONTRACTOR SHALL FURNISH AND INSTALL HYDRANTS AND VALVES IN COMPLIANCE WITH SUDAS.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY OF WEST BRANCH FOR ANY VARIANCE FROM THE APPROVED PLAN.
- THE CITY OF WEST BRANCH SHALL OPERATE ALL EXISTING SYSTEM VALVES AND THE CONTRACTOR AND CITY SHALL COORDINATE ANY SHUT DOWNS OF THE EXISTING SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAPS, FILLING AND FLUSHING NEW MAINS, AND ALL REQUIRED SAMPLING. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH LOCAL, STATE & FEDERAL CODES.
- FOR WATER MAINS THAT ARE TO BE ACCEPTED INTO THE PUBLIC WATER DISTRIBUTION SYSTEM, THE CONTRACTOR SHALL WARRANT THE WORKMANSHIP AND MATERIAL OF THE INSTALLED WATER MAINS FOR A PERIOD OF FOUR (4) YEARS FROM DATE OF ACCEPTANCE, AND SHALL FURNISH THE MUNICIPALITY WITH A MAINTENANCE BOND COVERING THE COST OF THE WATER IMPROVEMENTS FOR THAT PERIOD.

- TRACER WIRE IS REQUIRED ON ALL PRIVATE AND PUBLIC WATER MAIN 3 INCHES IN DIAMETER OR LARGER. HOLES IN VALVE BOXES FOR TRACER WIRE MUST BE DRILLED.
- WHERE WATER MAIN AND SANITARY SEWERS CROSS, ONE FULL (20 FOOT) LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SANITARY SEWER, AND THE VERTICAL DISTANCE SHOULD BE MAINTAINED 18 INCHES OR GREATER. WHERE WATER LINES AND SEWERS CROSS AND THE MINIMUM CLEARANCE CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATER MAIN GRADE AWWA C-900 SDR-18 PVC OR DUCTILE IRON PIPE WITH COMPRESSION FITTINGS OR MECHANICAL JOINTS IF WITHIN 10 FEET OF THE WATER MAIN.
- UNLESS SPECIFICALLY APPROVED OTHERWISE, ALL TAPS 4-INCH OR LARGER ARE TO BE 'LIVE' TAPS USING AN APPROVED TAPPING SLEEVE OR SADDLE AND VALVE.
- WATER MAINS AND LARGE SERVICES (3" OR LARGER) OVER 20 FEET IN LENGTH ARE REQUIRED TO BE DISINFECTED, FLUSHED, FILLED AND PRESSURE TESTED. PRESSURE / LEAKAGE TESTS ARE CONDUCTED AT 150 PSI UNDER THE DIRECTION OF THE HIAWATHA WATER DEPARTMENT.
- ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C 651. NO WATER MAIN SHALL BE PLACED INTO SERVICE UNTIL ALL SAMPLES HAVE PASSED BACTERIOLOGICAL TESTS.
- IF INSTALLATION OF A CASING PIPE IS REQUIRED, IT SHALL INCLUDE CASING SPACERS AND WATERTIGHT MECHANICAL RUBBER END SEALS.
- MINIMUM BURY OF WATER MAIN AND WATER SERVICES SHALL BE 5' - 6".
- THRUST BLOCKS SHALL BE INSTALLED AT ALL HYDRANTS, BENDS, VALVES, CROSSES, AND TEES. ALL BENDS SHALL ALSO HAVE MEGALUG FITTINGS.

STORM SEWER NOTES

- RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR AASHTO M170.
- RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS R-1 BEDDING PER SUDAS FIGURE 3010.102 (IDOT STANDARD ROAD PLAN SW-102). RCP STORM SEWERS SHALL HAVE OPEN JOINTS WRAPPED IN ENGINEERING FABRIC. STORM SEWERS UNDERA ND WITHIN 5-FT OF PAVING SHALL BE BACKFILLED WITH POROUS BACKFILL TO BOTTOM OF SUBGRADE ELEVATION. ALL OTHER STORM SEWERS SHALL BE BACKFILLED WITH SUITABLE NATIVE MATERIAL.
- HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORRUGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SECTION 4020.
- HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS F-3 BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
- STORM SEWER LINES SHALL BE A MINIMUM OF 10' FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
- ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25', 50' AND THEN EVERY 100' BETWEEN MANHOLES.
- THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

SANITARY SEWER

- SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
- SANITARY SEWER SERVICE PIPE AND FITTINGS SHALL BE SDR 23.5 POLYVINYL CHLORIDE (PVC) PER SECTION 4010 OF SUDAS. SANITARY SERVICES ARE 4". MAINTAIN 36" HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SERVICES. THE ENDS OF THE SANITARY SEWER SERVICE LINES SHALL BE MARKED WITH 2X4 POSTS PAINTED GREEN.
- SANITARY SEWER MAINS SHALL BE PVC SDR26. CLASS F-3 BEDDING SHALL BE USED FOR SANITARY SEWER CONSTRUCTION PER SUDAS 3010.103 (IOWA DOT STANDARD ROAD PLAN SW-103). BACKFILL SANITARY SEWER MAINS AND SERVICES WITH SUITABLE NATIVE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.

PAVEMENT GENERAL NOTES

- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
- REMOVE AND REPLACE OR RESTORE ALL STREET SIGNS, PAVEMENT MARKINGS, SIDEWALK LAMPS, SIDEWALKS, STEPS, LANDSCAPE STRUCTURES, CURB AND GUTTER, STREETS, DRIVES AND ALL OTHER SURFACE STRUCTURES REMOVED OR OTHERWISE DAMAGED DURING THE COURSE OF THE WORK. SIDEWALKS SHALL BE REMOVED AND REPLACED TO NEAREST JOINT BEYOND CONSTRUCTION AREA.
- COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
- GRANULAR SUBBASE FOR PAVEMENTS SHALL MEET THE LIMITS OF GRADUATION NO. 14 (MODIFIED SUBBASE) PER IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4123.
- PROOF-ROLL SUBGRADE PER SECTION 2115. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.
- ALL CURB AND GUTTER IS 3" ROLLED PROFILE CURB UNLESS STATED OTHERWISE.

PCC PAVEMENT NOTES

- PCC PAVING THICKNESS SHALL BE 6-INCH ON 6INCH GRANULAR SUBBASE, UNLESS STATED OTHERWISE.
- MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
- MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5% COARSE AGGREGATE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
- JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
- CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.
- FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
- CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE.
- PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE 4 INCHES THICK. PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT LESS THAN 12 FEET WIDE SHALL BE 6 INCHES THICK. SIDEWALK THICKNESS AT ALL DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT DRIVEWAY. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE PLACED A MAXIMUM OF 5 FEET ON CENTER. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT LESS THAN 12 FEET WIDE SHALL BE PLACED A MAXIMUM OF 8 FEET ON CENTER. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% DRAINING TOWARDS BACK OF CURB, UNLESS OTHERWISE NOTED.
- ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
- CONSTRUCT 1" EXPANSION JOINTS ON PCC CURB AT ALL ENDS OF RETURN RADII.

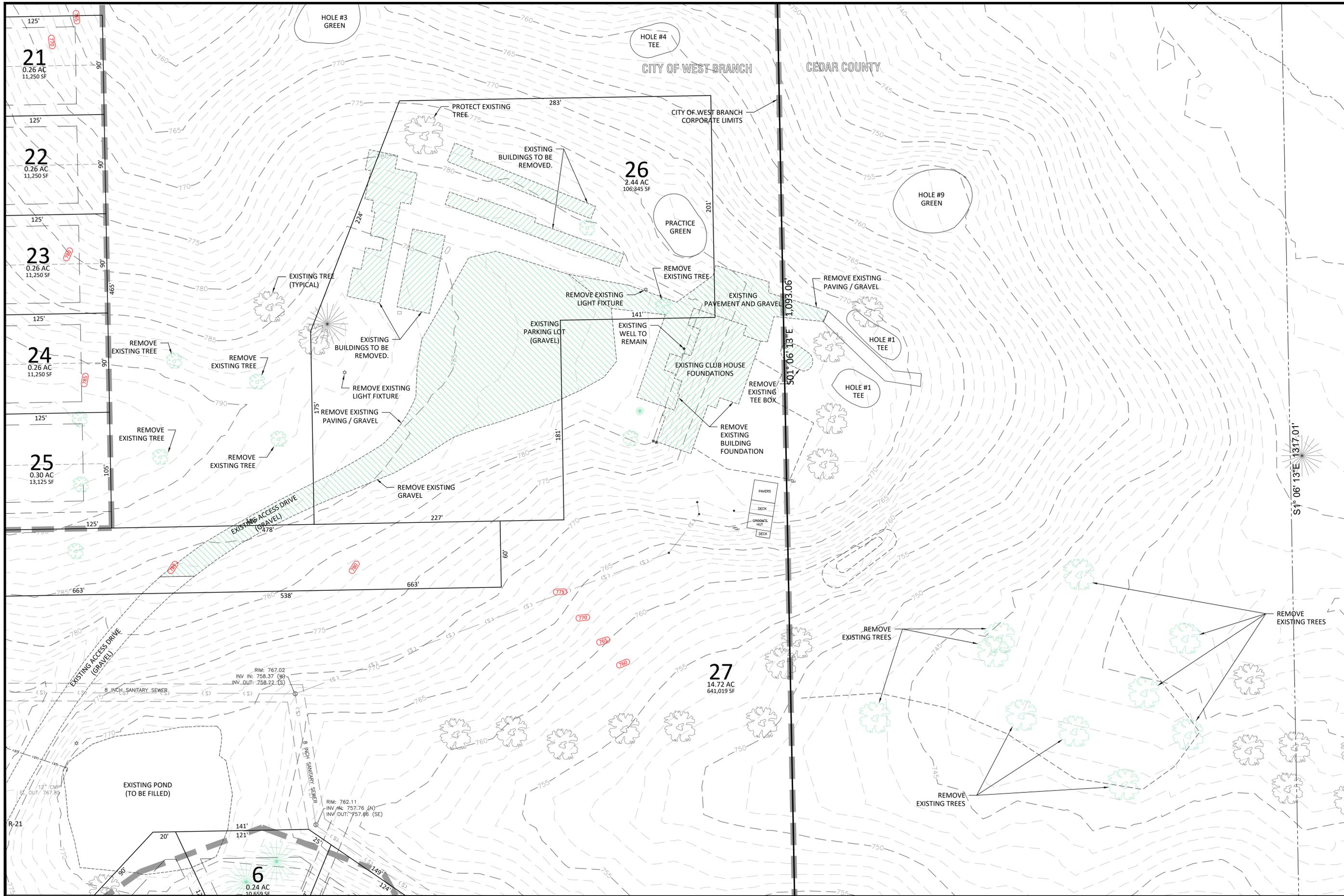


ENGINEER:	DATE

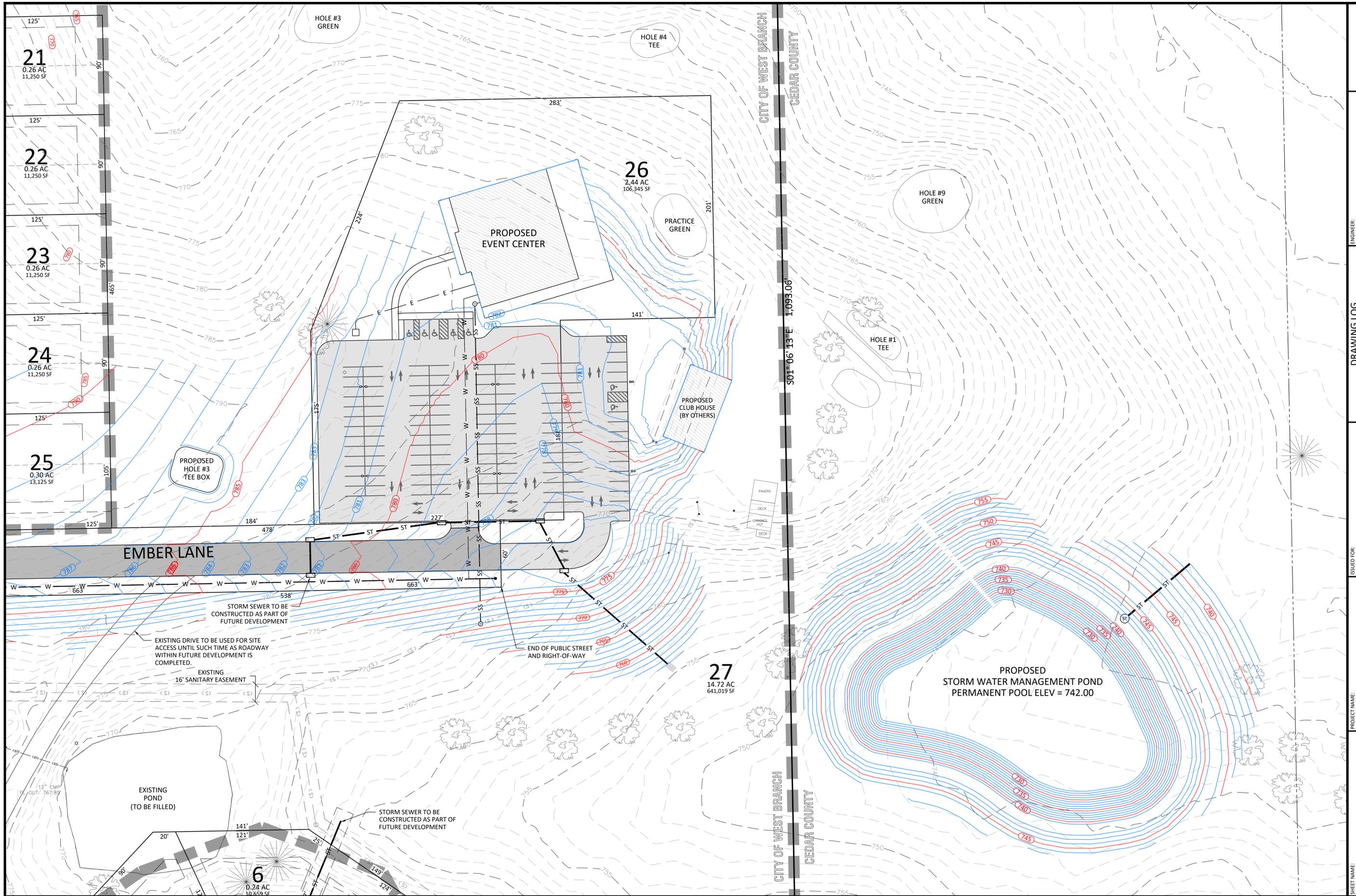
ISSUED FOR:	DATE ISSUED:	CURRENT REV.
PLANNING & ZONING REVIEW		A
NOT FOR CONSTRUCTION	OCTOBER 11, 2018	

PROJECT NAME:	CLIENT NAME:
EVENT CENTER LOT 26 - CEDARS EDGE	LITTLE LIGHTS ON THE LANE

PROJECT NAME:	PROJECT NUMBER:	PROJECT MANAGER:
GENERAL NOTES	18-0117	WEICH
	C0.02	



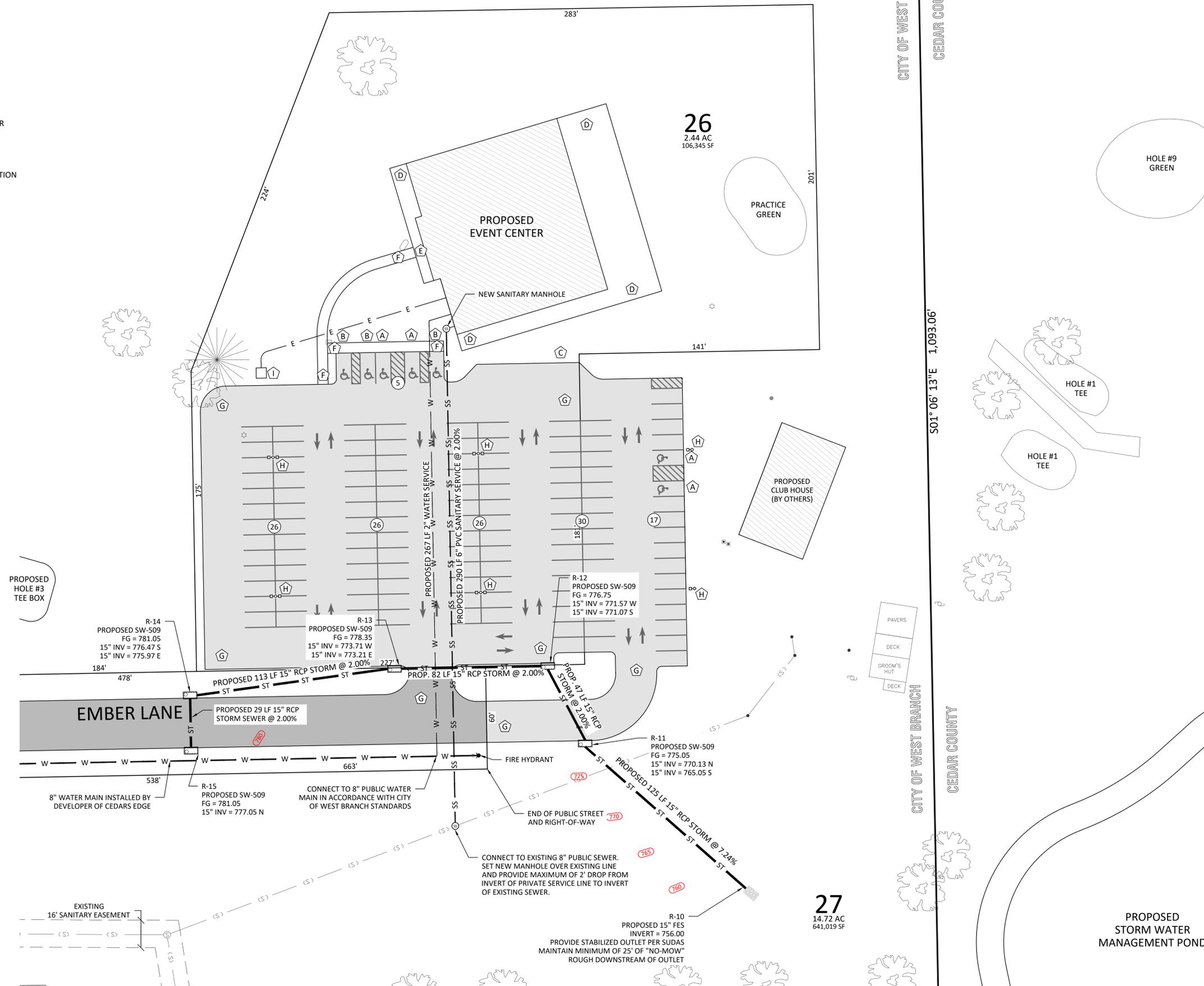
AXIOM CONSULTANTS 60 EAST COURT STREET, UNIT 3, IOWA CITY, IA 52240	
ENGINEER:	
DATE:	
DRAWING LOG	
DESCRIPTION OF CHANGES	
REV	
ISSUED FOR:	PLANNING & ZONING REVIEW
DATE ISSUED:	OCTOBER 11, 2018
CURRENT REV:	A
PROJECT NAME:	EVENT CENTER LOT 26 - CEDARS EDGE
CLIENT NAME:	LITTLE LIGHTS ON THE LANE
PROJECT NUMBER:	18-0117
PROJECT MANAGER:	WEICH
SHEET NUMBER:	C1.00



OVERALL SITE PLAN SHEET NUMBER: C2.00 PROJECT NO.: 18-0117 PROJECT MANAGER: WELCH	PROJECT NAME: EVENT CENTER LOT 26 - CEDARS EDGE	ISSUED FOR: PLANNING & ZONING REVIEW	ENGINEER: AXIOM CONSULTANTS <small>60 EAST COURT STREET, UNIT 3, IOWA CITY, IA 52240</small>
	CLIENT NAME: LITTLE LIGHTS ON THE LANE	DATE ISSUED: OCTOBER 11, 2018	CURRENT REV: A
NOT FOR CONSTRUCTION		DRAWING LOG DESCRIPTION OF CHANGES REV. DATE	NORTH ARROW SCALE: 0 20 40

SITE PLAN KEYNOTES:

- A** HANDICAP STALL WITH SIGN - VAN ACCESSIBLE SPACE
- B** HANDICAP STALL WITH SIGN - STANDARD SPACE
- C** TRASH AND RECYCLING ENCLOSURE
- D** COVERED PATIO - REFER TO ARCHITECTURAL PLANS
- E** EVENT CENTER ENTRANCE - MAIN LEVEL
- F** PROPOSED CONCRETE WALK
- G** PROPOSED STANDARD DUTY CONCRETE PAVEMENT WITH CURB AND GUTTER
- H** PROPOSED LIGHT POLE WITH PRECAST, 2' Ø CONCRETE BASE AND 25' MAST HEIGHT. REFER TO MEP PLANS FOR ADDITIONAL INFORMATION
- I** PROPOSED ELECTRICAL TRANSFORMER. COORDINATE SIZE AND FINAL LOCATION WITH MEP PLANS AND UTILITY COMPANY



60 EAST COURT STREET, UNIT 3, IOWA CITY, IA 52240

REV	DATE	DESCRIPTION OF CHANGES

ISSUED FOR: **PLANNING & ZONING REVIEW**

NOT FOR CONSTRUCTION

DATE ISSUED: **OCTOBER 11, 2018**

CURRENT REV: **A**

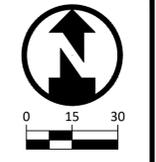
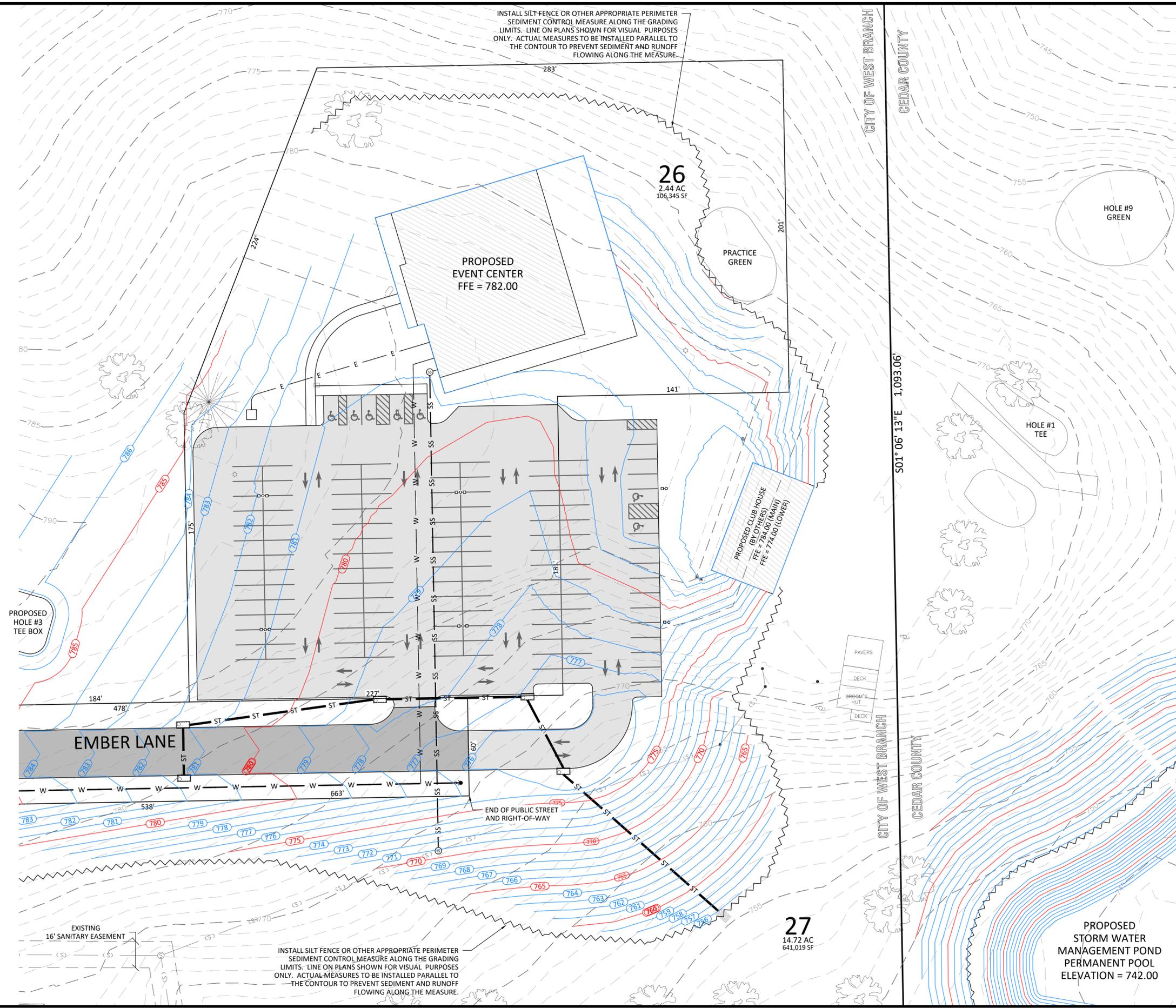
PROJECT NAME: **EVENT CENTER LOT 26 - CEDARS EDGE**

CLIENT NAME: **LITTLE LIGHTS ON THE LANE**

SHEET NUMBER: **C3.00**

PROJECT NUMBER: **18-0117**

PROJECT MANAGER: **WELCH**



AXIOM
CONSULTANTS
60 EAST COURT STREET, UNIT 3, IOWA CITY, IA 52240

ENGINEER: _____

REV	DATE	DESCRIPTION OF CHANGES

ISSUED FOR: **PLANNING & ZONING REVIEW**

NOT FOR CONSTRUCTION

DATE ISSUED: **OCTOBER 11, 2018**

CURRENT REV: **A**

PROJECT NAME: **EVENT CENTER LOT 26 - CEDARS EDGE**

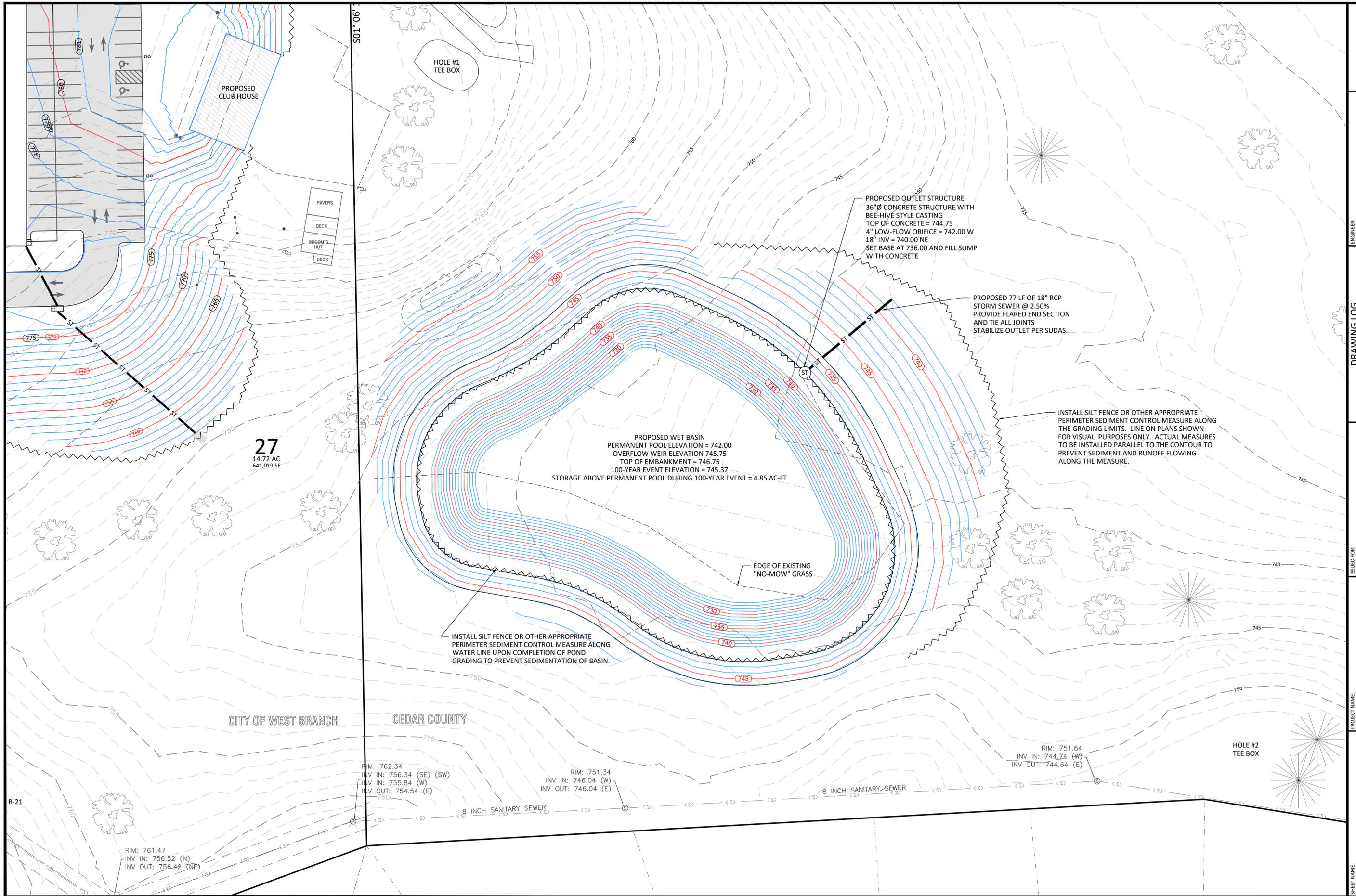
CLIENT NAME: **LITTLE LIGHTS ON THE LANE**

SHEET NAME: **LOT 26 GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER: **C3.01**

PROJECT NO.: **18-0117**

PROJECT MANAGER: **WEICH**



ENGINEER: AXIOM CONSULTANTS
 60 EAST COURT STREET, UNIT 3, IOWA CITY, IA 52240

DRAWING LOG

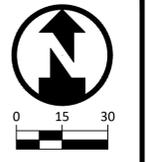
REV	DATE	DESCRIPTION OF CHANGES

ISSUED FOR: PLANNING & ZONING REVIEW
NOT FOR CONSTRUCTION
 CURRENT REV: A

PROJECT NAME: EVENT CENTER
 LOT 26 - CEDARS EDGE
 LITTLE LIGHTS ON THE LANE

DATE ISSUED: OCTOBER 11, 2018

SHEET NUMBER: C5.00
PROJECT NO.: 18-0117
PROJECT MANAGER: WELCH



PRELIMINARY PLAT

CEDARS EDGE

WEST BRANCH, IOWA

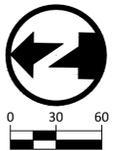
S01° 06' 13"E 1,093.06'

PROPOSED
STORMWATER
MANAGEMENT
POND

OWNER / APPLICANT:
SEXTON CONSTRUCTION
192 HILLTOP CIRCLE
WEST BRANCH, IA 52358

ATTORNEY:
DOUGLAS D. RUPPERT
122 S. LINN STREET
IOWA CITY, IA 52240

PREPARED BY:
AXIOM CONSULTANTS, LLC
MICHAEL J. WELCH, PE
60 E. COURT STREET
UNIT 3
IOWA CITY, IOWA 52240



LEGAL DESCRIPTION

BEING PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 6, TOWNSHIP 79 NORTH, RANGE 4 WEST OF THE 5TH P.M., CITY OF WEST BRANCH, CEDAR COUNTY, IOWA DESCRIBED AS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER (NW ¼) THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER N01°02'17"W, 1,322.10 FEET; THENCE N87°07'55"E, 956.71 FEET; THENCE S01°06'13"E, 1,093.06 FEET; THENCE S69°52'29"W, 348.32 FEET; THENCE S03°13'20"E, 79.95 FEET; THENCE S86°43'55"W, 193.71 FEET; THENCE S03°09'26"E, 40.96 FEET; THENCE S86°42'09"W, 439.64 FEET TO THE POINT OF BEGINNING.
DESCRIBED PARCEL CONTAINS 27.50 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

NOTES:

1. LOTS 1-16 ZONED R1.
2. LOTS 17-25 ZONED R2.
3. LOT 26 AND OUTLOT A ZONED A1.
4. SETBACKS FOR R-1 ARE 25' FOR FRONT, 25' FOR REAR, AND 8' FOR SIDE YARDS.
5. SETBACKS FOR R-2 ARE 25' FOR FRONT, 25' FOR REAR, AND 8' FOR SIDE YARDS.
6. LOTS 11, 16-20 WILL NOT BE ALLOWED TO ACCESS CEDAR-JOHNSON.
7. STORM WATER MANAGEMENT WILL BE PROVIDED VIA OFFSITE POND.

LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS OVERHEAD LINE	—	— CO —
ELECTRIC	—	— OH —
FIBER OPTIC	—	— FO —
GAS	—	— G —
SANITARY SEWER	—	— SS —
STORM SUBDRAIN	—	— ST —
WATER: DOMESTIC	—	— W —
WATER: WELL	—	— WELL —
COMMUNICATIONS HANDHOLE	⊠	⊠
COMMUNICATIONS PEDESTAL	⊙	⊙
COMMUNICATIONS MANHOLE	⊚	⊚
GUY WIRE ANCHOR	⋈	⋈
UTILITY POLE	⊕	⊕
UTILITY POLE WITH LIGHT	⊕	⊕
LIGHT POLE	⊕	⊕
ELECTRIC MANHOLE	⊠	⊠
ELECTRIC TRANSFORMER	⊠	⊠
FIBER OPTIC HANDHOLE	⊠	⊠
FIBER OPTIC MANHOLE	⊚	⊚
GAS MANHOLE	⊚	⊚
GAS VALVE	⊚	⊚
SANITARY SEWER MANHOLE	⊚	⊚
SANITARY SEWER CLEANOUT	⊚	⊚
STORM SEWER MANHOLE	⊚	⊚
STORM SEWER INTAKE	⊚	⊚
HYDRANT	⊚	⊚
WATER VALVE	⊚	⊚
CURB STOP	⊚	⊚
WATER MANHOLE	⊚	⊚
SITE	EXISTING	PROPOSED
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	— x —	— x —
FENCE: CHAIN LINK	— o —	— o —
FENCE: CONSTRUCTION	— - - -	— - - -
FENCE: VINYL	— · —	— · —
FENCE: WIRE	— / —	— / —
FENCE: WOOD	— x —	— x —
STREAM CENTERLINE	— o —	— o —
SHRUBBERY	⊙	⊙
TREE: DECIDUOUS	⊙	⊙
TREE: CONIFEROUS	⊙	⊙
MAIL BOX	⊙	⊙
SIGN	⊙	⊙
WATER METER	⊙	⊙
HOSE BIB	⊙	⊙
YARD HYDRANT	⊙	⊙
WELL	⊙	⊙



DATE	DESCRIPTION OF CHANGES

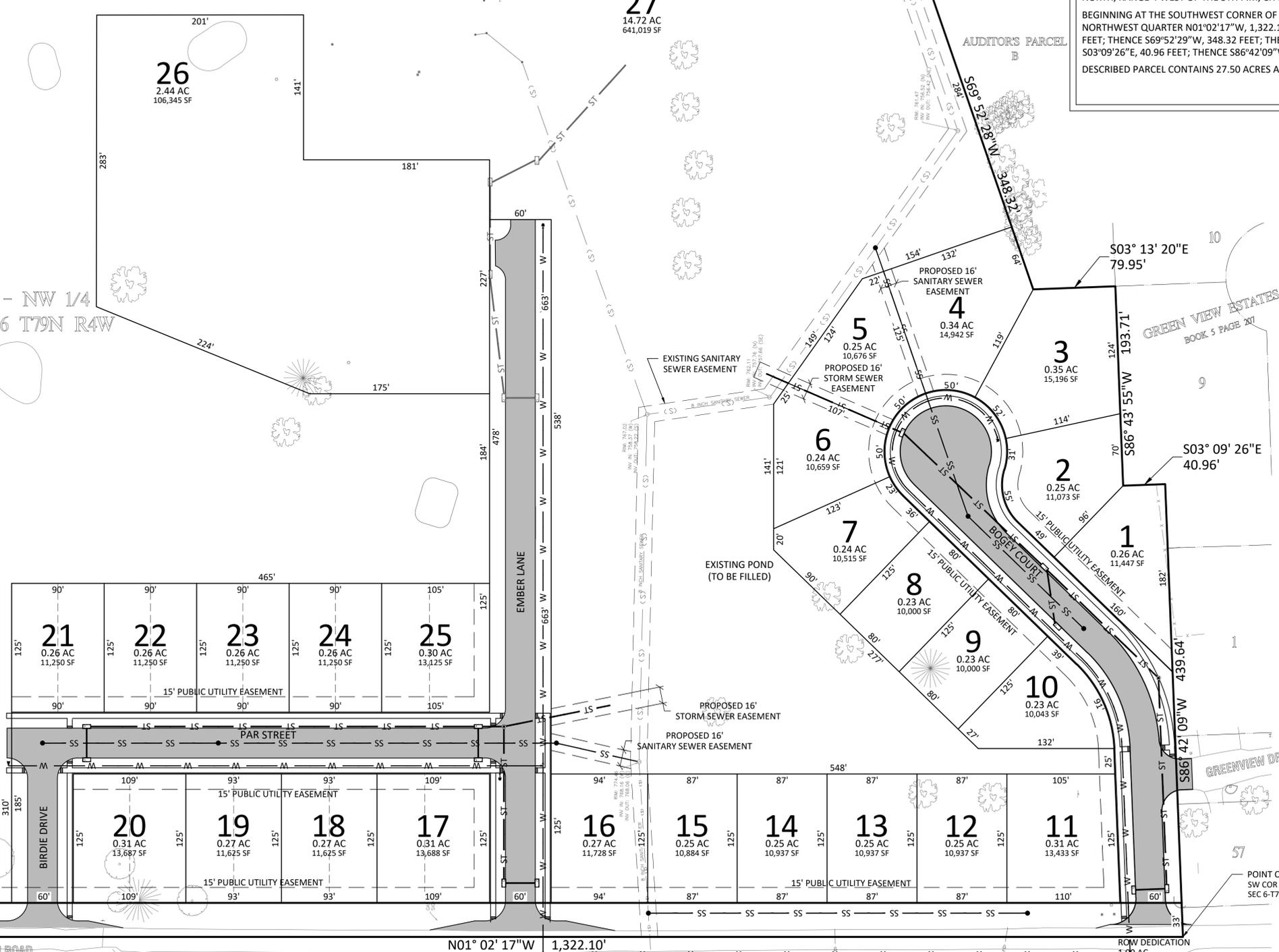
ISSUED FOR:	DATE ISSUED:	CURRENT REV:
CITY REVIEW	OCTOBER 11, 2018	C

PROJECT NAME:	CLIENT NAME:
CEDARS EDGE	SEXTON CONSTRUCTION

SHEET NAME:	PROJECT NO.:	PROJECT MANAGER:
PRELIMINARY PLAT	18-0013	DECKER

N87° 07' 55"E 956.71'

SW 1/4 - NW 1/4
SECTION 6 T79N R4W



CEDAR JOHNSON ROAD

N01° 02' 17"W 1,322.10'

ROW DEDICATION
1.00 AC
43,625 SF

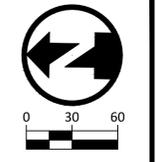
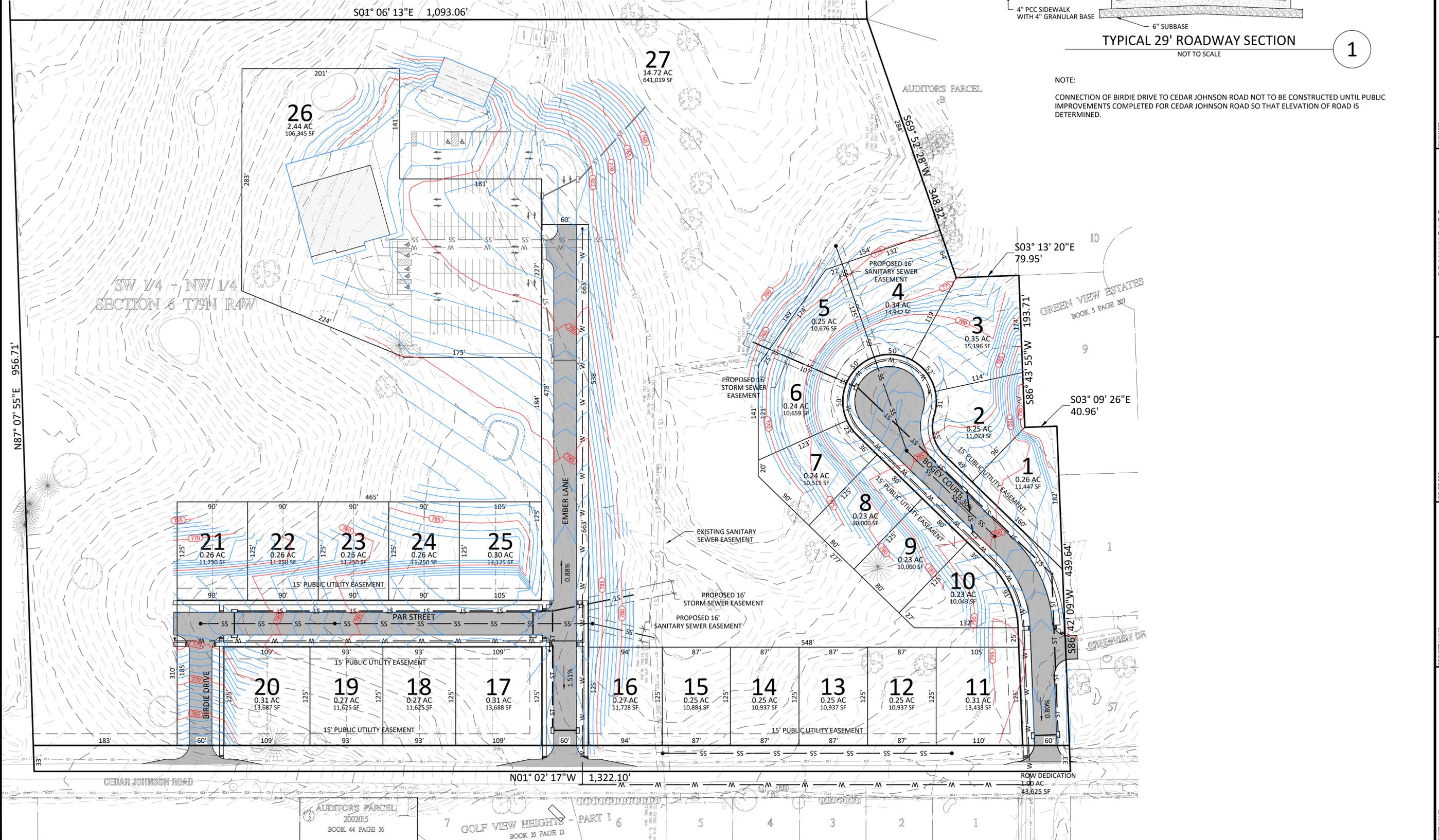
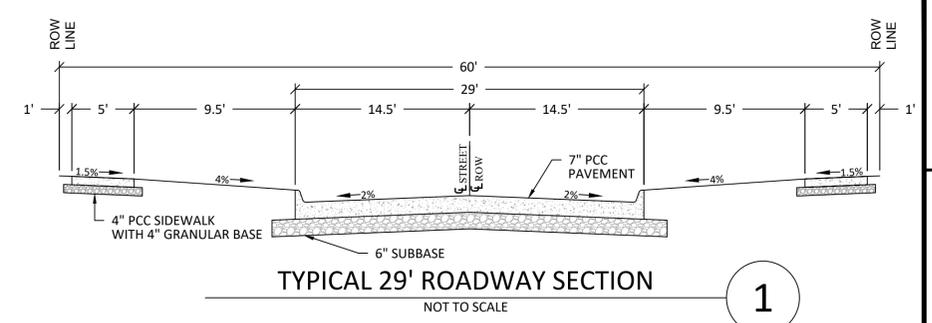
AUDITOR'S PARCEL
2002015
BOOK 44 PAGE 36

7 GOLF VIEW HEIGHTS - PART I 6

PRELIMINARY PLAT

CEDARS EDGE

WEST BRANCH, IOWA



ENGINEER: _____

REV	DATE	DESCRIPTION OF CHANGES

ISSUED FOR: CITY REVIEW

DATE ISSUED: OCTOBER 11, 2018

CURRENT REV: C

PROJECT NAME: CEDARS EDGE

CLIENT NAME: SEXTON CONSTRUCTION

SHEET NAME: GRADING PLAN

PROJECT NO.: 18-0013

PROJECT MANAGER: DECKER

SHEET NUMBER: 2 OF 2

WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND

PROJECT ADDRESS: 900 W. MAIN ST.
WEST BRANCH, IA 52358

AXIOM PROJECT #: 18-0093

APPLICABLE CODE/DESIGN CRITERIA

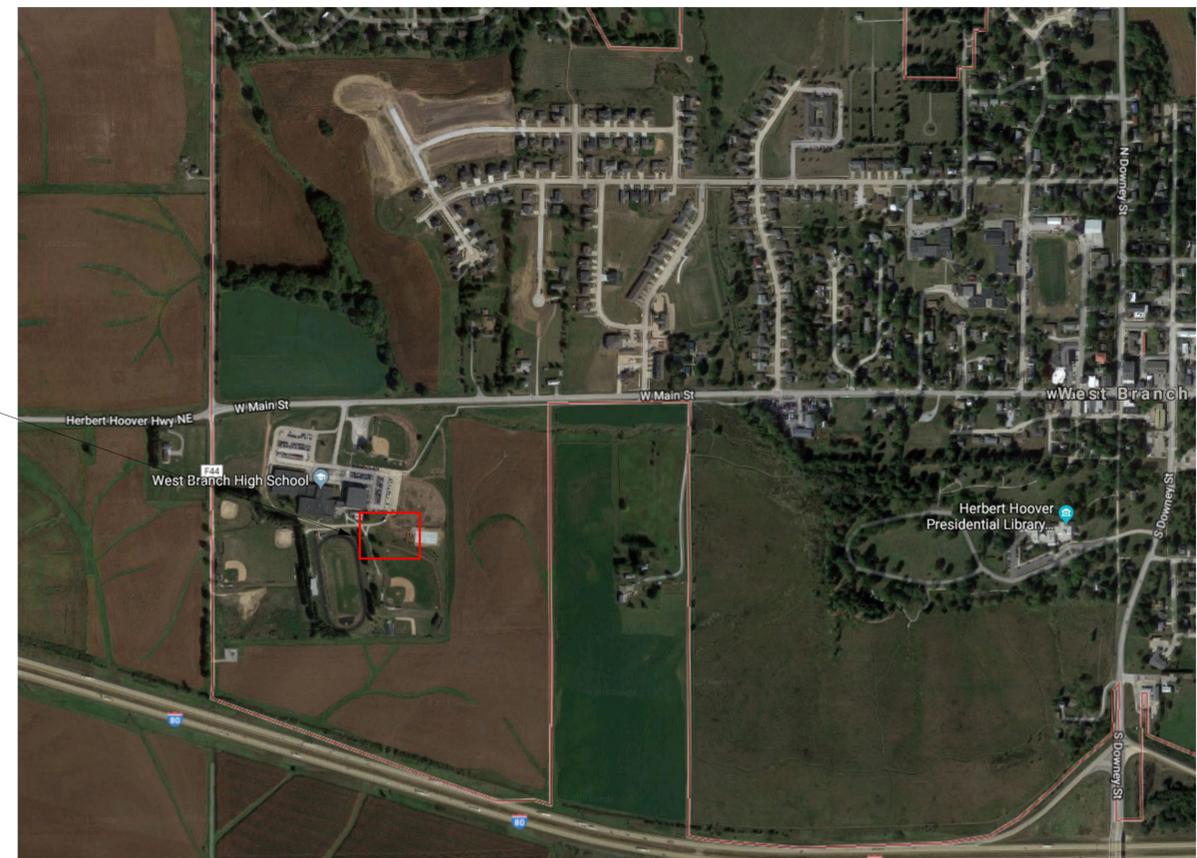
1. INTERNATIONAL BUILDING CODE (IBC) 2015
2. INTERNATIONAL MECHANICAL CODE (IMC) 2015
3. INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012
4. INTERNATIONAL FIRE CODE (IFC) 2015
5. UNIFORM PLUMBING CODE (UPC) 2015
6. NATIONAL ELECTRICAL CODE (NEC) 2014
7. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE7-10)
8. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI318-11)
9. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AMERICAN WOOD COUNCIL (NDS-12)
10. NATIONAL FIRE PROTECTION ASSOCIATION
 - A. NFPA 13
 - B. NFPA 54
 - C. NFPA 70 (NEC)
 - D. NFPA 90
11. ANY IOWA STATE CODES AND AMENDMENTS TO INTERNATIONAL AND UNIFORM CODES



BUILDING RENDERING

INDEX OF SHEETS	
SHEET	TITLE
000	COVER SHEET
C100	SITE PLAN
A100	ARCHITECTURAL PLANS
A200	ELEVATIONS
S000	GENERAL NOTES
S100	FOUNDATION PLAN
S101	FRAMING PLAN
S200	SECTIONS
M100	MECHANICAL PLAN
E100	ELECTRICAL PLAN
P100	PLUMBING PLAN
P101	PLUMBING PLAN
MP000	M & P GENERAL NOTES

PROJECT SITE



LOCATION MAP



DRAWING LOG	
REV	DESCRIPTION OF CHANGES
A	CLIENT REVIEW
B	CLIENT REVIEW

ISSUED FOR:	CLIENT REVIEW
DATE ISSUED:	09/26/2018
CURRENT REV:	B

PROJECT NAME:	WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND
CLIENT NAME:	WBCS

SHEET NAME:	COVER SHEET
PROJECT NO.:	18-0093
PROJECT MANAGER:	BOELK
SHEET NUMBER:	000

STANDARD LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	(CD)	CO
OVERHEAD LINE	(OH)	OH
ELECTRIC	(E)	E
FIBER OPTIC	(FO)	FO
GAS	(G)	G
SANITARY SEWER	(SS)	SS
STORM	(ST)	ST
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	W
COMMUNICATIONS HANDHOLE	(CH)	(CH)
COMMUNICATIONS PEDESTAL	(CP)	(CP)
COMMUNICATIONS MANHOLE	(CM)	(CM)
LIGHT POLE	(LP)	(LP)
ELECTRIC MANHOLE	(EM)	(EM)
ELECTRIC TRANSFORMER	(ET)	(ET)
FIBER OPTIC HANDHOLE	(FCH)	(FCH)
FIBER OPTIC MANHOLE	(FOM)	(FOM)
GAS MANHOLE	(GM)	(GM)
GAS VALVE	(GV)	(GV)
SANITARY SEWER MANHOLE	(SSM)	(SSM)
SANITARY SEWER CLEANOUT	(SSCO)	(SSCO)
STORM SEWER MANHOLE	(STM)	(STM)
STORM SEWER INTAKE	(SSI)	(SSI)
HYDRANT	(H)	(H)
WATER VALVE	(V)	(V)
CURB STOP	(CS)	(CS)
WATER MANHOLE	(WM)	(WM)

SITE	EXISTING	PROPOSED
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	-x-x-x-x-	-x-x-x-x-
FENCE: CHAIN LINK	-o-o-o-o-	-o-o-o-o-
FENCE: CONSTRUCTION	-d-d-d-d-	-d-d-d-d-
FENCE: VINYL	-v-v-v-v-	-v-v-v-v-
FENCE: WIRE	-w-w-w-w-	-w-w-w-w-
FENCE: WOOD	-o-o-o-o-	-o-o-o-o-
TREE LINE	(Tree symbols)	(Tree symbols)
BOLLARD	(Bollard symbol)	(Bollard symbol)
LANDSCAPE LIGHT	(Light symbol)	(Light symbol)
SHRUBBERY	(Shrub symbol)	(Shrub symbol)
TREE: DECIDUOUS	(Deciduous tree symbol)	(Deciduous tree symbol)
TREE: CONIFEROUS	(Coniferous tree symbol)	(Coniferous tree symbol)
POST	(Post symbol)	(Post symbol)
SIGN	(Sign symbol)	(Sign symbol)
PARKING METER	(Meter symbol)	(Meter symbol)
FIRE DEPARTMENT CONNECTION	(FDC symbol)	(FDC symbol)
WATER METER	(Water meter symbol)	(Water meter symbol)
HOSE BIB	(Hose bib symbol)	(Hose bib symbol)
YARD HYDRANT	(Hydrant symbol)	(Hydrant symbol)
DRINKING FOUNTAIN	(Fountain symbol)	(Fountain symbol)
MONITORING WELL	(Well symbol)	(Well symbol)
WELL	(Well symbol)	(Well symbol)

LEGEND:	DESCRIPTION
(Hatched box)	PROPOSED BUILDING
(Dotted box)	EXISTING BUILDING
(Solid grey box)	PCC SIDEWALK (4" THICK)
(Hatched box)	4" PCC SIDEWALK BENEATH BUILDING OVERHANG
(Arrow)	SWALE FLOW DIRECTION

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING WERE OBTAINED ONLY FROM PLANS OF RECORD & TOPOGRAPHIC SURVEY. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT BE SHOWN ON THIS DRAWING.
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.

GRADING AND EARTHWORK NOTES

- STRIP EXISTING VEGETATION WITHIN THE GRADING LIMITS AND AREAS TO RECEIVE FILL A MINIMUM DEPTH OF 4 INCHES. STOCKPILE ON-SITE FOR REUSE IF SUITABLE.
- PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED TO MEET REQUIREMENTS OF SUDAS SECTION 2010.203. PROOFROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.
- FINISH CONTOURS SHOWN ARE TO TOP OF FINISHED GRADE OR TO TOP OF TOPSOIL.

PCC PAVEMENT NOTES

- MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
- MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5%. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2.
- PCC SIDEWALKS SHALL BE 4 INCHES THICK, EXCEPT AT DRIVEWAYS. THICKNESS OF PCC WALKS AT DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT 6" DRIVEWAY. TRANSVERSE CONSTRUCTION JOINTS SPACING SHALL BE AT 5 FEET MAXIMUM CENTERS FOR 5 FEET WIDE WALKS. PLACE EXPANSION JOINTS WHERE WALK ABUTS DRIVEWAY SECTIONS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% DRAINING TOWARDS BACK OF CURB, UNLESS OTHERWISE NOTED.
- ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. TWO INCH PREFORMED FOAM EXPANSION JOINT SHALL BE PLACED ON OUTSIDE OF CURVES. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.

UTILITY NOTES

ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.

- WATER SERVICE LINES SHALL BE 1" TYPE K COPPER OR 200 PSI SDR-7 PE PIPE. THE ENDS OF WATER SERVICE LINES SHALL BE MARKED WITH 2X4 POSTS PAINTED BLUE.
- VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC. TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE WITH THE CITY OF WEST BRANCH.
- ON SITE INSPECTION OF WATER MAIN INSTALLATION WILL BE PROVIDED BY THE MUNICIPAL UTILITY.
- WATER MAIN MATERIALS, INSTALLATION AND TESTING MUST COMPLY WITH THE STATEWIDE URBAN DESIGN STANDARDS AND SPECIFICATIONS (SUDAS). THIS APPLIES TO BOTH PUBLIC AND PRIVATE WATER MAINS AND LARGE SERVICE LINES (3" OR LARGER) ON THE DISTRIBUTION SIDE OF THE METER. CONTRACTOR SHALL FURNISH AND INSTALL HYDRANTS AND VALVES IN COMPLIANCE WITH SUDAS AND CITY OF WEST BRANCH WATER DEPARTMENT.
- THE CITY OF WEST BRANCH SHALL OPERATE ALL EXISTING SYSTEM VALVES AND THE CONTRACTOR AND CITY SHALL COORDINATE ANY SHUT DOWNS OF THE EXISTING SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAPS, FILLING AND FLUSHING NEW MAINS, AND ALL REQUIRED SAMPLING. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH LOCAL, STATE & FEDERAL CODES.

SANITARY SEWER

- SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
- SANITARY SEWER SERVICE PIPE AND FITTINGS SHALL BE SDR 23.5 POLYVINYL CHLORIDE (PVC) PER SECTION 4010 OF SUDAS. SANITARY SERVICES ARE 4". MAINTAIN 36" HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SERVICES. THE ENDS OF THE SANITARY SEWER SERVICE LINES SHALL BE MARKED WITH 2X4 POSTS PAINTED GREEN.
- SANITARY SEWER MAINS SHALL BE PVC SDR26. CLASS F-2 BEDDING SHALL BE USED FOR SANITARY SEWER CONSTRUCTION PER SUDAS 3010.103 (IOWA DOT STANDARD ROAD PLAN SW-103). BACKFILL SANITARY SEWER MAINS AND SERVICES WITH SUITABLE NATIVE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.

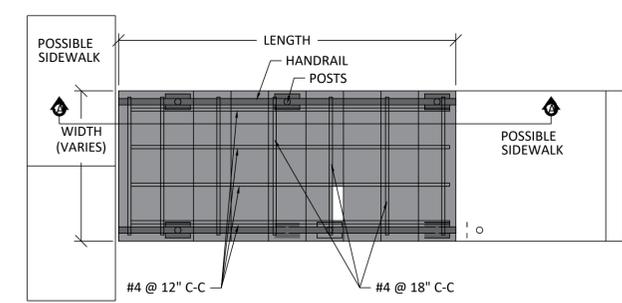
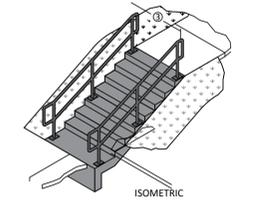
CONSTRUCTION ACCESS NOTES

- COORDINATE CONSTRUCTION ACCESS WITH SCHOOL DISTRICT

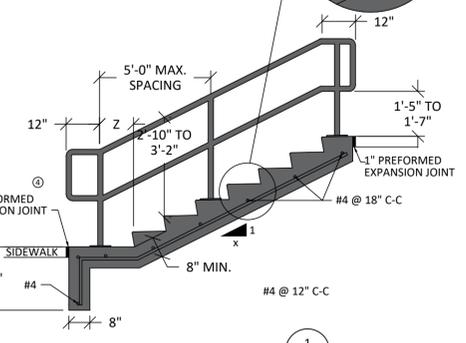
PROVIDE A MINIMUM OF 2 INCHES OF COVER FOR ALL REINFORCING.

ENSURE ALL RISERS ARE AN EQUAL HEIGHT AND ALL TREADS ARE AN EQUAL DEPTH WITHIN A FLIGHT OF STAIRS.

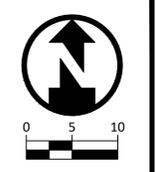
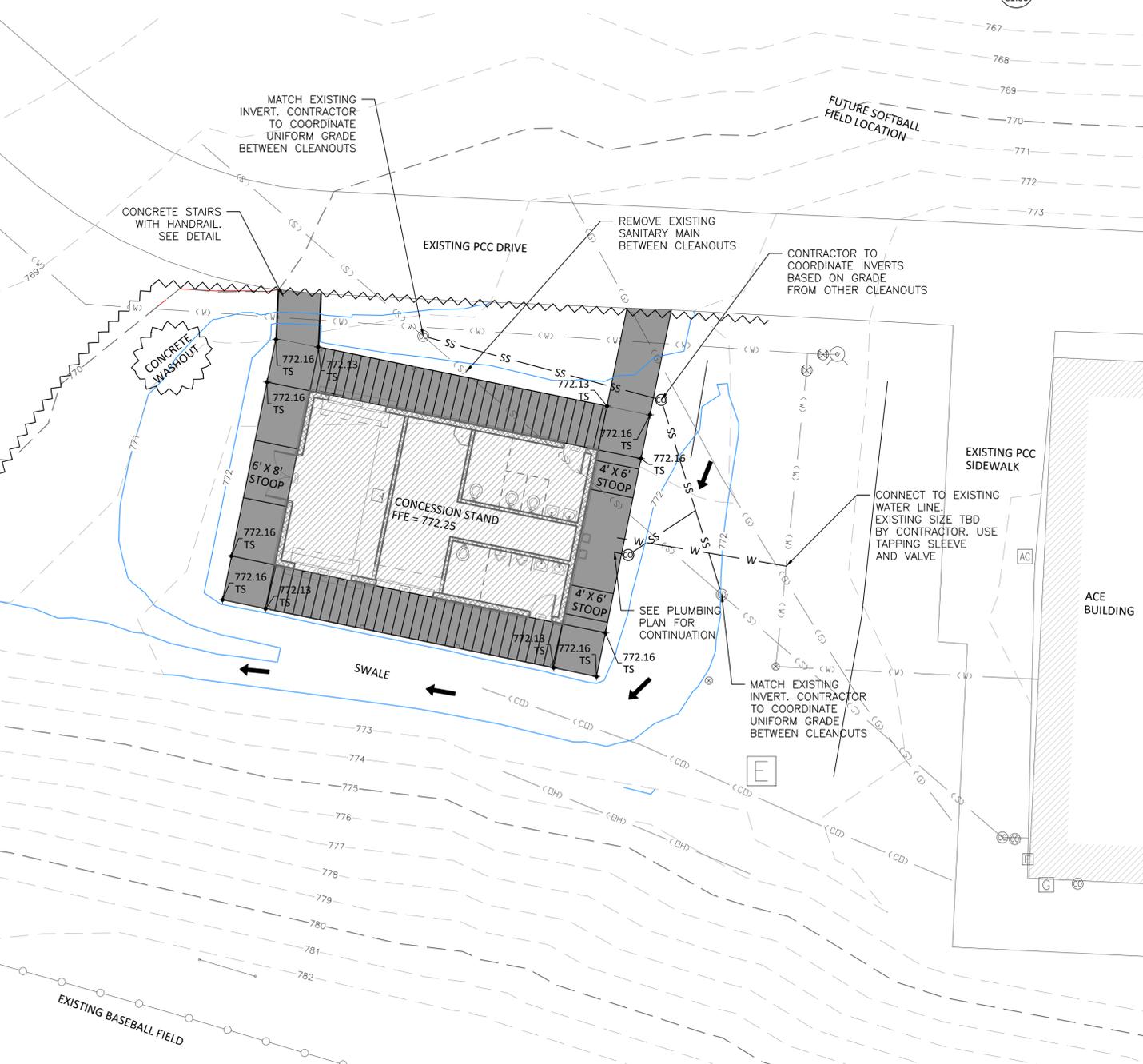
- MINIMUM RISER HEIGHT IS 4 INCHES. MAXIMUM RISER HEIGHT IS 7 INCHES.
- MINIMUM TREAD DEPTH IS 11 INCHES.
- MATCH EXISTING SIDEWALK WIDTH.
- CONSTRUCT CROSS SLOPE OF LANDING TO MATCH ADJACENT SIDEWALK.
- SLOPE TREAD 1% MINIMUM TO 2% MAXIMUM IN ANY DIRECTION.



Rise ①	Tread ②
x	y
2	6"
3	5"
4	4"



TYPE A CONCRETE STAIRS WITH HANDRAIL



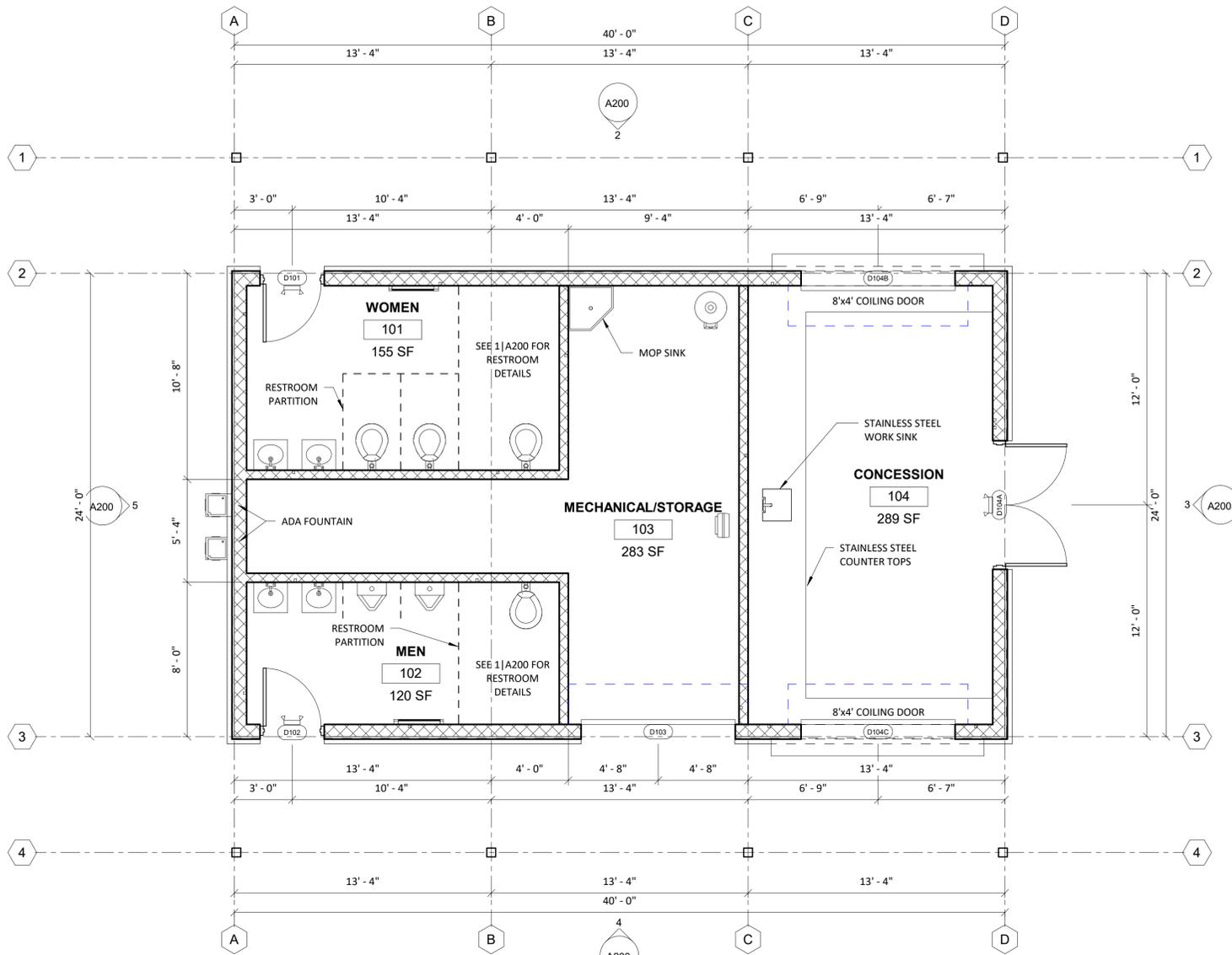
AXIOM CONSULTANTS
 WWW.AXIOM-CON.COM | (319) 519-0220

REV	DATE	DESCRIPTION OF CHANGES

ISSUED FOR: **CLIENT REVIEW**
 DATE ISSUED: **JANUARY 1, 2012**

PROJECT NAME: **WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND**
 CLIENT NAME: **WBSC**

SHEET NUMBER: **C100**
 PROJECT NO.: **18-0093**
 PROJECT MANAGER: **BOELK**



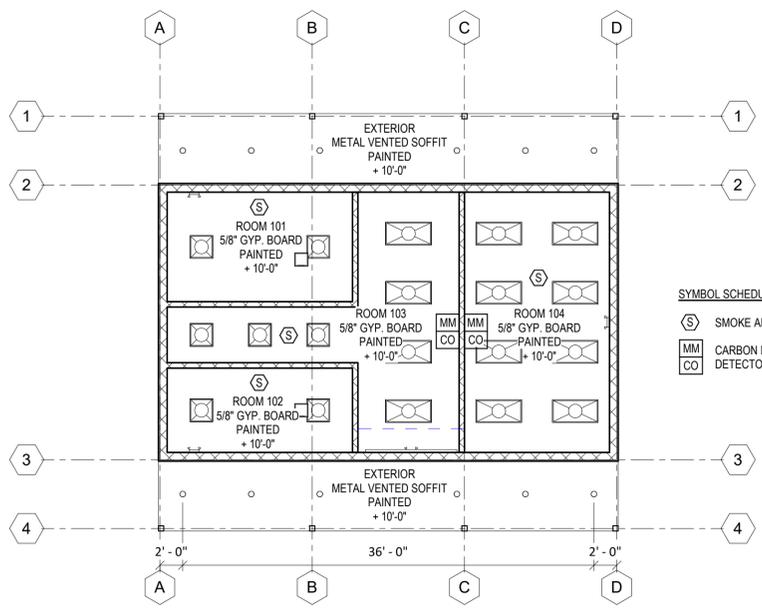
FLOOR PLAN 1
1/4" = 1'-0" A100

DOOR #	DOOR			MATERIAL	GLAZING	FRAME MATERIAL	FIRE RATING	HDWR GROUP
	WIDTH	HEIGHT	THICKNESS					
D101	3'-4"	6'-8"	1 3/4"	HM	-	HM	-	HD-1
D102	3'-4"	6'-8"	1 3/4"	HM	-	HM	-	HD-1
D103	8'-0"	8'-0"	1 3/4"	HM	-	HM	-	-
D104A	6'-8"	6'-8"	1 3/4"	HM	-	HM	-	(2) HD-1
D104B	8'-0"	4'-0"	1 3/4"	HM	-	HM	-	-
D104C	8'-0"	4'-0"	1 3/4"	HM	-	HM	-	-

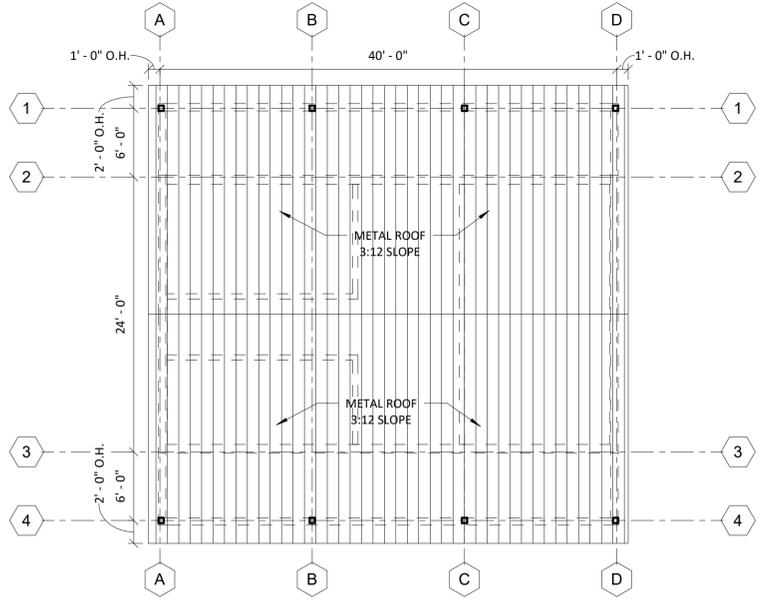
- HD-1 (12) Hinges
 - (4) Exit Device (Lockable)
 - (4) Closer
 - (4) Threshold
 - (4) Weatherstripping
 - (8) Door sweep
 - (4) Armor plate
 - (4) Cores
- CB191 4-1/2x4-1/2 NRP US32D
 - UH40049
 - 4040 XP REG/PA TBSRT AL
 - 425 E 36 AL
 - 160 V 1 X 48" + 2 X 84" SMS-TEKS 6 X 3/4"
 - 200 NA 36 SMS-TEKS 6 X 3/4" US28
 - 8400 B-CS 34" X 34 1/2"

ROOM #	WALL SUBSTRATE				WALL FINISH				FLOOR	BASE
	N	E	S	W	N	E	S	W		
101	N/A	N/A	N/A	N/A	PAINT	PAINT	PAINT	PAINT	SEALED PCC	VINYL
102	N/A	N/A	N/A	N/A	PAINT	PAINT	PAINT	PAINT	SEALED PCC	VINYL
103	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	SEALED PCC	-
104	N/A	N/A	N/A	N/A	PAINT	PAINT	PAINT	PAINT	SEALED PCC	VINYL

PAINT: CLASS A



REFLECTED CEILING PLAN 2
1/8" = 1'-0" A100



ROOF PLAN 3
1/8" = 1'-0" A100



DRAWING LOG

REV	DESCRIPTION OF CHANGES	DATE
A	CLIENT REVIEW	09/13/2018
B	CLIENT REVIEW	09/26/2018

ISSUED FOR: **CLIENT REVIEW**

NOT FOR CONSTRUCTION

DATE ISSUED: 09/26/2018

PROJECT NAME: **WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND**

CLIENT NAME: **WBSC**

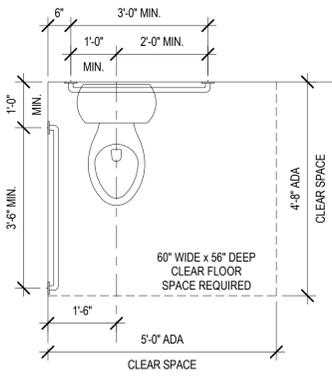
ARCHITECTURAL PLANS

SHEET NUMBER: **A100**

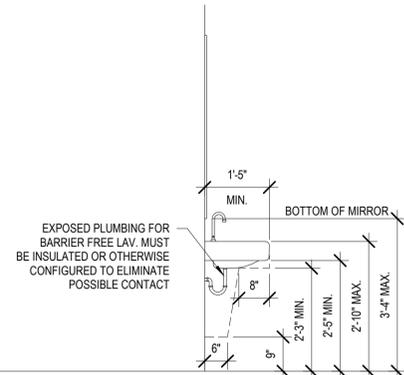
PROJECT NO.: **18-0093**

PROJECT MANAGER: **BOELK**

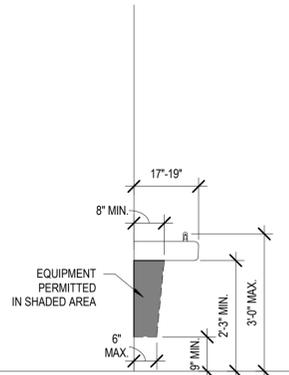
CURRENT REV.: **B**



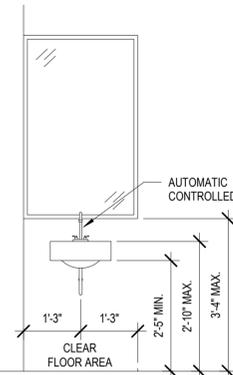
TYPICAL ACCESSIBLE TOILET CODE REQUIRED CLEARANCES



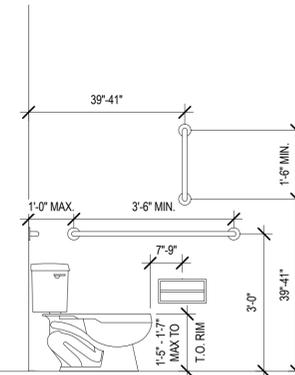
TYPICAL ACCESSIBLE CLEARANCES @ LAVATORY



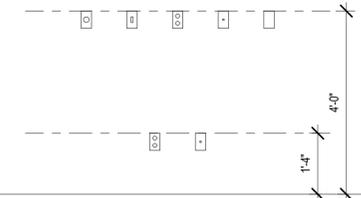
TYPICAL ACCESSIBLE DRINKING FOUNTAIN CLEARANCES



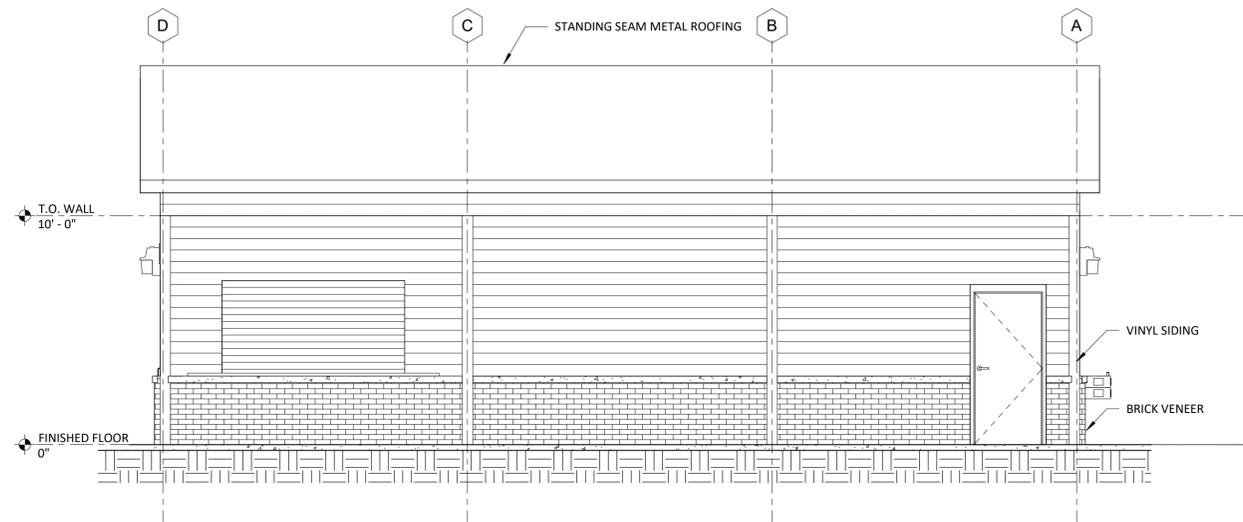
TYPICAL ACCESSIBLE MOUNTING HEIGHT @ LAVATORY & MIRROR



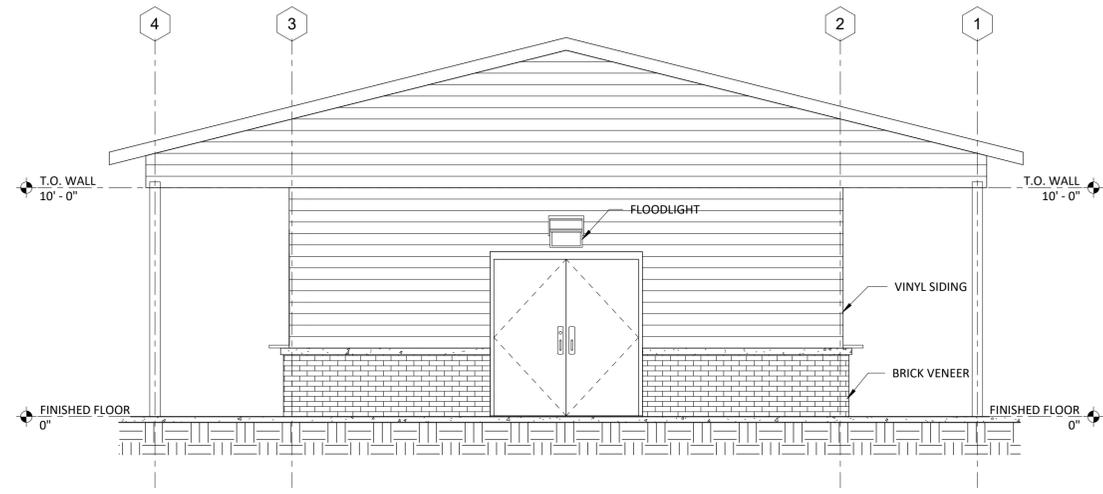
TYPICAL ACCESSIBLE MOUNTING HEIGHTS @ WATER CLOSETS



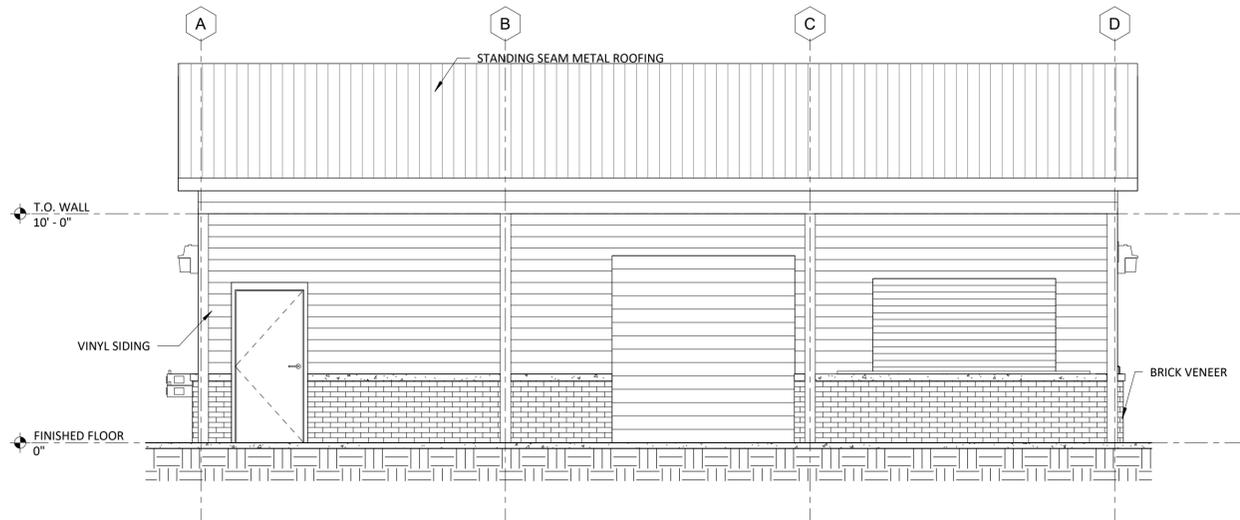
RESTROOM ELEVATIONS 1
1/2" = 1'-0" A200



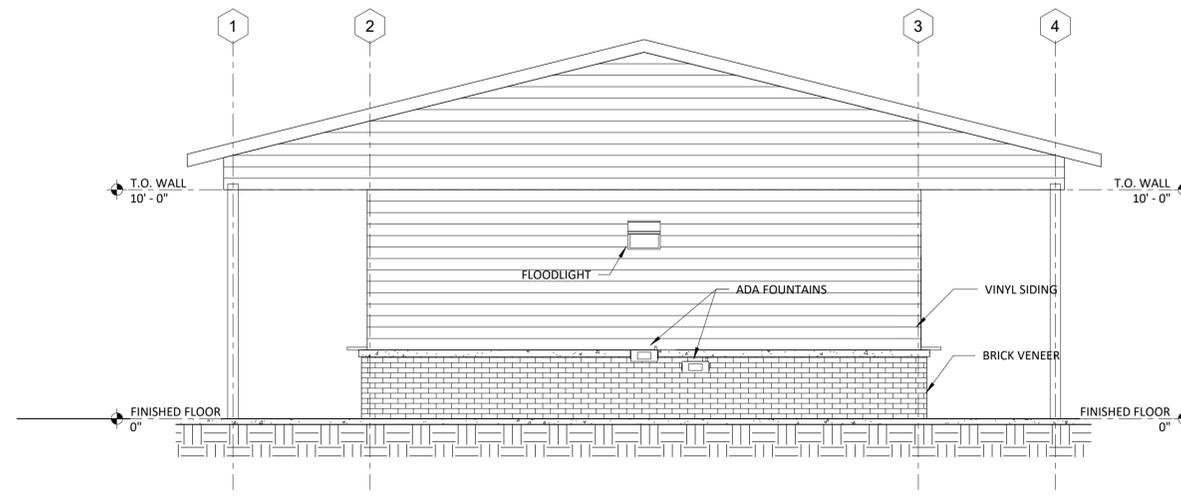
NORTH ELEVATION 2
1/4" = 1'-0" A200



EAST ELEVATION 3
1/4" = 1'-0" A200



SOUTH ELEVATION 4
1/4" = 1'-0" A200



WEST ELEVATION 5
1/4" = 1'-0" A200

ENGINEER: _____

REV	DATE	DESCRIPTION OF CHANGES
A	09/13/2018	CLIENT REVIEW
B	09/26/2018	CLIENT REVIEW

ISSUED FOR: CLIENT REVIEW

NOT FOR CONSTRUCTION

DATE ISSUED: 09/26/2018

CURRENT REV: B

PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND

CLIENT NAME: WBCS

SHEET NAME: ELEVATIONS

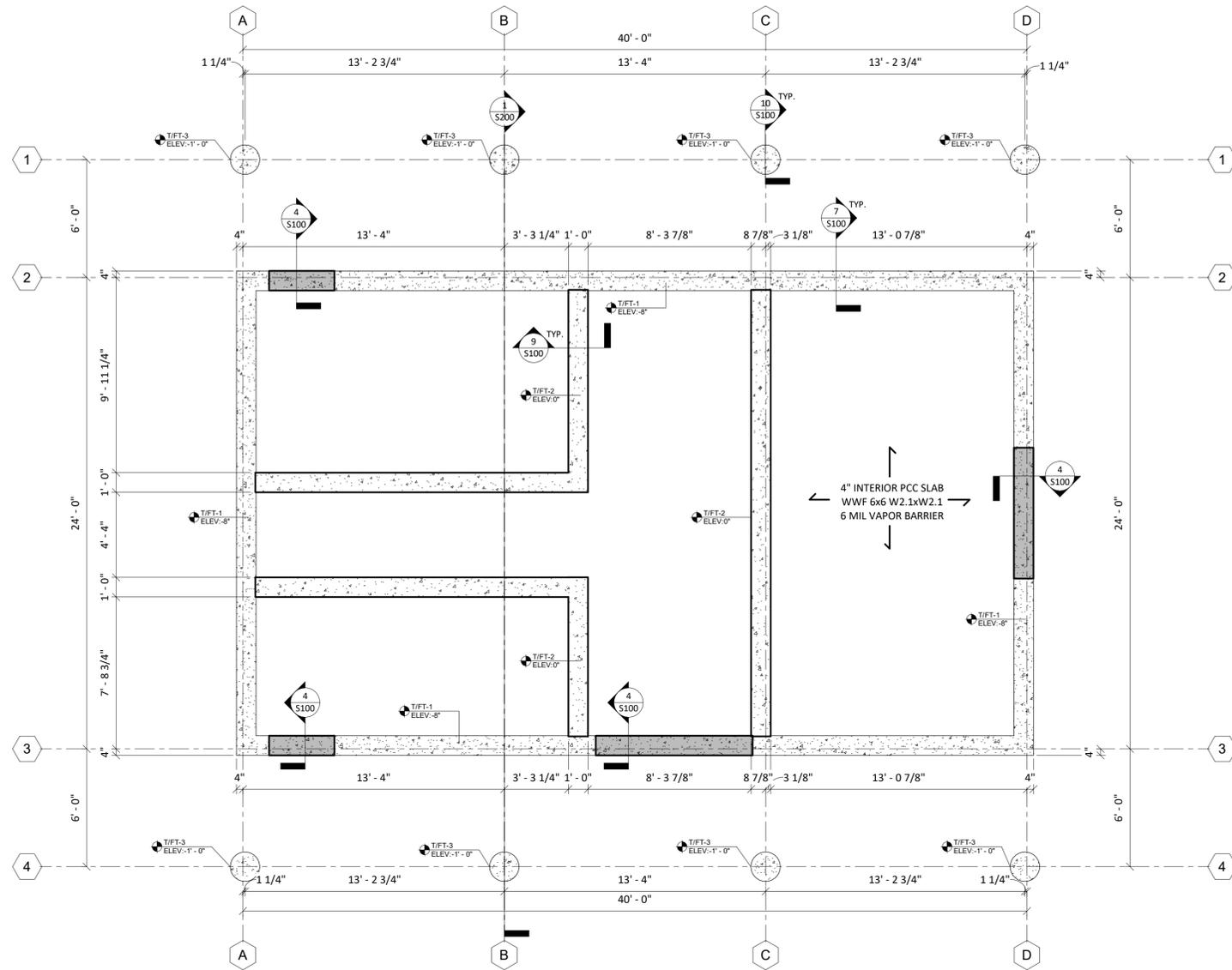
SHEET NUMBER: A200

PROJECT NO.: 18-0093

PROJECT MANAGER: BOELK

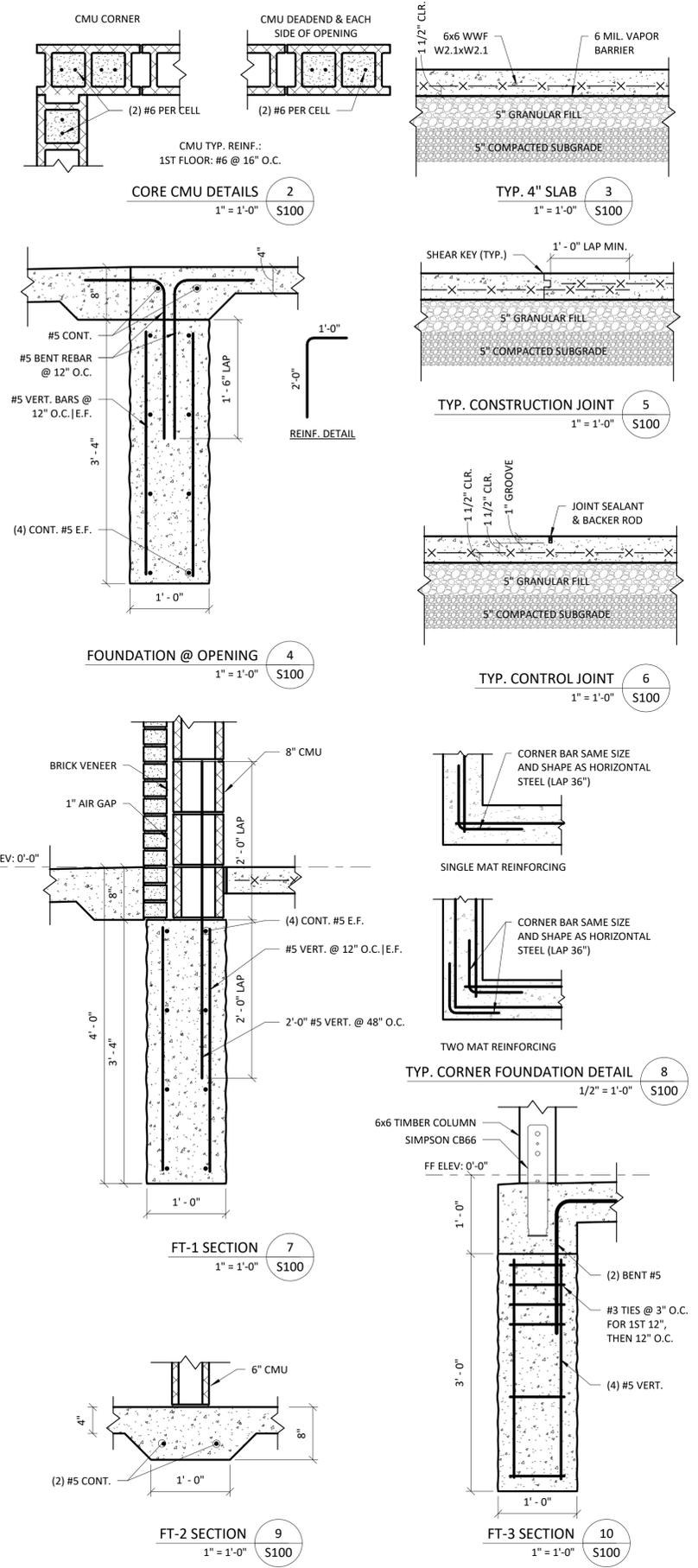
GENERAL NOTES:	GENERAL FOUNDATION:	WOOD FRAMING NOTES:	DESIGN LOAD CRITERIA:
<p>1. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, EQUIPMENT, LABOR, INSTALLATION, RESTORATION, UTILITY RELOCATION CHARGES, JOB SITE DELIVERY COSTS TO COMPLETE THE DESCRIBED OR ILLUSTRATED WORK, UNDER THIS CONTRACT.</p> <p>2. THE ENGINEER WILL NOT BE RESPONSIBLE NOR ASSUME ANY LIABILITY FOR NEGLIGENT ACTS OR ERRORS OF OMISSIONS OF ANY CONTRACTOR, ANY SUBCONTRACTOR, OR ANY OF THE CONTRACTOR'S SUBCONTRACTOR'S AGENTS OR EMPLOYEES OR ANY OTHER PERSONS (EXCEPT ENGINEER'S OWN EMPLOYEES) AT THE PROJECT SITE OR OTHERWISE PERFORMING ANY OF THE WORK OF THE PROJECT. ANY CONTRACTOR OR SUBCONTRACTOR, AS WELL AS THE ENGINEER, WILL BE RESPONSIBLE FOR HIS OWN SAFETY PROGRAM. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ENGINEER, NOR THE PRESENCE OF THE ENGINEER OR HIS OR HER EMPLOYEES AND SUBCONSULTANTS AT THE CONSTRUCTION SITE SHALL RELIEVE AN CONTRACTOR OF HIS OR HER OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING OR COORDINATING ALL PORTIONS OF THE WORK OF CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THE ENGINEER AND HIS OR HER PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR OTHER ENTITY OR THEIR EMPLOYEES IN CONNECTION WITH ANY HEALTH OR SAFETY PRECAUTIONS.</p> <p>3. SCALE FOR DRAWINGS IS FOR GENERAL INFORMATION ONLY. LOCATIONS AND DIMENSIONS SHALL BE TAKEN AS SHOWN AND THE DRAWINGS SHALL NOT BE SCALED.</p> <p>4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY WITH THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION OVER THE WORK AND SHALL COORDINATE HIS WORK WITH THE WORK PERFORMED BY OTHERS FOR THE PROPOSED INSTALLATION.</p> <p>5. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL PUBLIC AND PRIVATE UTILITIES AS WELL AS CITY AND STATE AGENCIES.</p> <p>6. PROJECT DATUM: TOP OF SLAB OF FINISHED FIRST FLOOR BUILDING, ELEVATION = 0'-0".</p> <p>7. CONTRACTOR SHALL PROVIDE APPROPRIATE ENGINEERED DE-WATERING MEASURES, IF NECESSARY, TO ENSURE GROUNDWATER TABLE REMAINS AT A DEPTH BELOW THE BASE OF THE EXCAVATION AT ALL TIMES DURING EXCAVATION, REPAIR WORK AND BACKFILLING OPERATIONS.</p> <p>8. CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PROTECT UTILITIES, PEDESTRIANS, WORKERS AND VEHICULAR TRAFFIC. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, BARRICADES, ETC. AS REQUIRED TO PROTECT ADJACENT PROPERTY AND THE PUBLIC DURING ALL PHASES OF CONSTRUCTION.</p> <p>9. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES, SIGNAGE, WARNING LIGHTS AND OTHER DEVICES AND MAINTAIN THESE OPERATIONAL 24 HOURS A DAY AT ALL OPEN TRENCH LOCATIONS AND AT LOCATIONS WHICH D NOT HAVE A FINISHED SURFACE.</p> <p>10. CONTRACTOR SHALL BREAK OUT SIDEWALK, DRIVEWAY, CURB AND GUTTER, PAVEMENT AND RESTORE TO PERMANENT CONDITION. CONTRACTOR TO CONFORM CONCRETE TO COLOR, FINISH, AND TEXTURE OF EXISTING SIDEWALKS, CURB AND GUTTER.</p> <p>11. STREETS AFFECTED BY EXCAVATION SHALL BE RESTORED PER LOCAL GOVERNING AGENCY'S SPECIFICATIONS FOR "REGULATIONS FOR OPENINGS, CONSTRUCTION AND REPAIR IN THE ROADWAY." REPLACEMENT TO BE DETERMINED BY CONTRACTOR, PRIVATE PROPERTY OWNER AND LOCAL GOVERNING AGENCY BASED ON ACTUAL EXCAVATION. AREA SURROUNDING THE SHAFT SHALL NOT BE CLEANED INTO THE TRENCH.</p> <p>12. THE CONTRACTOR IS TO RESTORE ALL DAMAGED STRUCTURES AND UTILITIES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.</p>	<p>1. THE SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS SHALL BE INSPECTED AND APPROVED BY THE TESTING LABORATORY IMMEDIATELY PRIOR TO PLACING FOUNDATION CONCRETE. NET DESIGN SOIL PRESSURE FOR SHALLOW FOOTINGS = 1500 PSF.</p> <p>2. ALL SLAB SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557 AT OPTIMUM MOISTURE CONTENT. ALL BACKFILL BELOW, AROUND AND ABOVE THE FOUNDATION ELEMENTS, FOOTINGS, WALLS AND PITS SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.</p> <p>3. ALL ORGANIC AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH ACCEPTABLE GRANULAR FILL OR CRUSHED CONCRETE FILL MATERIAL MAXIMUM 9" LIFTS IN LOOSE THICKNESS COMPACTED TO MINIMUM OF 95% FOR SLABS AND FOOTINGS OF MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM STANDARD D-1557, MODIFIED PROCTOR DENSITY.</p> <p>4. FOOTINGS OR SLABS SHALL NOT BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER A FOOTING EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE TESTING LABORATORY AFTER REMOVAL OF WATER OR FROST.</p> <p>5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING STRUCTURE.</p> <p>6. ALL SLABS-ON-GRADE SHALL BE PLACED OVER A MINIMUM OF 25" OF IOWA DOT 2A MODIFIED COMPACTED TO 95% MODIFIED PROCTOR IN MAXIMUM LIFTS OF 9".</p> <p>CONCRETE:</p> <p>1. REINFORCED CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION.</p> <p>2. ALL WORK DEALING WITH CONCRETE AND STEEL REINFORCING BARS SHALL FOLLOW ACI AND ASTM STANDARDS, UNLESS OTHERWISE NOTED. CONCRETE WITH COMPRESSIVE STRENGTH OF 4000 PSI AT THE AGE OF 20 DAYS SHALL BE USED.</p> <p>3. THE FOUNDATION POUR IS TO BE A CONTINUOUS POUR, UNLESS OTHERWISE NOTED.</p> <p>4. CLEAR SPACE BETWEEN ALL REBAR AND CONCRETE SURFACES SHALL BE 2" MINIMUM, UNLESS OTHERWISE NOTED.</p> <p>5. BAR SUPPORTS SHALL BE MADE OF DIELECTRIC MATERIAL, OR WIRE BAR SUPPORTS SHALL BE COASTED WITH DIELECTRIC MATERIAL THAT IS COMPATIBLE WITH CONCRETE (SUCH AS EPOXY OR VINYL).</p> <p>6. NO LAP SPLICES, OTHER THAN THOSE SHOWN ON THE DRAWINGS, ARE ALLOWED UNLESS LOCATION AND STYLE IS APPROVED BY THE ENGINEER.</p> <p>7. DESIGN LIVE LOAD SHALL NOT BE ALLOWED ON THE FOUNDATION FOR 7 DAYS AFTER POURING UNLESS APPROVED BY THE ENGINEER. NO CONSTRUCTION EQUIPMENT SHALL BE ALLOWED ON THE FOUNDATION UNTIL IT HAS REACHED 100% OF THE DESIGN STRENGTH. FALSEWORK IS TO REMAIN IN PLACE UNTIL THE CONCRETE PLACED HAS REACHED 75% OF DESIGN STRENGTH.</p> <p>8. CONCRETE CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED. ALL OTHER ADMIXTURES SHALL BE SUBMITTED TO ENGINEER FOR REVIEW.</p> <p>9. DRAWINGS IN THIS DOCUMENT DO NOT REFLECT THE EXACT LENGTH OR QUANTITIES OF STEEL BARS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED AMOUNTS AND SUBMIT SHOP DETAIL REINFORCING DRAWINGS FOR APPROVAL.</p> <p>10. LOWER EDGES OF ALL OPENINGS ARE TO BE FINISHED WITH A 1"x1" CHAMFER.</p> <p>11. ALL REBAR SHALL BE INSPECTED BY A THIRD PARTY PRIOR TO PLACEMENT OF CONCRETE FOR CONFORMANCE WITH DRAWINGS AND ACI & ASTM STANDARDS.</p> <p>12. ALL CONCRETE PLACEMENTS SHALL BE TESTED FOR AIR CONTENT AND SLUMP IN ACCORDANCE WITH ASTM C172, ASTM C31, AND ACI 318. FOR EACH CONCRETE PLACEMENT, CONTRACTOR IS TO TAKE A MINIMUM OF THREE (3) CYLINDERS FOR EACH OF THE FOLLOWING BREAKS: 3 DAYS, 7 DAYS, 28 DAYS, AND TWO SPARE CYLINDERS FROM THE FIRST 10 YARDS OF CONCRETE DELIVERED TO THE JOB SITE AND FOR EVERY 50 YARDS THEREAFTER, OR THE LAST TRUCK.</p>	<p>1. ALL WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE INTERNATIONAL BUILDING CODE AND THE NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST ADDITION.</p> <p>2. ALL SOLID FRAMING SHALL BE DOUGLAS FIR-LARCH (DFL) #2 UNLESS OTHERWISE NOTED ON THE PLANS.</p> <p>3. ENGINEERED LUMBER MEMBERS SHALL BE MANUFACTURED UNDER A PROCESS BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMPS OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPROPRIATE NER REPORT AND GLUED WITH A WATERPROOFING ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.</p> <p>LVL FB=2600 PSI E=1900 KSI FV=285 PSI PSL FB=2900 PSI E=2000 KSI FV=290 PSI LSL FB=700 PSI E=600 KSI FV=395 PSI</p> <p>4. MOISTURE CONTENT OF WOOD AT TIME OF PLACING SHALL NOT EXCEED 19%.</p> <p>5. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WIT AN APPROVED PRESERVATIVE.</p> <p>6. ALL WOOD EXPOSED TO WEATHER WITHOUT THE ADEQUATE PROTECTION OF A ROOF OR EAVE SHALL BE PRESSURE TREATED OR BE AN APPROVED WOOD OF NATURAL RESISTANCE TO DECAY.</p> <p>7. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE.</p> <p>8. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON.</p> <p>9. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.</p> <p>10. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM 307. PROVIDE 1/4"x2"x2" PLATE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. BOLTS IN WOOD SHALL NOT BE LESS THAN 7 BOLT DIAMETERS FROM THE END AND 4 BOLT DIAMETERS FROM THE EDGE OF THE MEMBER.</p> <p>11. ALL STUDS SHALL HAVE THEIR LOWER PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) AT 4'-0" O.C. UNLESS OTHERWISE NOTED.</p> <p>12. INDIVIDUAL MEMBERS OF BUILT UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16D NAILS AT 9" O.C. STAGGERED.</p> <p>13. FLOOR AND ROOF FRAMING: PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORT WITH (2) 16D NAILS.</p> <p>14. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR MOST RECENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE FASTENERS AS SPECIFIED MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF THE FASTENERS IN EACH MEMBER. HANGERS IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE EITHER STAINLESS STEEL OR HOT-DIPPED GALVANIZED.</p>	<p>APPLICABLE DESIGN CODES: IBC 2012, INTERNATIONAL BUILDING CODE ASCE7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES ACI318-11, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE NDS-12, AMERICAN WOOD COUNCIL, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION</p> <p>GRAVITY LOADS: ROOF DEAD LOAD 20 PSF (15 PSF TOP CHORD) (5 PSF BOTTOM CHORD) ROOF LIVE LOAD 20 PSF MEZZANINE DEAD LOAD 20 PSF MEZZANINE LIVE LOAD 80 PSF MEZZANINE PARTITION LOAD 15 PSF 1ST LEVEL DEAD LOAD 20 PSF 1ST LEVEL LIVE LOAD 100 PSF LOBBY AND EXIT PATHS 100 PSF</p> <p>SNOW LOADS: GROUND SNOW LOAD 30 PSF ROOF SNOW LOAD 21 PSF</p> <p>SOIL INFORMATION: ALLOWABLE BEARING PRESSURE 1500 PSF</p> <p>WIND DESIGN LOADS: WIND SPEED 115 MPH, 3-SECOND GUST, ENCLOSED STRUCTURE IMPORTANCE FACTOR 1.0 WIND EXPOSURE C</p> <p>SEISMIC DESIGN CRITERIA: SEISMIC ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE BASIC STRUCTURAL SYSTEM: WOOD BEARING SHEAR WALLS SPECTRAL RESPONSE ACCELERATION (SHORT PERIOD) SS = 0.1 SPECTRAL RESPONSE ACCELERATION (1-SEC PERIOD) S1 = .06 SITE CLASS D SEISMIC IMPORTANCE FACTOR: IE = 1.0 SPECTRAL DESIGN RESPONSE COEFFICIENT (SHORT PERIOD) SDS = .107 SPECTRAL DESIGN RESPONSE COEFFICIENT (1-SEC PERIOD) SD1 = .096 SEISMIC DESIGN CATEGORY: B RESPONSE MODIFICATION FACTOR: R = 6.5 FOR WOOD SHEAR WALLS R = 2.0 FOR MASONRY SHEAR WALLS SEISMIC RESPONSE COEFFICIENT: CS = .0535 SEISMIC BASE SHEAR: V = 134 K</p>
<p>EXISTING UTILITIES:</p> <p>1. EXISTING CONDITIONS, STRUCTURES, UTILITIES AND SURFACE FEATURES SHOWN WERE OBTAINED FROM DRAWINGS FURNISHED BY THE OWNER AND ARE ASSUMED TO BE ACCURATE AND CORRECT. THE CONTRACTOR SHALL PERFORM HIS OWN SURVEY AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS OF EXISTING STRUCTURES PRIOR TO STARTING ANY WORK.</p> <p>2. EXISTING UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION. THE CONTRACTOR SHALL CONTACT IOWA ONE CALL SYSTEM INC. AT 811 TO REQUEST LOCATING AND MARKING OF EXISTING UTILITIES PRIOR TO PERFORMING ANY EXCAVATION WORK IN OR AROUND ANY UTILITY.</p> <p>3. ALL EXCAVATION WORK NEAR AND AROUND EXISTING UTILITIES SHALL BE BY HAND METHOD.</p> <p>4. FURTHER, THE CONTRACTOR SHALL RECORD THE LOCATION AND ELEVATION OF ALL UTILITIES ENCOUNTERED, AND INSTALLATION OF NEW WORK, AS WORK PROGRESSES AND SHALL PREPARE RECORD DRAWINGS (RED-LINES) BASED ON HIS RECORDS. THESE RECORDS TO BE SUPPLIED TO AXIOM CONSULTANTS, LLC AT COMPLETION OF WORK.</p>	<p>MASONRY:</p> <p>1. CMU TO BE LIGHTWEIGHT AGGREGATE DESIGN PER ASTM D90-75</p> <p>2. MORTAR SHALL BE: TYPE S FOR BLOCK TYPE N FOR VENEER AND BRICK</p> <p>3. MINIMUM MASONRY REINFORCING: 8" CMU, VERTICALLY #5 BAR AT 32" O.C. 12" CMU, VERTICALLY #5 BAR AT 32" O.C.</p> <p>4. LINTELS: REINFORCED MASONRY LINTEL TO BE INSTALLED AT ALL OPENING UNLESS OTHERWISE INDICATED ON DRAWINGS. DO NOT SPLICE REINFORCEMENT BARS WITHIN LINTELS AND MAINTAIN 8 INCH BEARING MINIMUM ON EACH SIDE. UNLESS OTHERWISE ON THE PLANS, THE MINIMUM REINFORCEMENT FOR LINTELS IN 8" MASONRY SHALL BE AS FOLLOWS: (1) OPENINGS UP TO 42 INCHES WIDE: (2) #4 AT BOTTOM WEB OF 8 INCH DEEP LINTEL (2) OPENINGS 42 TO 78 INCHES WIDE: (2) #4 AT BOTTOM WEB OF 16 INCH DEEP LINTEL (3) OPENINGS OVER 78 INCHES WIDE: REINFORCE PER DRAWINGS</p> <p>5. CONSTRUCTION: MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH IBC SECTION 2104 "CONSTRUCTION" AND MSJC. 1 PART 3 "EXECUTION".</p> <p>6. GROUT HOLLOW MASONRY UNITS SOLID AS SHOWN ON PLANS. FINE AND COURSE GROUTS SHALL CONFORM TO ASTM C476 AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3050 PSI AT 28 DAYS. GROUP SHALL ATTAIN 80% OF DESIGN STRENGTH PRIOR TO APPLICATION OF SERVICE LOADS.</p> <p>7. JOINT REINFORCEMENT: SHALL CONFORM TO ASTM A951 AND IBC SECTION 2103.13. FOR 8" CMU PROVIDE JOINT REINFORCEMENT AT EVERY OTHER COURSE OF CMU THAT PROVIDES A MINIMUM OF 9 GAGE WIRE AT EACH FACE OF THE CMU. PROVIDE PREFORMED JOINT REINFORCEMENT PIECES FOR CORNERS AND WALL INTERSECTIONS.</p> <p>8. FILL ALL BLOCKS BELOW GRADE WITH CONCRETE.</p> <p>9. VERTICAL REINFORCING SHALL EXTEND INTO THE BOND BEAM.</p> <p>10. GROUT SHALL BE CONSOLIDATED IMMEDIATELY AFTER POURING AND RECONSOLIDATED.</p> <p>11. PROVIDE VERTICAL REINFORCEMENT AT EACH SIDE OF OPENING AND AT ALL CORNERS.</p>	<p>SHEATHING:</p> <p>1. EXTERIOR SHEATHING TO BE ZIP SYSTEM, COORDINATE WITH SPECIFICTION SECTION 061600.</p> <p>2. PLYWOOD SHEATHING SHALL BE STRUCTURAL I IN CONFORMANCE WITH APA STANDARDS.</p> <p>3. PLYWOOD ROOF AND FLOOR SHEATHING TO BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 10D NAILS AT 4" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AND AT 12" O.C. TO INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.</p> <p>4. WHEN NOT OTHERWISE NOTED, PROVIDE 1/2" NOMINAL APA RATED SHEATHING ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PANELS WITH 8D NAILS AT 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D NAILS AT 12" O.C.</p> <p>5. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.</p>	<p>ISSUED FOR: CLIENT REVIEW</p> <p>CLIENT REVIEW</p> <p>NOT FOR CONSTRUCTION</p> <p>DATE ISSUED: 09/26/2018</p> <p>CURRENT REV: B</p>
<p>GENERAL CONSTRUCTION WORK:</p> <p>1. STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE (IBC). THE STRUCTURE IS CLASSIFIED AS CATEGORY II.</p> <p>2. CONTRACTOR SHALL PROTECT ALL EXISTING EQUIPMENT AND INFRASTRUCTURE AT THE SITE. CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS.</p> <p>3. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING PIPING, UTILITIES, EQUIPMENT AND STRUCTURES WHICH COULD BE DAMAGED BY CONSTRUCTION ACTIVITIES. REPAIR OF DAMAGES SHALL BE AT THE CONTRACTOR'S EXPENSE.</p> <p>4. CONTRACTOR SHALL INSTALL STRUCTURAL STEEL. FRAMING AS SHOWN ON THE DESIGN DRAWING.</p> <p>5. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ENGINEER'S REVIEW PRIOR TO FABRICATION OF STRUCTURAL STEEL FRAMING. ENGINEER'S REVIEW OF SHOP DRAWINGS IS TO CONFIRM DESIGN INTENT IS FOLLOWED. CONTRACTOR SUBMISSION OF SHOP DRAWINGS MAY BE ELECTRONIC, BUT ENGINEER SHALL HAVE FIVE (5) BUSINESS DAYS TO REVIEW AND RETURN SHOP DRAWINGS.</p> <p>ABBREVIATIONS: U.N.O. – UNLESS NOTED OTHERWISE E.W. – EACH WAY E.F. – EACH FACE O.C. – ON CENTER T&B – TOP & BOTTOM G.L. – GRID LINE</p>		<p>WOOD TRUSSES:</p> <p>1. THE WOOD TRUSS FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF THE WOOD TRUSSES. SUBMIT CALCULATIONS WITH THE SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF IOWA.</p> <p>2. LUMBER DEFECTS SUCH AS WANE OR KNOTS OCCURRING IN THE CONNECTOR PLATE AREA MUST NOT AFFECT MORE THAN TEN PERCENT OF THE REQUIRED PLATE AREA OR NUMBER OF EFFECTIVE TEETH REQUIRED OF EACH TRUSS MEMBER. CONNECTOR PLATES SHALL BE APPLIED TO BOTH FACES OF THE TRUSS AT EACH JOINT AND SHOULD PROVIDE FIRM EVEN CONTACT BETWEEN THE PLATE AND THE WOOD. ALL WOOD MEMBERS SHALL BE ACCURATELY CUT AND FABRICATED SO THAT ALL MEMBERS HAVE GOOD BEARING AND ALL COMPLETED TRUSS UNITS ARE UNIFORM. SEE LATEST EDITION OF THE TRUSS PLATE INSTITUTE "QUALITY CONTROL MANUAL" FOR TOLERANCES AND OTHER SPECIAL REQUIREMENTS.</p> <p>3. THE DESIGN, FABRICATION AND ERECTION OF THE WOOD TRUSSES SHALL COMPLY WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AND THE "DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES".</p> <p>4. ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN ACCORDANCE WITH WTCA AND TRUSS PLATE INSTITUTE DOCUMENT "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES (BCSI)".</p> <p>5. THE TRUSS MANUFACTURER SHALL SHOW ALL RECOMMENDED BRACING, BOTH TEMPORARY AND PERMANENT, ON THE TRUSS SHOP DRAWINGS. ALSO, THE DRAWINGS MUST SHOW ALL RECOMMENDED DETAILS FOR CONNECTION THE TRUSSES TO EACH OTHER AND/OR THEIR SUPPORTS.</p> <p>6. TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, DRILLED, NOTCHED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN PERMISSION FROM THE DESIGN ENGINEER.</p>	<p>PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND</p> <p>CLIENT NAME: WBCS</p> <p>PROJECT NUMBER: 18-0093</p> <p>SHEET NUMBER: 5000</p> <p>PROJECT MANAGER: BOELK</p>

 <p>60 EAST COURT STREET, IOWA CITY, IA 52240</p>	<p>ENGINEER:</p>								
	<p>DRAWING LOG</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION OF CHANGES</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CLIENT REVIEW</td> <td>09/13/2018</td> </tr> <tr> <td>B</td> <td>CLIENT REVIEW</td> <td>09/26/2018</td> </tr> </tbody> </table>	REV	DESCRIPTION OF CHANGES	DATE	A	CLIENT REVIEW	09/13/2018	B	CLIENT REVIEW
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<p>GENERAL NOTES</p> <p>PROJECT NUMBER: 18-0093</p> <p>SHEET NUMBER: 5000</p> <p>PROJECT MANAGER: BOELK</p>									



FOUNDATION 1
1/4" = 1'-0" S100

FOOTING SCHEDULE						
TAG	TYPE	WIDTH	LENGTH	THICKNESS	FOOTING REINFORCEMENT	DETAIL
FT-1	TRENCH FOOTING	1'-0"	3'-4"	8"	#5 @ 12" O.C., (3) #5 CONT.	7 S100
FT-2	THICKENED SLAB FOOTING	1'-0"		8"	#5 @ 12" O.C., (3) #5 CONT.	9 S100
FT-3	COLUMN FOOTING	1'-6"	3'-0"			



DRAWING LOG

REV	DATE	DESCRIPTION OF CHANGES
A	09/13/2018	CLIENT REVIEW
B	09/26/2018	CLIENT REVIEW

ISSUED FOR: **CLIENT REVIEW**

NOT FOR CONSTRUCTION

DATE ISSUED: 09/26/2018

CURRENT REV: B

PROJECT NAME: **WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND**

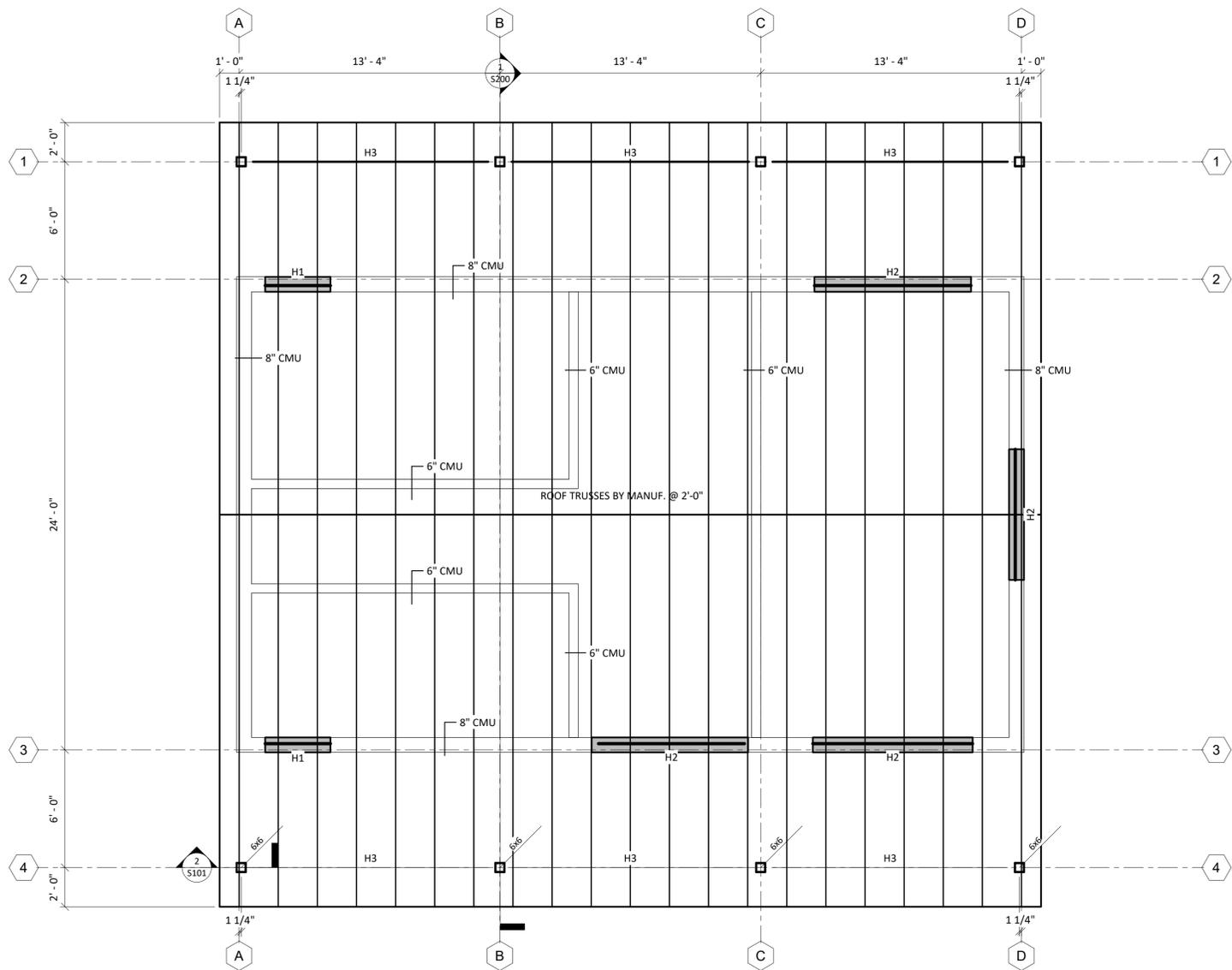
CLIENT NAME: **WBCS**

FOUNDATION PLAN

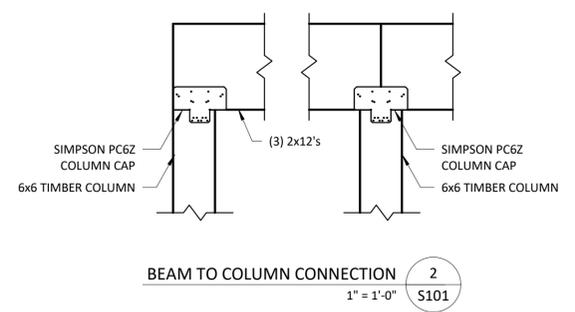
SHEET NUMBER: **S100**

PROJECT NO.: **18-0093**

PROJECT MANAGER: **BOELK**



ROOF FRAMING 1
1/4" = 1'-0" S101



HEADER/LINTEL SCHEDULE

ID/TAG	DESCRIPTION	SIZE/TYPE	MAX SPAN	NOTES
H1	8" CMU WALL	16" CMU LINTEL W/ (2) #4 BARS	3'-7"	PROVIDE 8" BEARING EACH SIDE
H2	8" CMU WALL	16" CMU LINTEL W/ (2) #6 BARS	8'-0"	PROVIDE 16" BEARING EACH SIDE
H3	ROOF BEARING BEAM @ COLUMNS	(3) 2x12	13'-4"	

FRAMING/NAILING SCHEDULE

JOINING TYPE	NAILING METHOD	# OF...	SIZE OF NAILS	PLACEMENT
SUBFLOOR, PLYWOOD	NAIL EDGE OF...	6" O.C.	10d	TO TRUSSES
SUBFLOOR TO TRUSSES	BLIND NAIL, FACE NAIL	2	16d	6" O.C.
SOLE PLATE TO STUD	END NAIL	2	16d	AT EACH STUD
TOP PLATE TO STUD	END NAIL	2	16d	AT EACH STUD
DOUBLE STUD	FACE NAIL, STAGGER		16d	16" O.C.
EXTERIOR WALL...	FACE NAIL		16d	16" O.C.
WALL SHEATHING	FACE NAIL		8d	6" SPACING

FRAMING PLAN

SHEET NUMBER: S101 PROJECT NO.: 18-0093 PROJECT MANAGER: BOELK

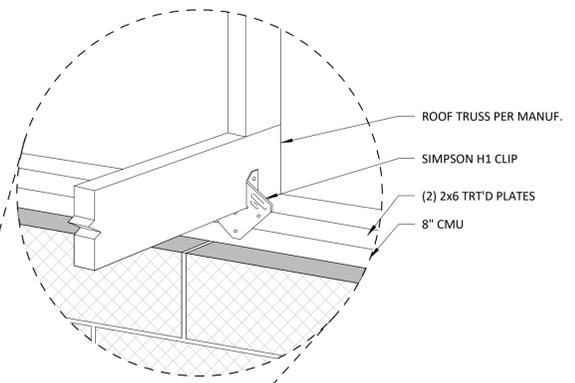
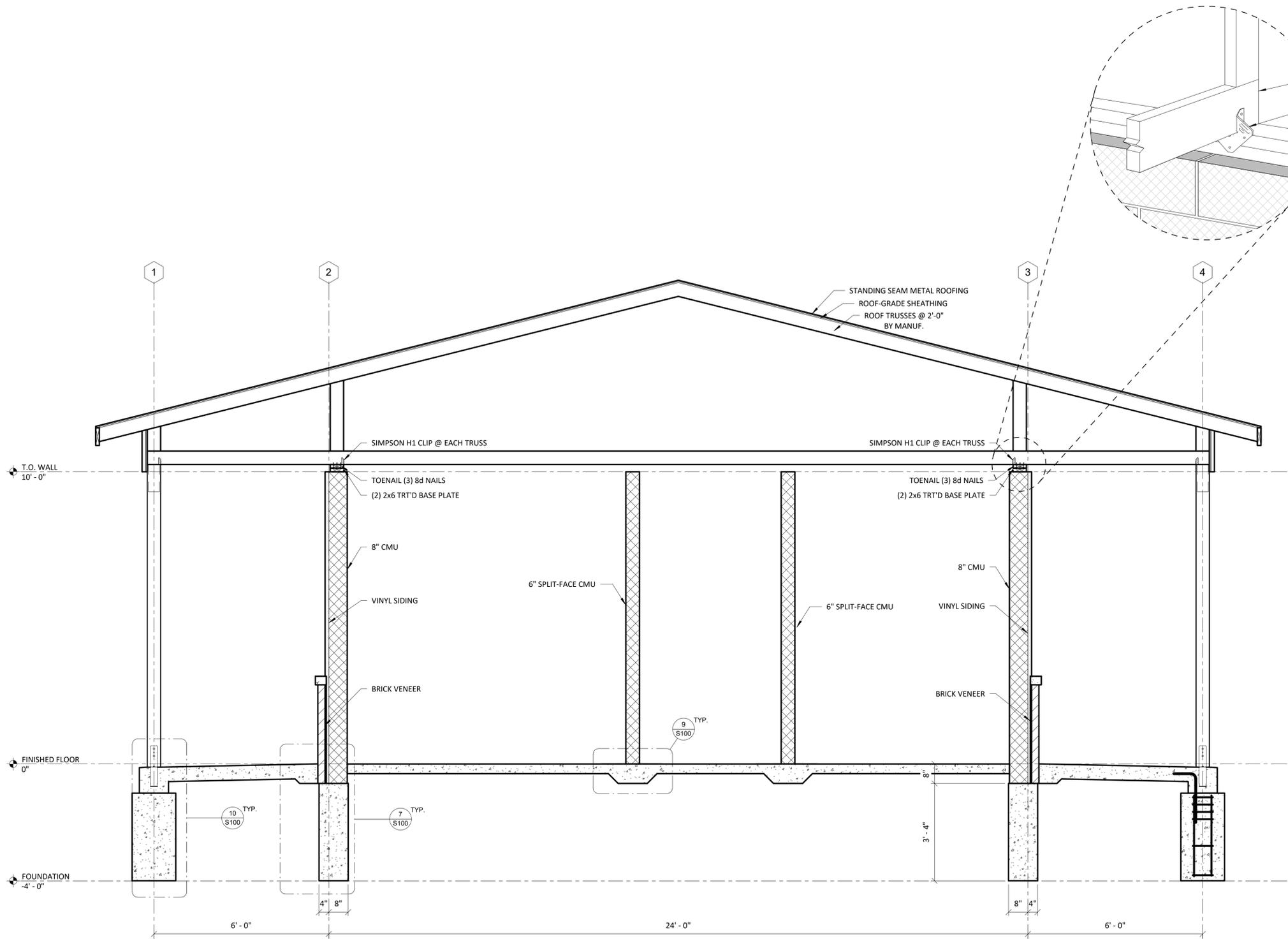
PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND CLIENT NAME: WBCS

ISSUED FOR: **NOT FOR CONSTRUCTION** DATE ISSUED: CURRENT REV: 2

ENGINEER: **A-XIOM CONSULTANTS** 60 EAST COURT STREET, IOWA CITY, IA 52240

DRAWING LOG

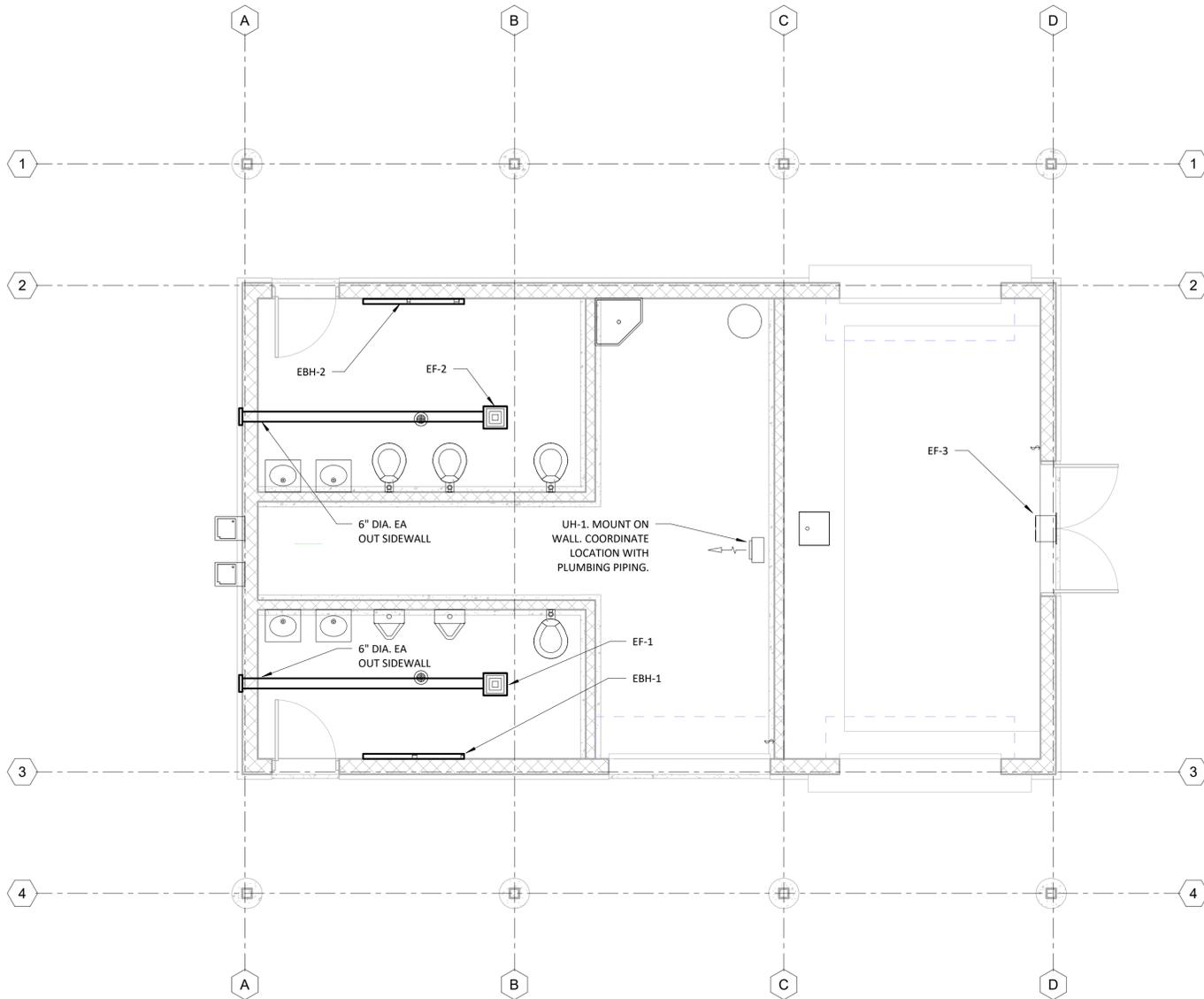
REV	DESCRIPTION OF CHANGES	DATE



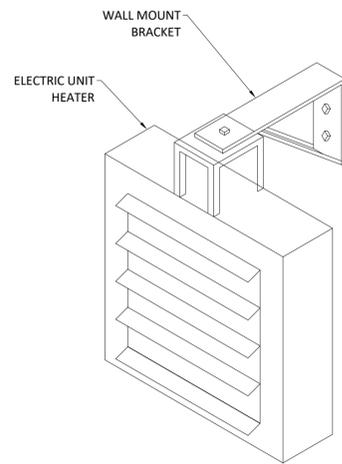
BUILDING SECTION 1
 1/2" = 1'-0" S200

SECTIONS		PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND		PROJECT NO.: 18-0093		PROJECT MANAGER: BOELK	
S200		CLIENT NAME: WBCS		DATE ISSUED: 09/26/2018		CURRENT REV: B	
ISSUED FOR: CLIENT REVIEW		CLIENT REVIEW		DATE ISSUED: 09/26/2018		CURRENT REV: B	
DRAWING LOG		DESCRIPTION OF CHANGES		DATE		ENGINEER:	
REV	A	CLIENT REVIEW	CLIENT REVIEW	09/13/2018	09/26/2018	A-XIOM CONSULTANTS	
REV	B	CLIENT REVIEW	CLIENT REVIEW	09/26/2018		60 EAST COURT STREET, IOWA CITY, IA 52240	

NOT FOR CONSTRUCTION

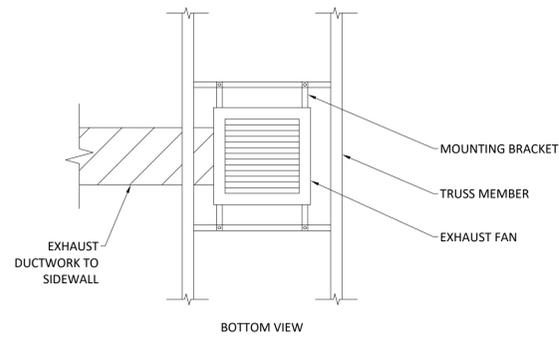


CONCESSION STAND MECHANICAL PLAN
1/4" = 1'-0" M100



1 HORIZONTAL HOT WATER UNIT HEATER DETAIL
SCALE: NO SCALE

NOTE: UNIT MOUNTED THERMOSTAT SHALL MAINTAIN SPACE TEMPERATURE BY CYCLING



2 EXHAUST FAN MOUNTING DETAIL
SCALE: NO SCALE

ELECTRIC UNIT HEATER SCHEDULE								
PLAN MARK	WATTS (W)	HEATING CAPACITY (BTUH)	ELECTRICAL			DIMENSIONS (W x H x D)	MANUFACTURER/MODEL	REMARKS
			AMP	VOLTAGE	PHASE			
UH-1	5600	19,200	27.1	240	1	21 1/2" x 24 5/16" x 6 1/2"	MARKEL VERTICAL FAN FORCED UNIT HEATER MODEL HF2B5107CA1L	MOUNT HEATER NO MORE THAN 12' A.F.F. COORDINATE WITH PLUMBING PIPING.

ELECTRIC BASEBOARD HEATER SCHEDULE								
PLAN MARK	WATTS (W)	HEATING CAPACITY (BTUH)	ELECTRICAL			DIMENSIONS (W x H x D)	MANUFACTURER/MODEL	REMARKS
			AMP	VOLTAGE	PHASE			
EBH-1	1250	4250	5.2	240	1	60" x 6" x 2 1/2"	MARKEL ELECTRICAL BASEBOARD HEATER MODEL H2912-060C	
EBH-2	1250	4250	5.2	240	1	60" x 6" x 2 1/2"	MARKEL ELECTRICAL BASEBOARD HEATER MODEL H2912-060C	

1. PROVIDE INTEGRAL LINE VOLTAGE THERMOSTAT.

EXHAUST FAN SCHEDULE								
PLAN MARK	AIRFLOW (CFM)	STATIC PRESSURE	ELECTRICAL			MOUNTING	MANUFACTURER/ MODEL	REMARKS
			AMP	VOLTAGE	PHASE			
EF-1	210	0.15	0.53	120	1	SUSPENDED	PANASONIC WHISPER VENTILATION FAN MODEL FV-30VQ3	
EF-2	210	0.15	0.53	120	1	SUSPENDED	PANASONIC WHISPER VENTILATION FAN MODEL FV-30VQ3	
EF-3	466	0.00	0.6	120	1	SIDEWALL	DAYTON EXHAUST FAN MODEL 10D952	

ENGINEER: _____

REV	DATE	DESCRIPTION OF CHANGES
A	09/13/2018	CLIENT REVIEW
B	09/26/2018	CLIENT REVIEW

ISSUED FOR: CLIENT REVIEW

NOT FOR CONSTRUCTION

DATE ISSUED: 09/26/2018

CURRENT REV: B

PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND

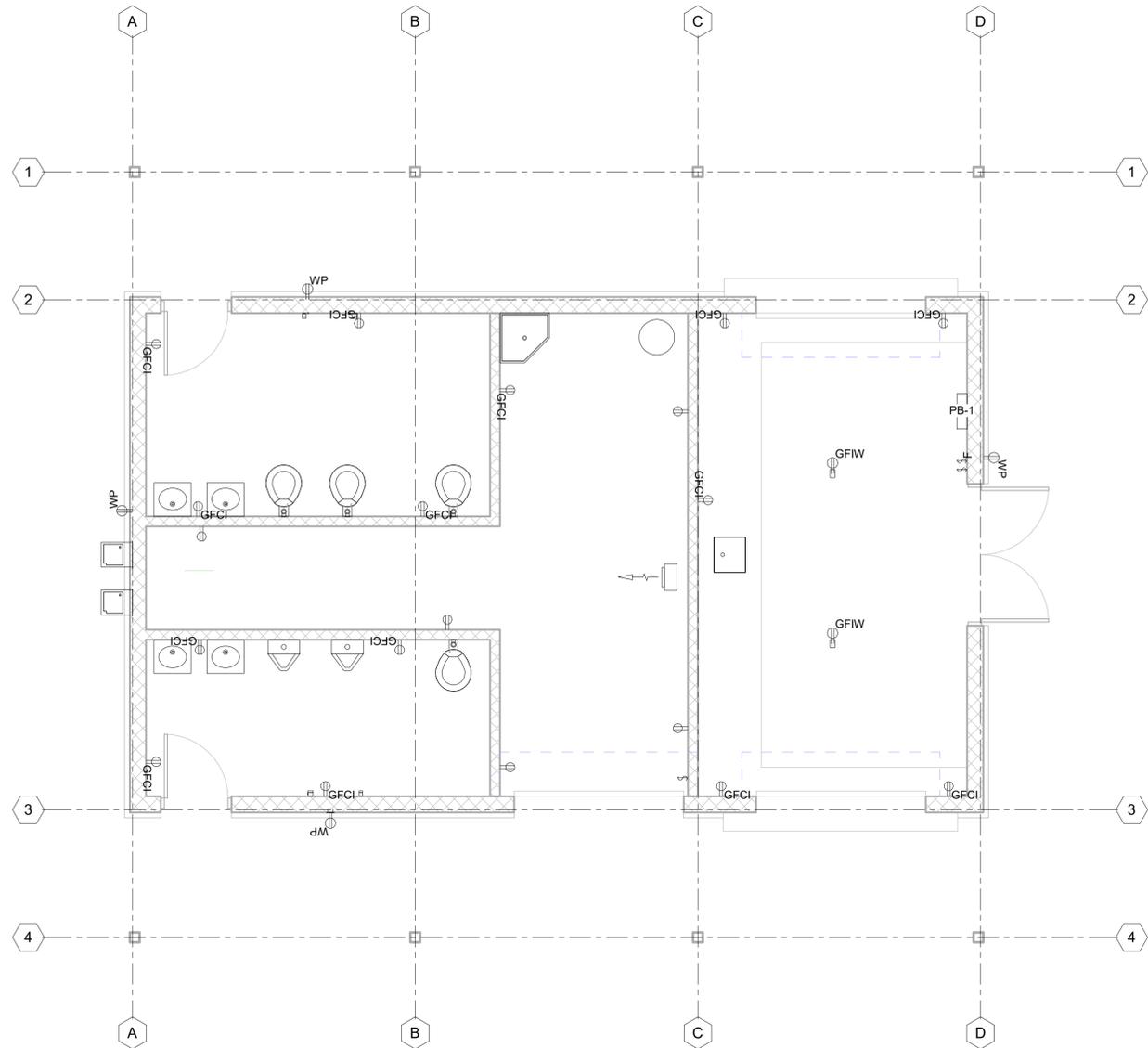
CLIENT NAME: WBCS

SHEET NAME: MECHANICAL PLAN

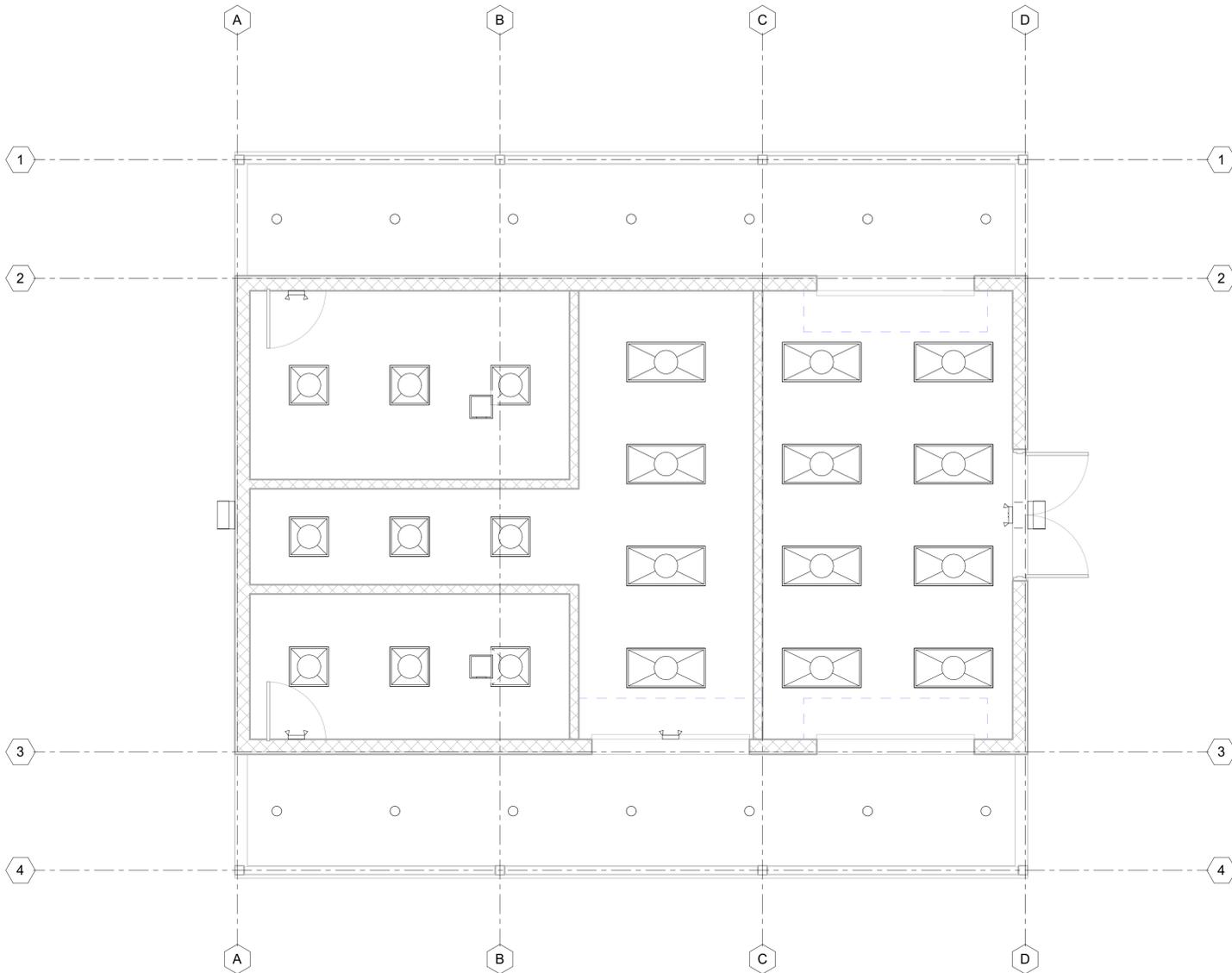
SHEET NUMBER: M100

PROJECT NO.: 18-0093

PROJECT MANAGER: BOELK



1ST FLOOR ELECTRICAL 1
1/4" = 1'-0" E100



1ST FLOOR LIGHTING 2
1/4" = 1'-0" E100

BRANCH PANEL PB-1

Location: Space CONCESSION
Supply From:
Mounting: Surface
Enclosure:

Volts: 120/240 Single
Phases: 1
Wires: 3

A.I.C. Rating:
Mains Type:
Mains Rating: 200 A
MCB Rating: 200 A

CKT	Circuit Description	Trip	Poles	A	B	Poles	Trip	Circuit Description	CKT
1	CONCESSION LIGHTING	20 A	1	595 VA	330 VA	1	20 A	STORAGE LIGHTING	2
3	CONCESSION RECEPTACLES	20 A	1		360 VA	1	20 A	STORAGE RECEPTACLES	4
5	CONCESSION RECEPTACLES	20 A	1	540 VA	540 VA	1	20 A	STORAGE RECEPTACLES	6
7	BATHROOM LIGHTING	20 A	1		180 VA	1	20 A	RESTROOM HVAC	8
9	WOMENS RECEPTACLES	20 A	1	720 VA	720 VA	1	20 A	MENS RECEPTACLES	10
11	OUTDOOR LIGHTING	20 A	1		560 VA	2	20 A	UNIT HEATER	12
13	OUTDOOR RECEPTACLES	20 A	1	720 VA	3250 VA	--	--		14
15	EMERGENCY LIGHTING	20 A	1		400 VA	1	20 A	WATER HEATER	16
17	Spare	20 A	1	0 VA	0 VA	1	20 A	Spare	18
19	Spare	20 A	1	0 VA	0 VA	1	20 A	Spare	20
21	Space	--	--	0 VA	0 VA	--	--	Space	22
23	Space	--	--		0 VA	0 VA	--	Space	24
25									26
27									28
29									30
Total Load:				7081 VA	7015 VA				
Total Amps:				59 A	58 A				

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
HVAC	120 VA	100.00%	120 VA	Total Conn. Load: 14084 VA Total Est. Demand: 14119 VA Total Conn. Current: 59 A Total Est. Demand Current: 59 A
Other	1300 VA	100.00%	1300 VA	
Appliance - Dwelling Unit	600 VA	100.00%	600 VA	
Heating	6500 VA	100.00%	6500 VA	

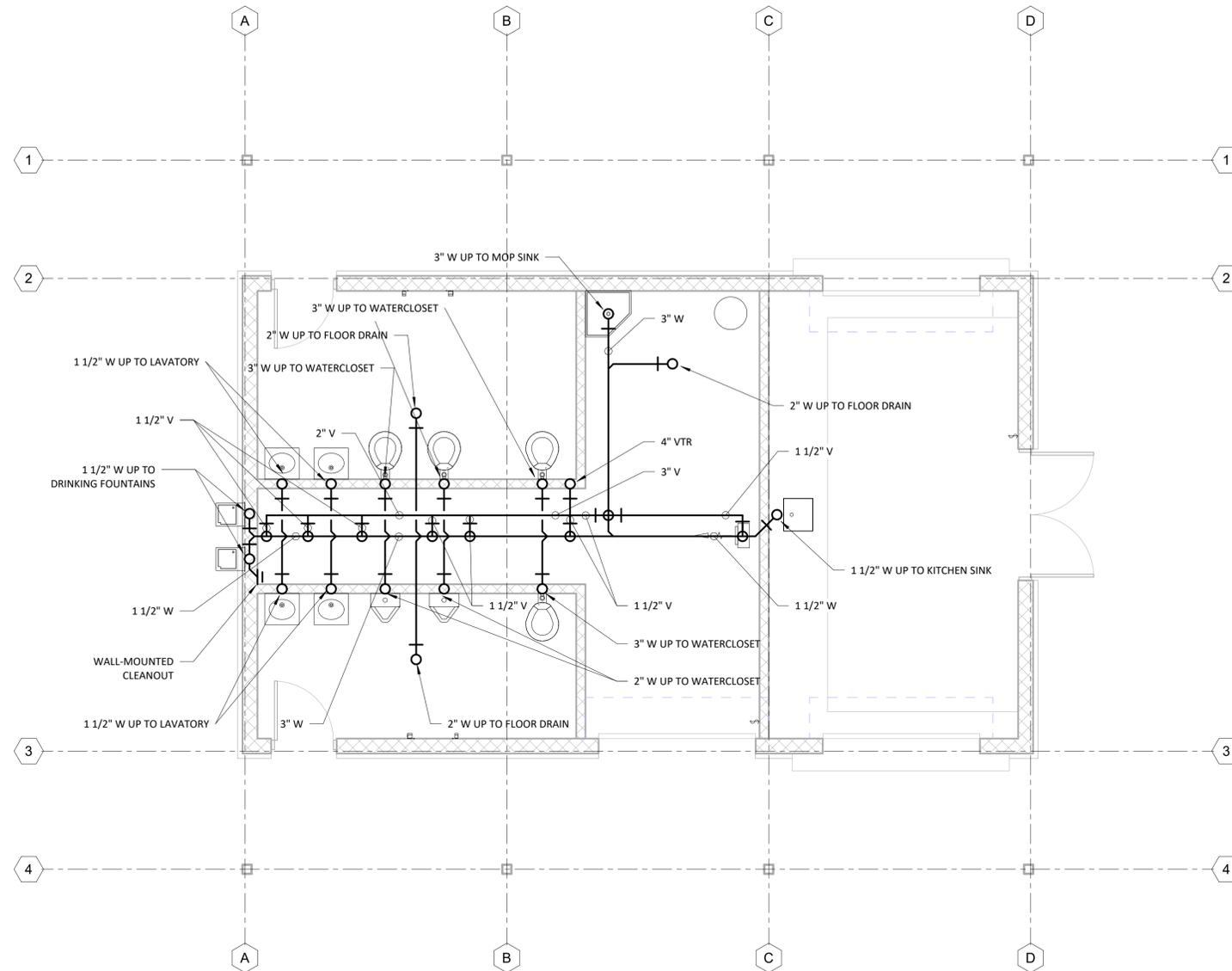


ENGINEER: AXIOM CONSULTANTS
60 EAST COURT STREET, IOWA CITY, IA 52240

REV	DESCRIPTION OF CHANGES	DATE

ISSUED FOR: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND
 PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND
 CLIENT NAME: WBCS
 PROJECT NO.: 18-0093
 PROJECT MANAGER: BOELK
 SHEET NUMBER: E100
 NOT FOR CONSTRUCTION
 CURRENT REV:

ELECTRICAL PLAN



CONCESSION STAND UNDERFLOOR PLUMBING PLAN 1
1/4" = 1'-0" P100

PLUMBING FIXTURE SCHEDULE							
FIXTURE	WASTE	VENT	DCW	DHW	DCWFU	DHWFU	REMARKS
WATER CLOSET (FLUSHOMETER)	3"	1 1/2"	1"	NA	26.25*	NA	
URINAL (FLUSHOMETER)	2"	1 1/2"	3/4"	NA	17.5*	NA	
KITCHEN SINK	1 1/2"	1 1/2"	1/2"	1/2"	1.5	1.5	
MOP SINK	2"	1 1/2"	1/2"	1/2"	2	2	
LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	0.5	0.5	
FLOOR DRAIN	2"	1 1/2"	NA	NA	NA	NA	
WALL MOUNT CLEANOUT	2"	NA	NA	NA	NA	NA	
DRINKING FOUNTAIN	1 1/2"	1 1/2"	1/2"	NA	0.5	NA	
HOSE BIBB	NA	NA	3/4"	NA	2.5	NA	

* AVERAGE FU COUNT CALCULATED USING TABLE 610.10 IN UPC 2015

WATER CLOSET: AMERICAN STANDARD WATER CLOSET AFWALL MILLENIUM MODEL 2294.011EC, ELONGATED BOWL, FLUSHOMETER TOILET, TOP SPUD, VITREOUS CHINA, WALL MOUNT, 1.6 GPF, EVERCLEAN SURFACE INHIBITS BACTERIA GROWTH, WHITE, ADA COMPLIANT. **FLUSH VALVE:** AMERICAN STANDARD MANUAL FLUSH VALVE MODEL 6047.161.002, 1.6 GPF, MANUAL PISTON-TYPE FLUSH VALVE FOR 1 1/2" TOP SPUDS, 1" I.P.S. ANGLE STOP WITH BACK-FLOW PREVENTION AND VANDAL-RESISTANT CAP, HIGH BACK PRESSURE VACUUMBREAKER, ADA COMPLIANT.

URINAL: AMERICAN STANDARD URINAL, TIRMBROOK. VITREOUS CHINA, 1.0 GPF, FLUSHING RIM, SIPHON JET FLUSH, 3/4" INLET SPUD, 2" THREADED OUTLET CONNECTION, 2 WALL HANGERS. **TOP SPUD:** 6561.017. **FLUSH VALVE:** AMERICAN STANDARD MANUAL FLUSH VALVE #6045.101.002. OR ENGINEER APPROVED EQUIVALENT.

MOP SINK: STERN WILLIAMS MOP SINK MODEL SBC-1500, 12" HIGH INSIDE MEASUREMENT, CAST BRASS DRAIN WITH STAINLESS STEEL STRAINER CSAT INTEGRAL AND SHALL PROVIDE FOR A CAULKED LEAD CONNECTIONS 1" DEEP TO A 3" PIPE. PEARL GREY MARBLE RECEPTOR. **OPTION:** T-10-VB MOP SINK FAUCET WITH VACUUM BREAKER, ADJUSTABLE TOP BRACE, 3/4" HOSE THREAD ON SPOUT WITH BUCKET HOOK, INLETS 8" ON CENTER, CHROME FINISH.

KITCHEN SINK: ELKAY STAINLESS STEEL SINK PACEMAKER MODEL PSR1722 (OR EQUAL). SINGLE BOWL, TWO HOLE TOP MOUNT FAUCET, 20 GAUGE STAINLESS STEEL, CENTER DRAIN PLACEMENT, FULL SPRAY SIDES WITH BOTTOM, 17" X 22" X 7-1/8". **FAUCET:** DELTA MODEL 2172LF-LHP-H212, POLISHED CHROME WITH METAL LEVER HAND SET.

LAVATORY: KOHLER CHESAPEAKE MODEL K-1729 (OR EQUAL), WHITE, WALL MOUNT WITH CARRIER. **FAUCET:** DELTA COMPEL MODEL 501, POLISHED CHROME. OR ENGINEER APPROVED EQUIVALENT.

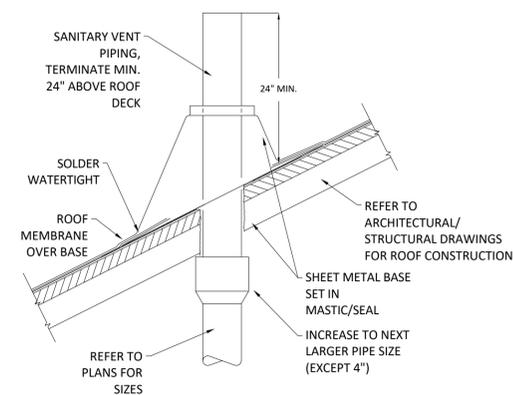
FLOOR DRAIN: ZURN FLOOR DRAIN MODEL Z415B, DURA-COATED CAST IRON BODY WITH BOTTOM OUTLET, COMBINATION INVERTIBLE MEMBRANE CLAMP AND ADJUSTABLE COLLAR WITH SEEPAGE SLOTS AND "TYPE B" POLISHED NICKEL BRONZE, LIGHT-DUTY STRAINER.

DRINKING FOUNTAIN: ELKAY DRINKING FOUNTAIN MODEL EDFP217C, TWO-LEVEL, SOFT SIDES, WALL MOUNT, FULL EXPOSED, WALL PLATE, BARRIER-FREE ACCESS, NO LEAD, FRONT PUSH BUTTONS, FLOW REGULATOR AND FLOW TRAP, VANDAL-RESISTANT BOTTOM COVER PLATES.

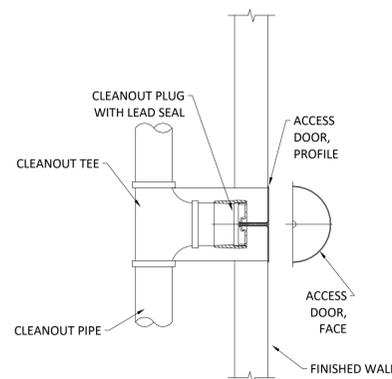
WALL MOUNT CLEANOUT (W/MCO): ZURN WALL CLEANOUT WITH SMOOTH ACCESS COVER MODEL Z1441, DURA-COATED CAST IRON BODY, ROUND SMOOTH STAINLESS STEEL ACCESS COVER WITH SECURING SCREW.

HOSE BIBB (WALL HYDRANT): WATTS MODEL HY-420, NON-FREEZE KEY OPERATED WALL HYDRANT WITH CHROME PLATED FACE, INTEGRAL VACUUM BREAKER, 3/4" HOSE CONNECTION, 1" MALE PIPE CONNECTION. COMPLIES WITH ASSE 1019-2004, UPC/IAMPO LISTED. MAX. OPERATING PRESSURE 125 PSI.

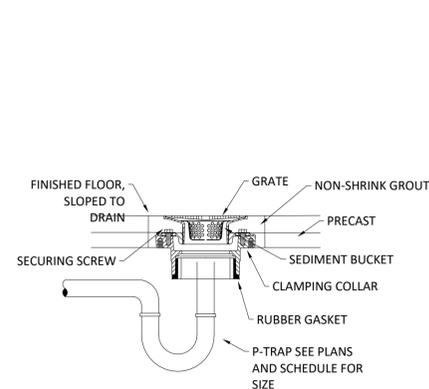
WATER HAMMER ARRESTER: SIOUX CHIEF 650 SERIES MODEL 652-A PISTON TYPE, TYPE L COPPER TUBE, COPPER MIP THREAD, NO LEAD ECOBRESS 69300. INSTALL FOR UP TO 11 FIXTURE UNITS. INSTALL ON SUPPLY LINES.



1 VENT THROUGH SLOPED ROOF DETAIL
SCALE: NO SCALE

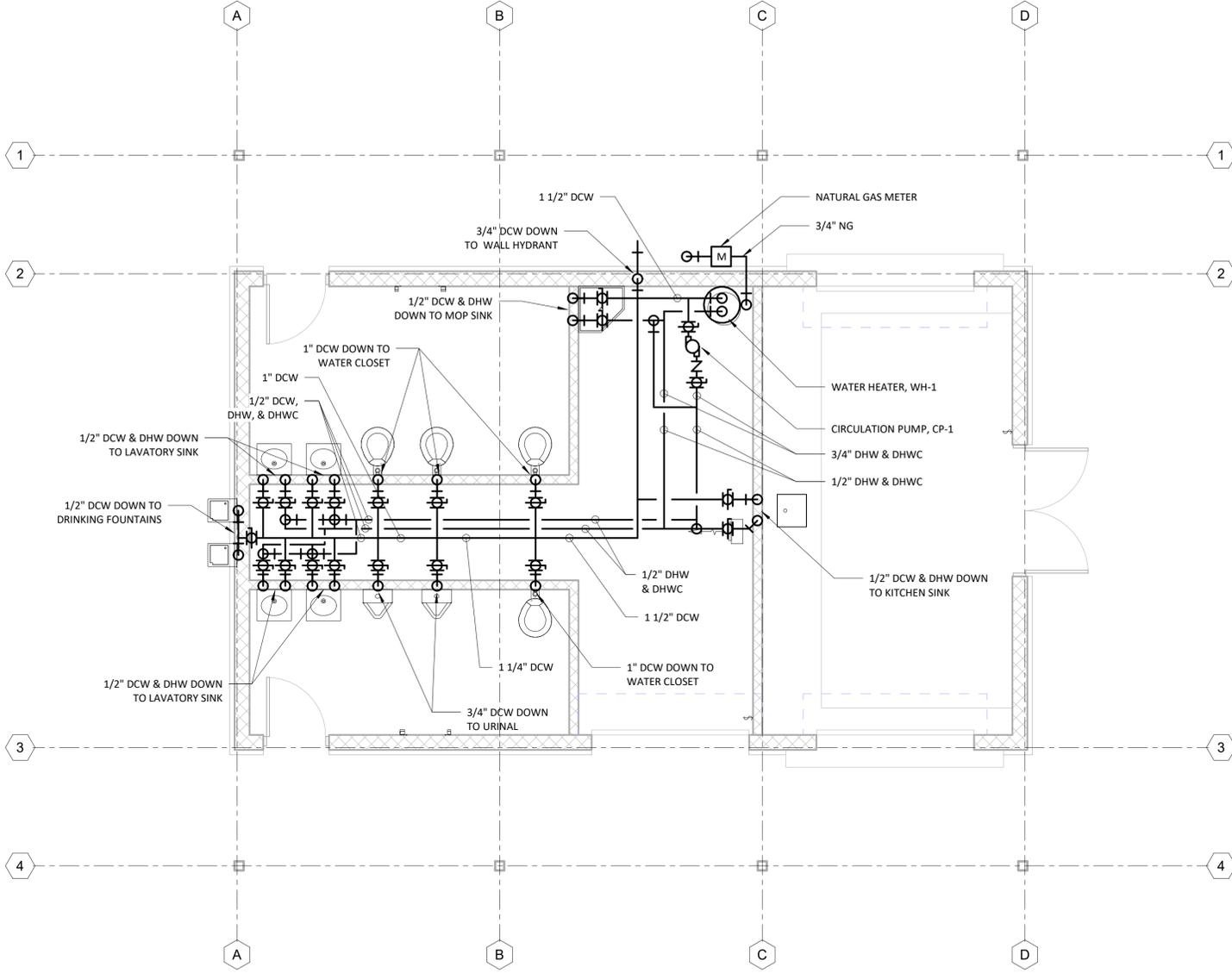


2 WALL MOUNT CLEANOUT DETAIL
SCALE: NO SCALE



3 FLOOR DRAIN DETAIL
SCALE: NO SCALE

REV	DESCRIPTION OF CHANGES	DATE



1ST FLOOR PLUMBING - DOMESTIC
1/4" = 1'-0" 1
P101

EXPANSION TANK SCHEDULE

PLAN MARK	LOCATION	SYSTEM	TANK TYPE (i.e. BLADDER, DIAPHRAGM)	APPROX. SYSTEM VOLUME (GAL)	INITIAL FILL PRESSURE	MAX. WORKING PRESSURE	TANK VOLUME	MAX ACCEPTANCE VOLUME	TANK SIZE: HEIGHT X DIA.	PIPE SIZE TO TANK	MANUFACTURER/ MODEL	REMARKS
ET-1	MECHANICAL ROOM	DOMESTIC WATER	DIAPHRAGM	NA	10 PSIG	150 PSIG	3.5 GAL	2.4 GAL	14" X 10"	3/4" NPTF	WESSELS COMPANY EXPANSION TANK MODEL TTA-5	

GAS-FIRED WATER HEATER SCHEDULE

PLAN MARK	GALLONS	HEATING INPUT (BTUH)	FIRST HR RATING (GAL)	RECOVERY RATE (GPH @ 100°F RISE)	ELECTRICAL			ENERGY FACTOR	MANUFACTURER/ MODEL	REMARKS
					AMP	VOLTAGE	PHASE			
WH-1	50	76,000	118	83	<5	120	1	--	A.O. SMITH CYCLONE HE MODEL BTX-80	LOCATED IN MECHANICAL/STORAGE ROOM 010

1. WATER HEATER SHALL BE INSTALLED WITH DRAIN PAN UNDERNEATH. DRAIN PAN SHALL HAVE DRAIN ROUTED TO NEAREST DRAIN.
2. 1" SUPPLY LINE CONNECTIONS.
3. FIRST HOUR RATING CALCULATED USING CALEFFI DESIGN, AND SPACE REQUIRES FIRST HOUR RATING OF 118 GALLONS.
4. EXPANSION TANK REQUIRED ON DOMESTIC COLD WATER INLET.
5. ELECTRICAL CHARACTERISTICS: 120 VOLT, 60 HZ, <5 AMPS.

DOMESTIC HOT WATER RECIRCULATING PUMP SCHEDULE

PLAN MARK	FLOW RATE (GPM)	HEAD (FT.)	ELECTRICAL			MOUNT TYPE	MANUFACTURER/ MODEL	NOTES
			HP	VOLTAGE	PHASE			
CP-1	4.0	10	1/12	120	1	INLINE	BELL & GOSSETT SERIES PL BRONZE BOOSTER PUMP MODEL PL-30	

1. CP-1 SHALL BE BRONZE FOR USE IN POTABLE WATER SYSTEM.



ENGINEER:

DATE

DRAWING LOG
DESCRIPTION OF CHANGES

REV

ISSUED FOR:

PROJECT NAME: WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND
CLIENT NAME: WBCS

PROJECT MANAGER: BOELK

PROJECT NO.: 18-0093

SHEET NUMBER: P101

NOT FOR CONSTRUCTION

CURRENT REV:

DATE ISSUED:

MECHANICAL SYMBOLS & ABBREVIATIONS

	AIRFLOW DIRECTION		DUCT SECTION (RETURN)		FLEXIBLE DUCT CONNECTION
	DUCT SIZE: (1 ST FIGURE, SIDE SHOWN. 2 ND FIGURE, SIDE NOT SHOWN)		DUCT SECTION (EXHAUST)		FLEXIBLE DUCT
	ACOUSTICAL LINING DUCT		SUPPLY DIFFUSER		BACKDRAFT DAMPER
	RETURN DUCT BRANCH WITH BOOT CONNECTION		EXHAUST GRILLE		FIRE DAMPER (FD); SMOKE DAMPER (SD); COMBINATION FIRE/SMOKE DAMPER (FD/SD)
	SUPPLY DUCT BRANCH WITH BOOT CONNECTION		RETURN GRILLE		THERMOSTAT
	STANDARD DUCT TRANSITION		RECTANGULAR DUCT ELBOW WITH TURNING VANES		HUMIDISTAT
	INCLINED RISE (R) OR DROP (D) ARROW IN DIRECTION OF AIRFLOW		RECTANGULAR DUCT ELBOW WITH RADIUS THROAT		SMOKE DETECTOR
	VOLUME DAMPER		RECTANGULAR DUCT 45° ELBOW		CARBON DIOXIDE (CO ₂) SENSOR
	HIDDEN DUCT (DASHED); DUCT ROUTED OVER ANOTHER DUCT		ROUND (SPIRAL/OVAL) DUCT ELBOW		PIPE TURN (90° UP)
	DUCT SECTION (SUPPLY)		ROUND (SPIRAL/OVAL) DUCT 45° ELBOW		PIPE TURN (90° DOWN)
SA	SUPPLY AIR	CD	CEILING DIFFUSER (SUPPLY AIR DIFFUSER)	RL	REFRIGERANT LIQUID
RA	RETURN AIR	RG	RETURN GRILLE/REGISTER	RG	REFRIGERANT GAS (VAPOR) (SUCTION)
EA	EXHAUST AIR	EG	EXHAUST GRILLE/REGISTER	EF	EXHAUST FAN
OA	OUTSIDE AIR	TG	TRANSFER GRILLE (DOOR TRANSFER GRILLE)	F	FURNACE
MA	MIXED AIR	CFM	CUBIC FEET PER MINUTE	CC	COOLING COIL
A.F.F.	ABOVE FINISHED FLOOR	AP	ACCESS PANEL	CU	CONDENSING UNIT

(*) NOT ALL SYMBOLS & ABBREVIATIONS MAY BE USED IN SCOPE OF PROJECT

HVAC GENERAL NOTES:

- ALL DUCTWORK IS SHOWN IN SCHEMATIC FORM. NOT ALL DUCT RISES AND DROPS ARE SHOWN, PROVIDE OFFSETS AS REQUIRED TO MEET SPACE REQUIREMENTS AND TO AVOID INTERFERENCE WITH OTHER TRADES. EXACT LOCATION OF THE DUCTWORK MAY VARY ACCORDING TO THE COORDINATED SPACE REQUIREMENTS. EACH TRADE SHALL BE TOTALLY RESPONSIBLE FOR COORDINATION WITH OTHER TRADES.
- DIFFUSERS, REGISTERS AND GRILLE LOCATIONS SHALL BE COORDINATED WITH LOCATIONS OF LIGHTS, SPRINKLER HEADS, EXIST LIGHTS, ETC.
- DIFFUSERS WITH NO SHADING INDICATE THROW SHALL BE 4-WAY.
- DIFFUSER, GRILLE AND REGISTER NOMENCLATURE AS FOLLOWS
CD DIFFUSER, GRILLE OR REGISTER TYPE (CD = CEILING DIFFUSER)
1224 NECK & FACE DIMENSIONS (12"Ø x 24"X24" FACE)
500 AIRFLOW RATE IN CUBIC FEET PER MINUTE (CFM)
- PROVIDE RIGID METAL DUCT, WITH NO EXCEPTION, WHERE FIRE WALLS AND/OR SMOKE WALLS ARE PENETRATED.
- FIRE DAMPERS SHALL BE INSTALLED AS REQUIRED IN ALL DUCTS PENETRATING FIRE RATED WALLS AS INDICATED ON ARCHITECTURAL PLANS.
- MECHANICAL CONTRACTOR SHALL VERIFY LOCATION OF ALL PENETRATIONS FOR EXHAUST DUCT, VENT & COMBUSTION AIR INTAKES WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- MANUAL VOLUME DAMPERS SHALL BE PROVIDED ON ALL SUPPLY, RETURN AND EXHAUST BRANCH DUCTS.
- ALL DUCTWORK, UNLESS OTHERWISE NOTED, SHALL BE 1/2" PRESSURE CLASS PER SMACNA.
- SUPPORT ALL DUCTWORK IN ACCORDANCE WITH 2015 INTERNATIONAL MECHANICAL CODE, IMC 2015. ANY SUSPENDED MATERIALS SHALL BE DIRECTLY SUPPORTED BY THE BUILDING STRUCTURE.
- ALL EQUIPMENT AND MATERIALS TO BE NEW CONSTRUCTION UNLESS OTHERWISE CALLED OUT ON PLANS.
- ALL DUCTWORK INSTALLED IN UNCONDITIONED SPACE MUST BE INSULATED PER IECC 2012 REQUIREMENTS. CONCEALED DUCTWORK MAY BE EXTERNALLY INSULATED WITH FIBER BOARD OR BLANKET OR MAY BE INTERNALLY INSULATED WITH ACOUSTICAL DUCT LINING.
- ALL EXPOSED SPIRAL DUCTWORK DOES NOT REQUIRE INSULATION, UNLESS OTHERWISE NOTED.
- ALL MAIN DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH SMACNA STANDARDS. RUNOUTS FROM MAIN BRANCH DUCTS MAY BE FLEXIBLE DUCT CONFORMING TO THE REQUIREMENTS OF UL 181 FOR CLASS 1 FLEXIBLE AIR DUCTS. MAXIMUM LENGTH OF FLEXIBLE DUCT PER RUNOUT TO BE 5'0", UNLESS OTHERWISE NOTED.
- EXTENTS OF DEMOLITION OF EXISTING MATERIALS SHOWN AS **//////**
- SYMBOL DENOTES WHERE NEW MATERIALS/EQUIPMENT CONNECTS TO EXISTING SYSTEM(S).

PIPING SYMBOLS

	PRESSURE REGULATING VALVE		STRAINER
	GATE VALVE		PIPE GUIDE
	GLOBE VALVE		PIPE ANCHOR
	PLUG VALVE		STEAM DRIP ASSEMBLY
	ANGLE GATE VALVE		EXPANSION COMPENSATOR
	ANGLE GLOBE VALVE		FLEXIBLE PIPE CONNECTION
	BALL VALVE		CIRCUIT SETTER
	BUTTERFLY VALVE		GAUGE ADAPTOR
	SOLENOID VALVE		PRESSURE GAUGE
	AUTOMATIC CONTROL VALVE		THERMOMETER
	THREE-WAY AUTOMATIC CONTROL VALVE		CHECK VALVE
	PRESSURE REDUCING VALVE		CAP

(*) NOT ALL SYMBOLS & ABBREVIATIONS MAY BE USED IN SCOPE OF PROJECT

GENERAL PIPING NOTES:

- VERIFY EXACT SIZE AND LOCATION OF EXISTING UTILITIES BEFORE START OF CONSTRUCTION.
- ALL PIPING IS SHOWN IN SCHEMATIC FORM. ROUTE PIPING AS REQUIRED FOR CLEARANCE WITH STRUCTURAL CONDITIONS. COORDINATE WITH ALL OTHER TRADES AS REQUIRED. PIPING SHALL BE INSTALLED WITH ADEQUATE SLOPE AS REQUIRED FOR EACH PARTICULAR SYSTEM.
- 3/4" CONDENSATE FROM COOLING COILS SHALL BE ROUTED TO NEAREST FLOOR DRAIN.
- SEAL ALL PENETRATION OF RATED WALLS, CEILINGS, FLOORS IN ACCORDANCE WITH APPROPRIATE U.L. PENETRATION.
- PENETRATIONS OF NON-RATED WALLS, PARTITIONS AND FLOOR OF COMBUSTIBLE CONSTRUCTION SHALL BE FIRE-STOPPED WITH MATERIALS EQUIVALENT TO TWO INCHES OF WOOD. FIRE STOPPING SHALL COMPLY WITH ASTM E-814.
- MECHANICAL CONTRACTOR SHALL VERIFY LOCATION OF ALL PENETRATIONS FOR PLUMBING AND MECHANICAL PIPING WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- SUPPORT ALL PIPING IN ACCORDANCE WITH 2015 INTERNATIONAL MECHANICAL CODE, IMC 2015. ANY SUSPENDED MATERIALS SHALL BE DIRECTLY SUPPORTED BY THE BUILDING STRUCTURE.
- REFRIGERANT PIPING FOR COOLING COIL SHALL BE INSULATED PER IECC 2012 STANDARDS REFRIGERANT SHALL BE R-410A.
- CONNECTIONS TO, AND SHUTDOWNS OF, EXISTING SYSTEMS SHALL BE COORDINATED WITH OWNER TO ALLOW MINIMUM INTERFERENCE WITH OWNERS OPERATION AND DOWNTIME OF EXISTING SERVICES. CONTRACTOR SHALL SUBMIT TO OWNER FOR REVIEW AND APPROVAL OF THE PROPOSED PHASING PLAN FOR CONNECTING NEW SERVICES TO EXISTING SERVICES.
- REFER TO DUCTWORK PLANS FOR EXACT LOCATION OF REHEAT COILS, AIR HANDLING UNIT, HUMIDIFIERS, ETC.
- WALL THERMOSTATS SHALL BE 4'-0" ABOVE FLOOR UNLESS NOTED OTHERWISE.
- FOR EXACT PIPING CONNECTIONS TO EQUIPMENT, INCLUDING VALVES, TRAPS, AND APPURTENANCE, SEE PIPING DETAIL DRAWINGS.
- PATCH FLOORS, WALLS, CEILINGS, ETC. TO MATCH EXISTING CONDITIONS WHERE CUTTING IS REQUIRED.
- CONTROL CONTRACTOR SHALL PROVIDE CONTROL AND POWER FOR ALL COMBINATION FIRE/SMOKE AND SMOKE DAMPERS PROVIDED UNDER DIVISION 23. SEE DUCTWORK DRAWINGS FOR LOCATIONS.
- EXTENTS OF DEMOLITION OF EXISTING MATERIALS SHOWN AS **//////**
- SYMBOL DENOTES WHERE NEW MATERIALS/EQUIPMENT CONNECTS TO EXISTING SYSTEM(S).

PLUMBING SYMBOLS & ABBREVIATIONS

	WATER HAMMER ARRESTOR		FLOOR DRAIN
	MANUAL AIR VENT		FLOOR SINK
	AUTOMATIC AIR VENT		WALL MOUNT CLEANOUT (WMCO)
	VACUUM BREAKER		FLOOR MOUNT CLEANOUT (FMCO)
	WATER METER		BI-DIRECTIONAL CLEANOUT
	GAS METER		HOSE BIBB (HB)
	BACKFLOW PREVENTER		WALL HYDRANT
	GAS COCK		PIPE TURN (90° UP)
	CIRCUIT SETTER		PIPE TURN (90° DOWN)
	BALANCING VALVE		FLOW SWITCH
	DOMESTIC COLD WATER		NATURAL GAS
	DOMESTIC HOT WATER		CONDENSATE DRAIN
	DOMESTIC HOT WATER RECIRC		SANITARY VENT
	SANITARY WASTE		STORM
	COMPRESSED AIR		VACUUM
	OXYGEN		INVERT ELEVATION

(*) NOT ALL SYMBOLS & ABBREVIATIONS MAY BE USED IN SCOPE OF PROJECT

GENERAL PLUMBING NOTES:

- VERIFY EXACT SIZE AND LOCATION OF EXISTING UTILITIES BEFORE START OF CONSTRUCTION.
- ALL PIPING IS SHOWN IN SCHEMATIC FORM. ROUTE PIPING AS REQUIRED FOR CLEARANCE WITH STRUCTURAL CONDITIONS. COORDINATE WITH ALL OTHER TRADES AS REQUIRED. PIPING SHALL BE INSTALLED WITH ADEQUATE SLOPE AS REQUIRED FOR EACH PARTICULAR SYSTEM.
- ALL SANITARY WASTE AND VENT PIPING SHALL BE INSTALLED WITH 1/4 INCH PER FOOT SLOPE, UNLESS OTHERWISE NOTED.
- PROVIDE CLEANOUT AT UPPER TERMINAL OF HORIZONTAL DRAINAGE PIPING, AT THE BASE OF ALL WASTE STACKS, AT EACH SANITARY SEWER RUN MORE THAN 100 FEET IN TOTAL DEVELOPED LENGTH, AND FOR EACH AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135 DEGREES. CLEANOUTS SHALL BE INSTALLED IN READILY ACCESSIBLE LOCATIONS.
- SEAL ALL PENETRATION OF FIRE-RATED WALLS, CEILINGS, FLOORS IN ACCORDANCE WITH APPROPRIATE U.L. PENETRATION.
- PENETRATIONS OF NON-RATED WALLS, PARTITIONS AND FLOOR OF COMBUSTIBLE CONSTRUCTION SHALL BE FIRE-STOPPED WITH MATERIALS EQUIVALENT TO TWO INCHES OF WOOD. FIRE STOPPING SHALL COMPLY WITH ASTM E-814.
- PENETRATIONS OF ALL EXTERIOR WALLS, FLOORS AND CEILINGS SHALL BE SEALED IN AN AIR TIGHT MANNER AND IN ACCORDANCE WITH REQUIREMENTS BY IOWA STATE CODE.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL PENETRATIONS FOR PLUMBING PIPING WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- SUPPORT ALL PIPING IN ACCORDANCE WITH 2015 UNIFORM PLUMBING CODE, UPC 2015. ANY SUSPENDED MATERIALS SHALL BE DIRECTLY SUPPORTED BY THE BUILDING STRUCTURE.
- CONNECTIONS TO, AND SHUTDOWNS OF, EXISTING SYSTEMS SHALL BE COORDINATED WITH OWNER TO ALLOW MINIMUM INTERFERENCE WITH OWNERS OPERATION AND DOWNTIME OF EXISTING SERVICES. CONTRACTOR SHALL SUBMIT TO OWNER FOR REVIEW AND APPROVAL OF THE PROPOSED PHASING PLAN FOR CONNECTING NEW SERVICES TO EXISTING SERVICES.
- PROVIDE SHUT-OFF VALVES ON THE FIXTURE SUPPLY PIPING TO EACH PLUMBING FIXTURE, APPLIANCE OR EQUIPMENT. VALVES NOT DIRECTLY AT FIXTURE SHALL BE LABELED INDICATING PLUMBING FIXTURE SERVED.
- PROVIDE ACCESS DOORS FOR ALL VALVES AND DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING ASSEMBLIES.
- PROVIDE VACUUM BREAKERS FOR ALL FIXTURES TO WHICH HOSES MAY BE ATTACHED. VACUUM BREAKERS SHALL BE PERMANENTLY ATTACHED.
- PROVIDE WATER HAMMER ARRESTORS ON ALL WATER DISTRIBUTION PIPING SERVING EQUIPMENT OR FIXTURES WITH QUICK CLOSING VALVES, SUCH AS FLUSH VALVES, AND WASHING MACHINES.
- ALL PLUMBING PIPING INSTALLATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS AND PARTITIONS.
- PROVIDE MANUAL SHUT-OFF VALVE FOR NATURAL GAS PIPING, IN AN ACCESSIBLE LOCATION.
- PROVIDE DIRT LEG IN NATURAL GAS PIPING CONNECTION TO EQUIPMENT. REFER TO DETAIL.
- FOR EXACT PIPING CONNECTIONS TO EQUIPMENT, INCLUDING VALVES, TRAPS, AND APPURTENANCE, SEE PIPING DETAIL DRAWINGS.
- PATCH FLOORS, WALLS, CEILINGS, ETC. TO MATCH EXISTING CONDITIONS WHERE CUTTING IS REQUIRED.
- EXTENTS OF DEMOLITION OF EXISTING MATERIALS SHOWN AS **//////**
- SYMBOL DENOTES WHERE NEW MATERIALS/EQUIPMENT CONNECTS TO EXISTING SYSTEM(S).



ENGINEER:	DATE:
DRAWING LOG	DESCRIPTION OF CHANGES
REV:	

ISSUED FOR:
WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND

NOT FOR CONSTRUCTION

CURRENT REV:
DATE ISSUED:
CLIENT NAME:
WBCS

PROJECT NAME:
WEST BRANCH COMMUNITY SCHOOLS CONCESSION STAND

SHEET NAME:
M & P GENERAL NOTES

SHEET NUMBER:
MP000

PROJECT NO.:

PROJECT MANAGER:
BOELK

18-0093



City of West Branch
110 N. Poplar Street
West Branch, IA 52358

SITE PLAN REVIEW CHECKLIST

Project Name WBCS CONCESSION STAND

Engineer AXIOM CONSULTANTS

Reviewer DRS

Reviewed Date 2018-10-5

1. SITE PLAN

A. Site plans shall only be required whenever any person proposes to place any structure for which a building permit is required under any other section of this Code, on any tract or parcel of and within any district of the West Branch Zoning Ordinance, and for any use, except one and two family dwellings.

2. DESIGN STANDARDS

- A. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines nor increase the danger of erosion, flooding, landslide, or other endangerment of adjoining or surrounding property
- B. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illumination of required perimeter yards, refuse containers, and impairment of light and air.
- C. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets
- D. The proposed development shall conform to all applicable provisions of the Code of Iowa, as amended, Iowa Statewide Urban Design and Specifications (SUDAS), Iowa Stormwater Management Manual and all applicable provisions of the Code of Ordinances of the City of West Branch, as amended

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SITE PLAN:

- 1. Prepared by a licensed Engineer or Land Surveyor [X] YES [] NO
2. Date of preparation, North point and scale no smaller than 1"=100'. Comments: [X] YES [] NO
3. Legal description and address of the property to be developed. Comments: Interior to HS Site [] YES [] NO
4. Name and address of the record property owner, the applicant, and the person or firm preparing the site plan. Comments: [X] YES [] NO
5. The existing topography with a maximum of two (2) foot contour intervals. Where existing ground is on a slope of less than two percent (2%), either one (1) foot contours or spot elevations where necessary but not more than fifty (50) feet apart in both directions, shall be indicated on site plan. Comments: [X] YES [] NO
6. Existing and proposed utility lines and easements in accordance with Iowa Statewide Urban Design and Specifications (SUDAS) and City of West Branch Subdivision Regulations. Comments: [X] YES [] NO
7. Structure Information:
a. Total number and type of dwelling units proposed [X] YES [] NO
b. Proposed uses for all buildings [X] YES [] NO
c. Total floor area of each building [X] YES [] NO
d. Estimated number of employees for each proposed use where applicable [] YES [] NO N/A
e. Any other information, including peak demand, which may be necessary to determine the number of off-street parking spaces and loading spaces. [] YES [] NO N/A
8. Location, shape, and all exterior elevation views of all proposed buildings, for the purpose of understanding the structures and building materials to be used, the location of windows, doors, overhangs, projection height, etc. and the grade relationship to floor elevation, and the number of stories of each existing building to be retained and of each proposed building. [X] YES [] NO
9. Property lines and all required yard setbacks. [] YES [] NO N/A
10. Location, grade and dimensions of all existing and proposed paved surfaces and all abutting streets. [X] YES [] NO

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- 11. Complete traffic circulation and parking plan... [] YES [] NO N/A
12. Location and type of existing or proposed signs... [x] YES [] NO
13. Location of existing trees six (6) inches or larger... [] YES [] NO N/A
14. Location, amount and type of any proposed landscaping... [] YES [] NO
15. A vicinity map at a scale of 1" = 500' or larger... [x] YES [] NO
16. Soil tests and similar information... [] YES [] NO N/A
17. Where possible ownership or boundary problems exist... [] YES [] NO N/A
18. Stormwater Pollution Prevention Plan. Under 1 Acre - [] YES [] NO
19. Stormwater Management Plan. [] YES [] NO
20. Pre-Application Conference. [x] YES [] NO
21. Provide 25% of open space
a. Said open space shall be unencumbered... [] YES [] NO N/A
b. Each principal structure of an apartment or office complex... [] YES [] NO N/A
22. Landscaping Requirements
a. Minimum requirements at the time of planting... [] YES [] NO
b. Minimum requirements at the time of planting... [] YES [] NO

addressed in overall school site concept

Landscaping is addressed in overall master plan

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23. Buffer Required

- a. Any other zoning district, other than an Agricultural A-1 District, that abuts any residential district shall require a buffer as described in this section. The buffer shall be provided by the non-residential use when adjoining a residential district. YES NO N/A
- b. All Industrial Districts that abut any other district shall provide a buffer as required by this section. YES NO N/A
- c. Any storage area, garbage storage, junk storage or loading docks, and loading areas, in any District shall be screened from public street view by a buffer YES NO N/A

24. Buffers

- a. Buffer Wall: A buffer wall shall not be less than six (6) feet in height; constructed of a permanent low maintenance material such as concrete block, cinder block, brick, concrete, precast concrete or tile block; the permanent low-maintenance wall shall be designed by an architect or engineer for both structural adequacy and aesthetic quality. YES NO N/A
- b. Landscape Buffer: A landscape buffer shall not be less than twenty-five (25) feet in width, designed and landscaped with earth berm and predominant plantings of evergreen type trees, shrubs and plants so as to assure year around effectiveness. YES NO N/A

25. Surfacing Requirements.

- a. All off-street parking and loading areas and access roadways shall have a durable and dustless surface paved with asphaltic or Portland cement concrete pavement or pervious pavement. Off-street parking of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other mobile vehicles shall be on an asphaltic or Portland cement concrete paved off-street parking area and not parked or stored within the landscaped open space area of the front yard. All off-street parking areas and associated driveways, access roadways and frontage roads, except driveways for single family residences, shall be constructed with permanent, integrally attached 6" high curbing or curbing of alternate height. YES NO N/A
- b. Portland Cement Concrete shall have a minimum thickness of five (5) inches. YES NO N/A
- c. Asphaltic Cement Concrete shall have a minimum thickness of six (6) inches. YES NO N/A
- d. Material utilized in the subgrade shall be well drained and not susceptible to frost boils. Driveways for attached townhouse style residences shall be Portland cement concrete or asphaltic concrete with minimum thickness of five (5) inches and six (6) inches, with well-drained subgrade base and not greater than eighteen (18) feet in width. YES NO N/A

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26. Landscaping, Screening and Open Space Requirements.

- a. All parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their use. YES NO N/A
- b. Parking areas shall be effectively screened from general public view and contain shade trees within parking islands where multiple aisles of parking exist. Not less than five (5) percent of the interior parking area shall be landscaped within parking islands. YES NO N/A

27. Off-Street Parking Access to Public Streets and Internal Traffic Circulation.

- a. forward movement of the vehicle. YES NO N/A
- b. Driveway approach returns shall not extend beyond the side lot line as extended. YES NO N/A
- c. The number of ingress/egress access points to public streets from offstreet parking areas located to limit vehicular conflicts, preserve proper traffic safety. YES NO N/A

28. Handicap Accessible Parking Requirements - comply with the parking space minimum requirements.

YES NO N/A

29. Traffic Analysis Requirements. Any project which contains 100 dwelling units or 1,000 average day trips.

YES NO N/A

30. Architectural Standards - architectural plans for buildings shall be submitted for review and approval.

YES NO



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October 5, 2018

Redmond Jones II
City Administrator
City of West Branch
110 North Poplar St.
West Branch, IA 52358

WEST BRANCH, IOWA
WEST BRANCH COMMUNITY SCHOOLS
CONCESSION STAND
SITE PLAN

We have reviewed the site plan for the Concession Stand for the West Branch Community School High School. The site plan does meet with the requirements of the West Branch City Code, however, there are a few items of concern that should be addressed.

1. The concession stand building will be connected to the water line serving the Ace Building. If the water going to the concession stand is not metered elsewhere, a separate meter will need to be installed. The plumbing plans show a recirculating pump and expansion chamber. To protect the water system, a backflow prevention device will need to be installed.
2. Perimeter erosion control should be established before construction begins on the project.
3. A variance on the landscaping should be requested to allow the landscaping to be addressed with the overall master plan schedule of improvements.

Should you have any questions or comments, please contact us at 319-466-1000.

VEENSTRA & KIMM, INC.

A blue ink signature of Dave Schechinger, written in a cursive style.

Dave Schechinger

WEST BRANCH COMPREHENSIVE PLAN

Chapter 13: INTERGOVERNMENTAL COOPERATION



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Introduction

Intergovernmental cooperation provides opportunities for increased communication and cost-saving measures across multiple jurisdictions within a region. Cities are part of broader regions and cooperation provides opportunities for cost sharing and the sharing of approaches to common problems or issues.

The City of West Branch should periodically review existing and potential intergovernmental agreements to provide more efficient cost-effective public services. This topic was included in the recently approved Cedar County Comprehensive plan to encourage further improvement in collaboration and cooperation throughout the County.

Chapter 13 outlines opportunities for coordination among local groups, organizations, county, state and federal governments. A number of local entities with intergovernmental interests are listed below:

- Cedar and Johnson Counties
- Cedar County Economic Development Commission
- East Central Intergovernmental Association
- East Central Iowa Council of Governments
- Iowa City Area Development
- Lower Cedar Water Management Authority
- Main Street Iowa
- National Park Services
- River Bend Transit
- West Branch Community School District

Image 13.1. Cedar County Comprehensive Plan 2038



Source: Cedar County Comprehensive Plan, May 2018.

Purpose

It is important for City leaders to periodically review existing intergovernmental agreements and proactively pursue opportunities to create new agreements. The need for intergovernmental collaboration opportunities is great as local funding is stretched further and state and federal funding becomes more and more competitive.¹

The public demand for some services may not be that strong or citizens may not be willing or able to pay. Cooperative or joint agreements with other public agencies could be a way to cost-effectively provide these services. What is termed in Iowa as a 28E agreement is a way to broaden a service area and share the costs.²

A section of the new Cedar County Comprehensive Plan describes the legality and process of establishing intergovernmental agreements between communities. This plan was accepted by Cedar County Planning and Zoning Commission in August, 2018. That commission indicated the intergovernmental cooperation chapter should be a high priority for implementation. The County Plan has been forwarded to the Board of Supervisors for adoption.

28E Agreements

The essence of this state legislation was to permit any governmental agency to undertake any activity jointly with any other agency so long as each agency has the power to undertake that particular activity on its own. As an example, because cities,

townships, counties, and schools can establish libraries, it is possible for a library to be a joint undertaking by a combination of these types of local governments.³

Formal Municipal agreements are known as “28E Agreements” under chapter 28E of the Iowa Code. The stated purpose is to permit:

“State and local governments in Iowa to make efficient use of their powers by enabling them to provide joint services and facilities with other agencies and to cooperate in other ways of mutual advantage. This chapter shall be liberally construed to that end.”⁴

28E Examples

Joint and cooperative arrangements have proved to be an efficient and popular way of providing services at a reasonable cost.⁵ A 28E agreement with other cities, a county, a school board, or some agency could make many projects possible.⁶

General examples of 28E intergovernmental cooperation include: Councils of Governments, Economic Development, City Utilities, Fire Protection/Prevention, Emergency Medical Response, Landfill Agencies, Community Development, Public Works Equipment, Public Transit Agreements, Library Services and Housing Authorities.⁷

¹ (The University of Iowa: Institute of Public Affairs 2015)

² (The University of Iowa: Institute of Public Affairs 2015)

³ (The University of Iowa: Institute of Public Affairs 2015)

⁴ (State Code of Iowa 1965)

⁵ (The University of Iowa: Institute of Public Affairs 2015)

⁶ (The University of Iowa: Institute of Public Affairs 2015)

⁷ (The University of Iowa: Institute of Public Affairs 2015)

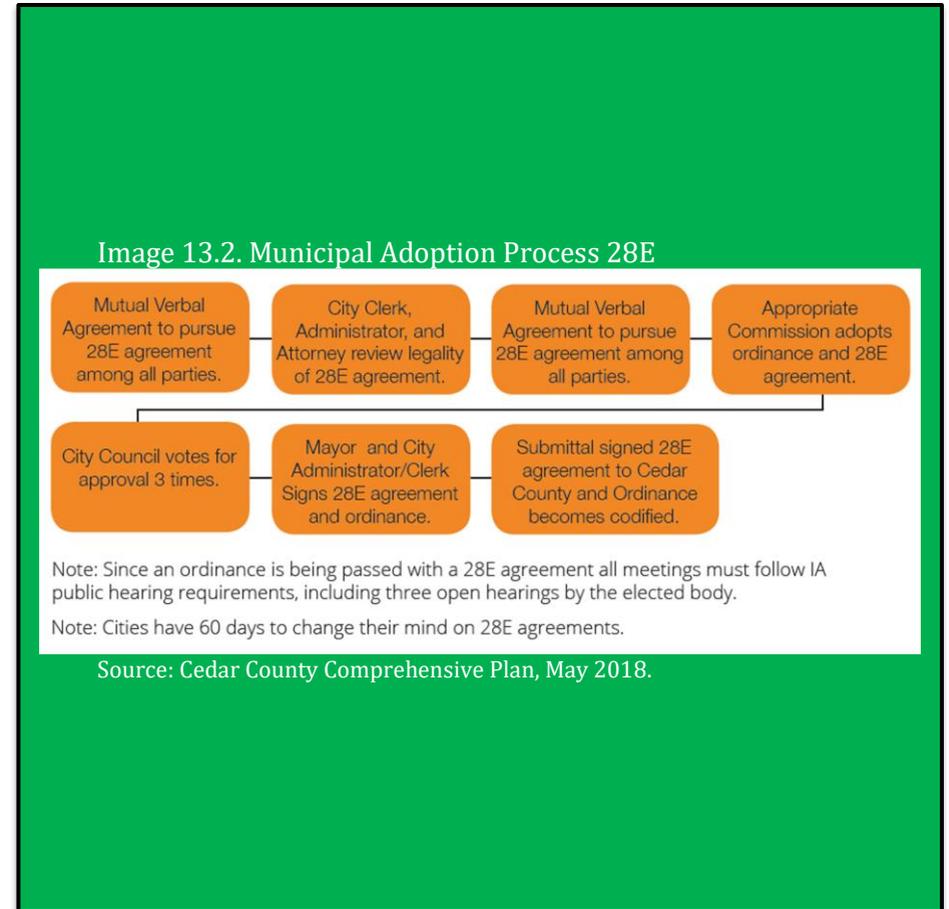
28E Agreements in West Branch

It is typical for 28E Agreements to cover a wide range of jurisdictions and issues such as sewer, road systems, economic development, emergency response agreements, and health services. The most common agreements are between townships and municipalities where municipalities help provide fire and police services to nearby townships.

Most 28E utilization in West Branch has been for fire protection services with nearby communities. Other common agreements are with the West Branch Community School District and concern matters such as street maintenance. For example, the City and School District entered into a joint agreement to maintain the pedestrian bridge and trail south of Main St., between 827 W. Main St. and West Branch High School.⁸

In 2017, West Branch joined 7 counties, 24 municipalities and 7 soil and water conservation districts in the Lower Cedar Watershed Management Authority. The purpose is to provide avenues for members to cooperate with one another to successfully plan for and implement improvements within the watershed, such as flood risks and water quality.⁹

The municipal adoption process is described in Image 13.2.



⁸ (Iowa Secretary of State 2017a)

⁹ (Iowa Secretary of State 2017b)

Regional Organizations

The Cedar County Comprehensive Plan identifies several regional organizations active in West Branch that present opportunities for cooperative arrangements.

Cedar County Economic Development Commission

CCEDCO is a Cedar County Board aimed to improve economic development throughout the County. The Board is made up of County Supervisors and City Council members of the communities it represents. The Cedar County Plan identifies that greater communication between the County, its communities, and the public can give businesses greater access to economic development tools (i.e. small business start-up resources, low-interest revolving loans, financial assistance).¹⁰

East Central Intergovernmental Organization

ECIA is a membership-sponsored organization of local governments in Cedar, Clinton, Delaware, Dubuque, and Jackson Counties. West Branch is one of 66 member communities.¹¹ Through ECIA membership, local governments share resources they could not afford individually. The services and programs provided by ECIA include: community development, economic development, housing assistance, employment and training, transportation, and planning.¹² The Eastern Iowa Regional Housing Authority (EIRHA) is a division of ECIA which works to provide decent, safe and affordable housing for in the region. The Cedar County Plan suggests sharing resources and coordinating discussions of common concerns may improve the quality and consistency of solutions to local and regional problems.

¹⁰ (The University of Iowa: Iowa Initiative for Sustainable Communities et al. 2018)

¹¹ (East Central Intergovernmental Association 2018)

¹² (East Central Intergovernmental Association 2018)

Image 13.3 and 13.4 – Logos



Source: www.cedarcountiava.org. Accessed 9/10/18.



Source: www.ecia.org. Accessed 9/10/18

East Central Iowa Council of Governments

East Central Iowa Council of Governments is a regional planning affiliation which provides transportation planning and administrative services for Cedar, Benton, Iowa, Johnson, Jones, Linn and Washington Counties. ECICOG provides local governments a variety of technical assistance on land use planning, zoning, and local government financing. Their website identifies historic preservation, recreation planning, downtown revitalization, and urban renewal special taxation districts as areas where they can provide information.¹³ They also assist local governments in securing and administering state and federal funds for local infrastructure improvement and community facility projects.

River Bend Transit

River Bend Transit provides full ADA door-to-door service to the public in Cedar, Clinton, Muscatine, and Scott Counties. The Cedar County Plan encourages increased cooperation among different providers and agencies. Transportation is covered more in-depth in Chapter 9 of this plan.

Federal Entities

West Branch is home to the Herbert Hoover Presidential Library and Museum and the Herbert Hoover Historical Site. These two entities are managed by the National Archives and Records Agency and the National Park Services, respectively. Together, they are an integral part of the West Branch community. Further opportunities to collaborate on projects should be proactively pursued. One such example is the implementation of an electric vehicle charger. As detailed in Chapter 7 of this plan, this could provide a public service while also promoting economic development.

Image 13.5, 13.6, 13.7 – Logos



Source: www.ecicog.org. Accessed 9/10/18.



Source: www.riverbendtransit.org. Accessed 9/10/18.



Source: www.nps.gov. Accessed 9/10/18.



Source: <https://www.archives.gov/>. Accessed 9/24/18.

¹³ (East Central Iowa Council of Governments 2018)

Practical Implementation

Joint and cooperative arrangements have proved to be an efficient and popular way of providing services at a reasonable cost.¹⁴ A 28E agreement with other cities, a county, the West Branch School District, or some agency could make more projects possible.¹⁵

Land Use

It is important for the City to be proactive in its communication with Cedar County and Johnson County regarding land use. As the Cedar County Plan identifies, future conflicts may arise between cities, counties, and unincorporated rural areas. It is important the two entities remain in communication about annexation plans when rural development occurs. Iowa Code 28E gives cities with an adopted subdivision ordinance the option to review subdivision plats that are within a two-mile radius of their boundary. The Cedar County Plan encourages smaller communities to adopt zoning policies to create compatibility between smaller towns and Cedar County.

Fringe agreements between cities and counties provide road maps for future planning and development. They are a useful tool that identify future annexation areas and prioritize where development should occur. The Cedar County Plan recommends entering into these agreements to avoid future conflicts, and the last section of this chapter describes such agreements more fully.

Development Codes

Another application of 28E agreements includes addressing development codes. The County plan suggests 28E agreement could be utilized to secure a county-wide building inspector. This would effectively reduce costs for this position because the cost would be shared across several municipalities. Further, this would provide an opportunity to improve the efficiency and consistency of development ordinances.

Coordinated Tourism

As identified in Chapter 7 *Economic Development*, tourism in West Branch is an economic driver. The Cedar County Plan discovered residents want improved collaboration between cities in order to minimize event conflicts. The County Plan suggests it would be beneficial for an organization representing Cedar County to develop a community events strategy that increases public and tourism participation.

Purchasing

One area that should be explored is the development of joint purchasing. Communities could go to bid together on items, which will save money with bulk pricing and with the development of bid specifications. Items that may be eligible for joint purchasing could be, but are not limited to, office supplies or maintenance supplies such as salt or sand.

¹⁴ (The University of Iowa: Institute of Public Affairs 2015)

¹⁵ (The University of Iowa: Institute of Public Affairs 2015)

Fringe Area Agreement with Johnson County

One of the land-use goals for West Branch's 2013 Comprehensive Plan was to increase cooperation with Cedar and Johnson Counties as regards planning and development.¹⁶ Currently, any new development two miles outside West Branch's city limits, and within Johnson County, falls under Johnson County's planning authority. (West Branch has extraterritorial authority within a two-mile limit.) In order to pursue future land use goals of West Branch, a fringe area agreement with Johnson County should be instituted as a useful tool in the event of growth over our 20-year horizon.

Johnson County has established fringe area agreements with many towns within that county. The goal of such agreements is to designate an undeveloped area surrounding the town or city as a potential growth area in which future development would need to be reviewed by both the city and the county. The purpose is to ensure that future development falls within future land use plans of both the city and the county. Typical language of these agreements follows:

*"The Fringe Area Policy Agreement is intended to provide for orderly and efficient development patterns appropriate to a non-urbanized area, protect and preserve the fringe area's natural resources and environmentally sensitive features, direct development to areas with physical characteristics which can accommodate development, and effectively and economically provide services for future growth and development."*¹⁷

According to Chapter 5, Section 3, of the 2018 Comprehensive Plan of Johnson County, the County plans to work with individual cities to create or update Fringe Area Agreements in order to coordinate land use planning with and between local governments to achieve mutually beneficial development policies.¹⁸ Such agreements are expected to promote and protect sustainable agriculture land use and direct future commercial and industrial development in Johnson County

¹⁶ (City of West Branch 2013)

¹⁷ (Johnson County Board of Supervisors 2006)

¹⁸ (Johnson County, Iowa 2018)

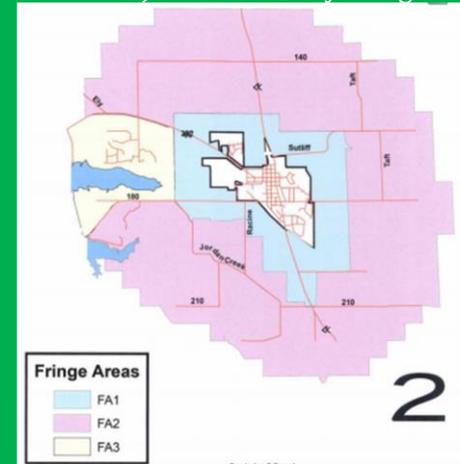
What Would a Fringe Area Agreement Look Like?

The City of Solon, Iowa, a city that has many of the same land-use characteristics and a scale similar to West Branch, has a Fringe Area Agreement with Johnson County. The FA1, FA2, and FA3 areas illustrated in Figure 13.1 are potential annexation areas identified by the City.¹⁹ Future development standards have been identified within the Fringe Area Agreement as ones that are conducive to both Solon and Johnson County land-use goals and objectives.

A second example is the City of Tiffin and Johnson County Fringe Area Agreement. Illustrated in Figure 13.2, Tiffin has established areas (in green) that would best support growth and future annexation. Recommended land uses for these areas are residential subdivision, industrial, and commercial. In addition, the green areas are identified within the agreement as ones that support expansion of City infrastructure (sanitary sewer and water).²⁰ Any future developments proposed in the green areas, under the agreement, are at the discretion of the City, while development in the blue should be submitted for approval to the County and are unlikely to be annexed.

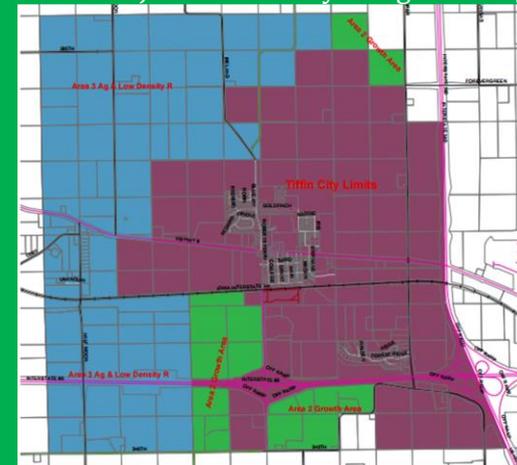
Beyond coordinating planning efforts, one of the goals of Johnson County's Fringe Area Agreements is to "discourage the creation of unincorporated islands."²¹ Establishing a Fringe Area Agreement with Johnson County would ensure long-term development west of West Branch fits with future land-use plans of the City and would identify where development would be welcomed. Similarly, a fringe-area agreement should be investigated with Cedar County.

Figure 13.1 Solon and Johnson County Fringe Area Agreement



Source: <http://www.johnson-county.com/WorkArea/DownloadAsset.aspx?id=4905>. Accessed 9.24.18.

Figure 13.2 Tiffin and Johnson County Fringe Area Agreement



Source: <http://www.johnson-county.com/WorkArea/DownloadAsset.aspx?id=4915>. Accessed 9/24/18.

¹⁹ (Johnson County Board of Supervisors 2008)

²⁰ (Johnson County, Iowa 1997)

²¹ (Johnson County, Iowa 2018)

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