

# *City of West Branch*

~ A Heritage for Success ~

---

110 N. Poplar St. • P.O. Box 218 • West Branch, Iowa 52358  
Ph. 319-643-5888 • Fax 319-643-2305 • [www.westbranchiowa.org](http://www.westbranchiowa.org) • [wbcity@lcom.net](mailto:wbcity@lcom.net)

**ZONING BOARD OF ADJUSTMENT MEETING**  
**Thursday, November 7, 2013 • 6:30 p.m.**  
**West Branch City Council Chambers, 110 N. Poplar St.**  
*Council Quorum May Be Present*

1. Call to Order
2. Roll Call
3. Update from City Attorney on October 21, 2013 and November 4, 2013 Council Meetings
4. Introduction of new member (if applicable)
5. Election of new Chairperson./Move to action.
6. Election of Secretary./Move to action.
7. Approve variance of City Code Section 165.11.4 to allow for a retaining wall to be located in the side yard at 200 Ridge View Drive./Move to action.
8. Adjourn

---

**Board of Adjustment Members:** Wilburn Bass, Craig Cochran, Wayne Frauenholtz, Craig Walker, vacancy  
**Mayor:** Mark Worrell • **Council Members:** Jordan Ellyson, Colton Miller, Jim Oaks, Mary Beth Stevenson, Dick Stoolman  
**City Administrator/Clerk:** Matt Muckler • **Fire Chief:** Kevin Stoolman • **Library Director:** Nick Shimmin  
**Parks & Rec Director:** Melissa Russell • **Police Chief:** Mike Horihan • **Public Works Director:** Matt Goodale

# City of West Branch

~A Heritage for Success~

## APPLICATION FOR VARIANCE TO BOARD OF ADJUSTMENT

Date Oct 4, 2013  
Name Gary + Janlyn Slack  
Address 200 Ridge View Drive

THE PROPERTY OWNER OR APPLICANT IS TO FILL OUT THE FOLLOWING FORM, EXPLAINING FULLY ALL REASONS FOR SAID REQUEST. PLEASE READ THE EXPLANATORY INFORMATION PRIOR TO FILLING OUT THE LINE ITEM.

CITY CODE OF WEST BRANCH, IOWA. CHAPTER 165. ZONING REGULATIONS.

165.22 POWERS OF THE BOARD. The Board of Adjustment shall have the following powers:

1. Administrative Review. To hear and decide appeals where it is alleged by the appellants that there is error in any order, requirement, permit, decision, determination or refusal made by the zoning officer or other administrative official in the carrying out or enforcement of any provision of this chapter, and for interpretation of the Zoning Map.
2. Vote Required. The concurring vote of three (3) members of the Board shall be necessary to reverse or modify any order or decision of an administrative official.
3. Special Exceptions. To hear and decide applications for special exceptions as specified in this chapter and for decisions on any special questions upon which the Board of Adjustment is specifically authorized to pass.
4. Variance. To hear and decide applications for variance from the terms of this chapter because of unnecessary hardship. Before any variance is granted, all of the following conditions must be shown to be present.
  - A. Conditions and circumstances are peculiar to the land, structure or building and do not apply to neighboring lands, structures or buildings in the same district.

(EXPLAIN HOW THIS APPLIES TO YOU) The area in question is on  
the East side, rear of our house. A retaining wall was  
needed to allow entry into the garden room.

B. Strict application of the provisions of this chapter would deprive the applicant of reasonable use of the land, structure or building equivalent to the use made of neighboring lands, structures or buildings in the same district and permitted under the terms of this chapter.

(EXPLAIN HOW THIS APPLIES TO YOU) Without the retaining wall, water drainage could not be controlled. The wall allows us to direct water away from the garden room.

C. The peculiar conditions and circumstances are not the result of actions of the applicant taken subsequent to the adoption of this chapter.

(EXPLAIN HOW THIS APPLIES TO YOU) We held the wall back from the property line to allow access to our back yard without encroaching onto our neighbors' property.

5. Financial disadvantage to the property owner shall not constitute conclusive proof of unnecessary hardship within the purposes of zoning.

6. The Board does not possess the power to permit a use not generally or by special exception, permitted in the district involved.

7. In granting a variance, the Board may attach thereto any conditions and safeguards it deems necessary or desirable in furthering the purposes of this chapter. Violation of any of these conditions or safeguards shall be deemed violation of this chapter.

---

---

---

---

---

---

---

---

<u>SIGNATURE OF BOARD MEMBERS</u>	<u>DATE</u>	<u>APPROVED</u>	<u>DENIED</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

(Name) \_\_\_\_\_ VARIANCE REQUEST  
 \_\_\_\_ approved / \_\_\_\_ denied on the \_\_\_\_\_ day of \_\_\_\_\_,  
 \_\_\_\_\_. Building Permit No. \_\_\_\_\_.



12-12

110 North Poplar  
West Branch, IA 52358  
319-643-5888  
319-643-2305 FAX

# CITY OF WEST BRANCH APPLICATION FOR BUILDING PERMIT

1. Location 200 DYLAN COURT R1  
Street Address Zoning Classification  
15 MEADOWS SUBDIVISION  
Lot Number Block Addition

2. Property Owner GARY + JANLYN SLACH 319-643-3255  
Name Telephone  
401 GILBERT DRIVE, WEST BRANCH  
Address

3. Contractor SELF  
Name & Address Telephone

4. Architect TAYLOR DESIGN; JON STROTHER, MT. VERNON 319-366-5971  
Name & Address Telephone

5. Reason for permit ☒ New Building ☐ Fence ☐ Conversion of Use  
☐ Bldg. Addition ☐ Bldg. Relocation ☐ Old  
☐ New Outbdg. ☐ Sign ☐ New

6. Building Use SINGLE FAMILY DWELLING

7. Residence # of families or housekeeping units the building will accommodate 1

8. Construction Type POURED WALLS, WOOD FRAME, MASONRY Cost 200,000  
Excluding Land

9. Dimensions Floor Sq. Ft. 1680 Height from Final Grade 18' Lot Sq. Ft. 15,510  
Depth of Yard: Front 30 Sides 12 Rear 36  
Off Street Parking Spaces 3  
Sign Dimensions and Square Feet N/A

10. Indicate who will do the following tasks: Self Licensed Installer  
Electric Wiring Installation                      (KOBEL ELECTRIC) ?  
Plumbing Installation                      BRUCE'S PLUMBING **NEED LICENSED ELECTRICIAN**  
Gas Installation                      " "  
Water Installation                      " "  
Sanitary Sewer Installation                      " "

11. Other Permits: Check here for other permits you or the contractor will be requesting

<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>

Excavation & Curb Cut  
Electric Wiring  
Electric Wiring Approval & Insp.

<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>

Plumbing Permit & Insp.  
Water Permit & Insp.  
Sign Permit

Gary Slach ☒ Approved [Signature]  
Signature of Applicant Denied Zoning Administrator  
Permit Fee 2508.75 (make check payable to City of West Branch) Date 5/31/12

not pd yet 5/31/12

pd ch# 2809 6/14/12

# CITY OF WEST BRANCH

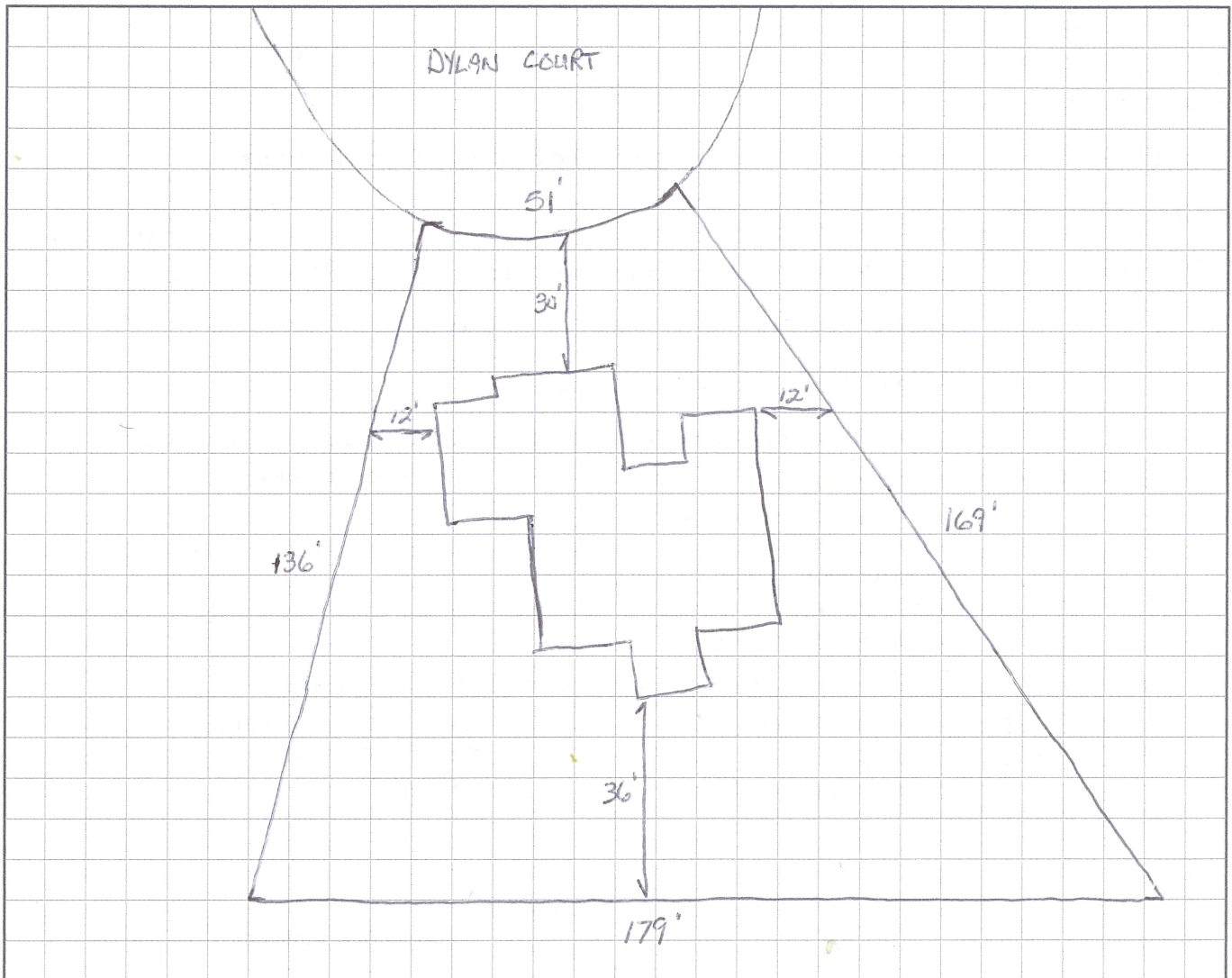
## APPLICATION FOR BUILDING PERMIT

APPLICANT GARY SLACH + JANLYN SLACH

ADDRESS 401 GILBERT DRIVE, WEST BRANCH

Please submit below, a sketch plan in support of your building permit application, showing the actual shape and dimensions of the lot on which construction will take place

1. Show street(s), with street name(s), if any, on proper side(s).
2. Show property lines and dimensions of the lot.
3. Show location of main structure (if any) from lot lines.
4. Show location of accessory structure(s) (if any) from the main structure and lot lines.
5. Show location of utility or access easements.
6. Show detail of fence (if any). (Format: x — x — x — x)



HAVE GARY READ THIS!!

BDC - Building Plan Review  
and Inspection Services  
800 Holiday Road  
Coralville, Iowa 52241  
319-338-3950/CELL: 319-325-2912

Plan analysis based on  
the 2009 International Residential Code

Project Number: WB-0524-12

Date: May 24, 2012

Project Name: Lot # 15 Meadows Subdivision

Address: 200 Dylan Court

Contractor: Gary Slach

Occupancy: R-3

Designer: None

Construction: V-B

Engineer:

Report By: Nolan R. Bogaard

NOTE: The code items listed in this report are not intended to be a complete listing of all possible code requirements in the 2009 IRC. It is a guide to selected sections of the code.

Report created using Plan Analyst software by IHS Global 1-800-854-7179

# SHEET IDENTIFICATION CORRECTION REQUIRED

- | # | SHEET | IDENTIFICATION | CORRECTION REQUIRED   |
|---|-------|----------------|---|
| 1 |       | Radon          | All houses shall be provided with a 3" or 4" vent pipe installed under the basement slab for the removal of radon that can accumulate under the slabs and foundation of homes. The vent pipe shall be extended up through the building floors, shall terminate at least 12" above the roof and at least 10' from any window or other opening. (Appendix F) IRC.   |
| 2 |       | Certificate    | A permanently certificate shall be posted on or in the electrical distribution panel showing R and U-values of the various building components and the efficiency rating of the appliances installed in the house. SEC. N1101.9.  |
| 3 |       | Attic Ins.     | The thickness of insulation shall be written on markers that are installed at least one for every 300 S.F. throughout the attic space. The markers shall be affixed to the trusses or joists and marked with 1" numbers showing the minimum initial installed thickness of the insulation. Each marker shall face the attic access opening. SEC. N1101.4.1. PLEASE CALL FOR INSPECTION RIGHT AFTER INSULATION IS. |

Code review for:  
Project Id.: Lot # 15 Meadows Subdivision  
Address: 200 Dylan Court

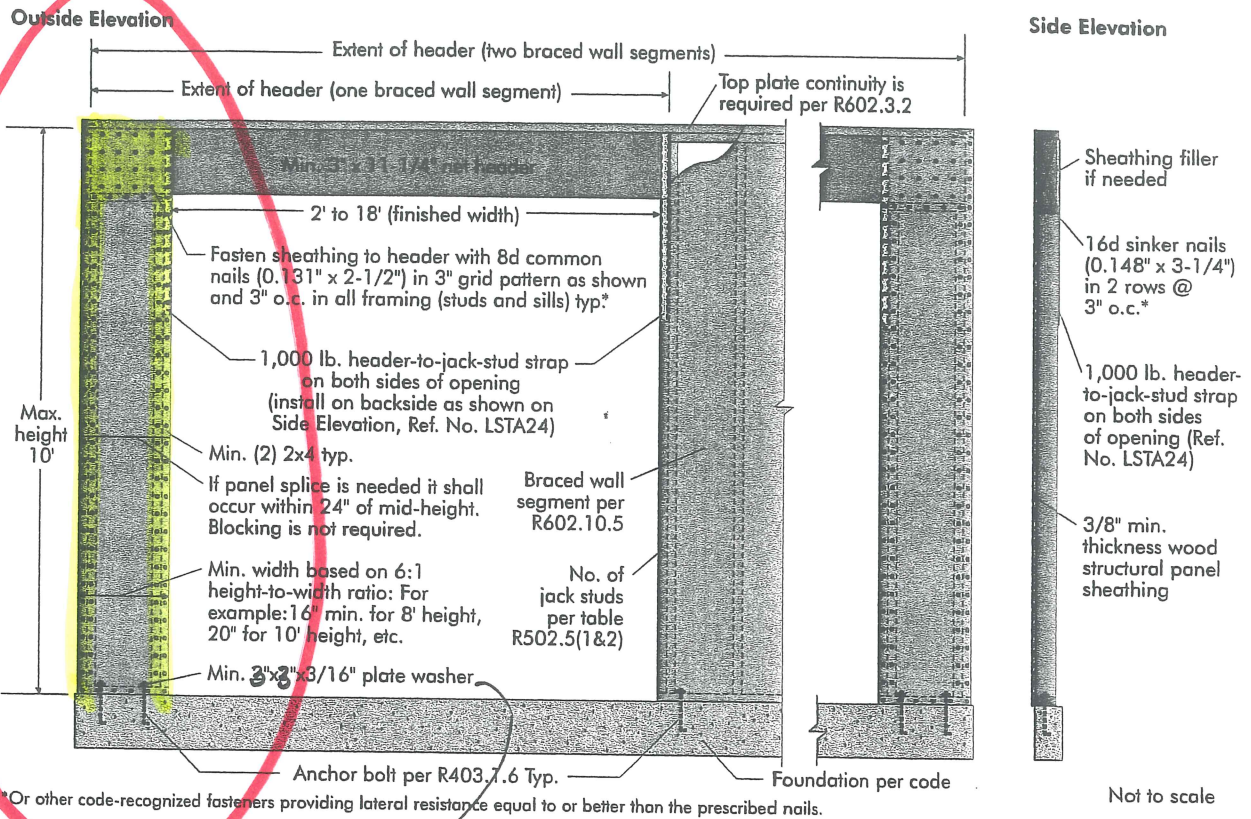
- 4           Furnace Rm. Where a portion of the basement is finished into one or more habitable rooms, each separate unfinished portion shall have a receptacle outlet installed IN ADDITION to a receptacle outlet required for the servicing of the heating & A/C equipment. Service outlets shall be located within 25' of the equipment to be serviced. All these outlets shall have GFCI protection. SEC. E3901.9.
- 5           Garden Rm   An interior openings from the Garden Room which open into other spaces in the basement shall be equipped with solid doors not less than 1 3/8" in thickness, or 20-minute fire-rated doors. SEC. R309.1.
- 6           R. Trusses   Roof trusses having a roof span of equal or greater than 24' 0" shall be connected to exterior wall plates by the use of approved connectors having a resistance to uplift of not less than 175 lbs., and shall be installed in accordance with the manufacturer's specifications. i.e. (HURRICANE TIES WILL BE REQUIRED). SEC. R802.10.5.
- 7           Garage       For braced wall panel less than 36" and not less than 16" in width at the garage corners and at other corner locations adjacent to openings , the wall panels shall be connected in accordance with the APA NARROW WALL BRACING METHOD as specified in the ATTACHED DIAGRAM. SEC. R602.10.6.



# CONSTRUCTION DETAILS FOR THE APA NARROW WALL BRACING METHOD

FIGURE 1

## NARROW WALL OVER CONCRETE OR MASONRY BLOCK FOUNDATION

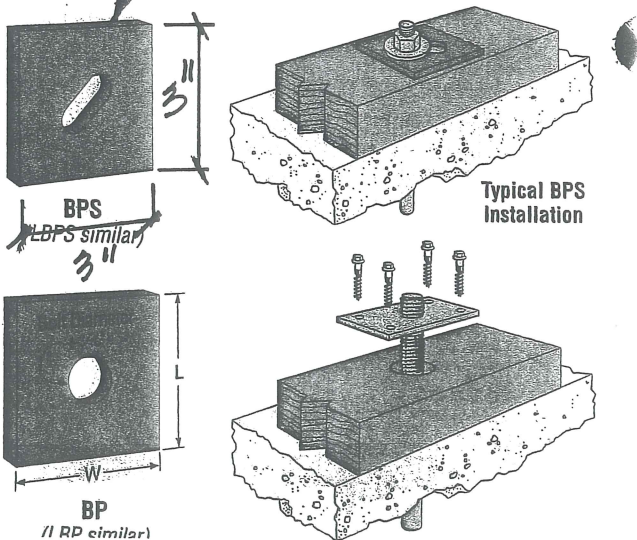
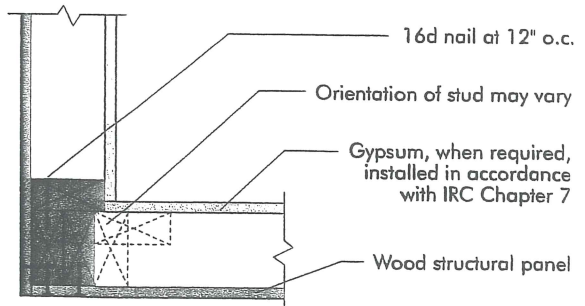


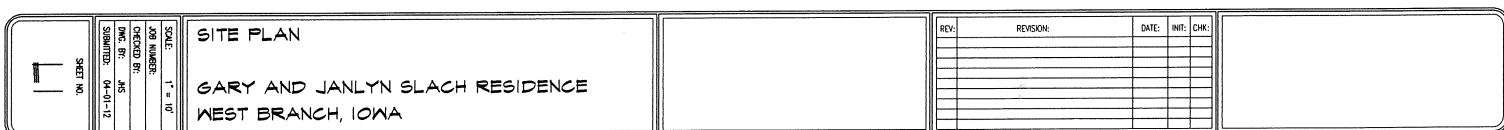
Note: This narrow wall bracing segment meets the minimum requirements for wall bracing (racking loads in the plane of the wall). The building designer should determine what specific details are necessary to provide a complete load path for using this bracing in the structure.

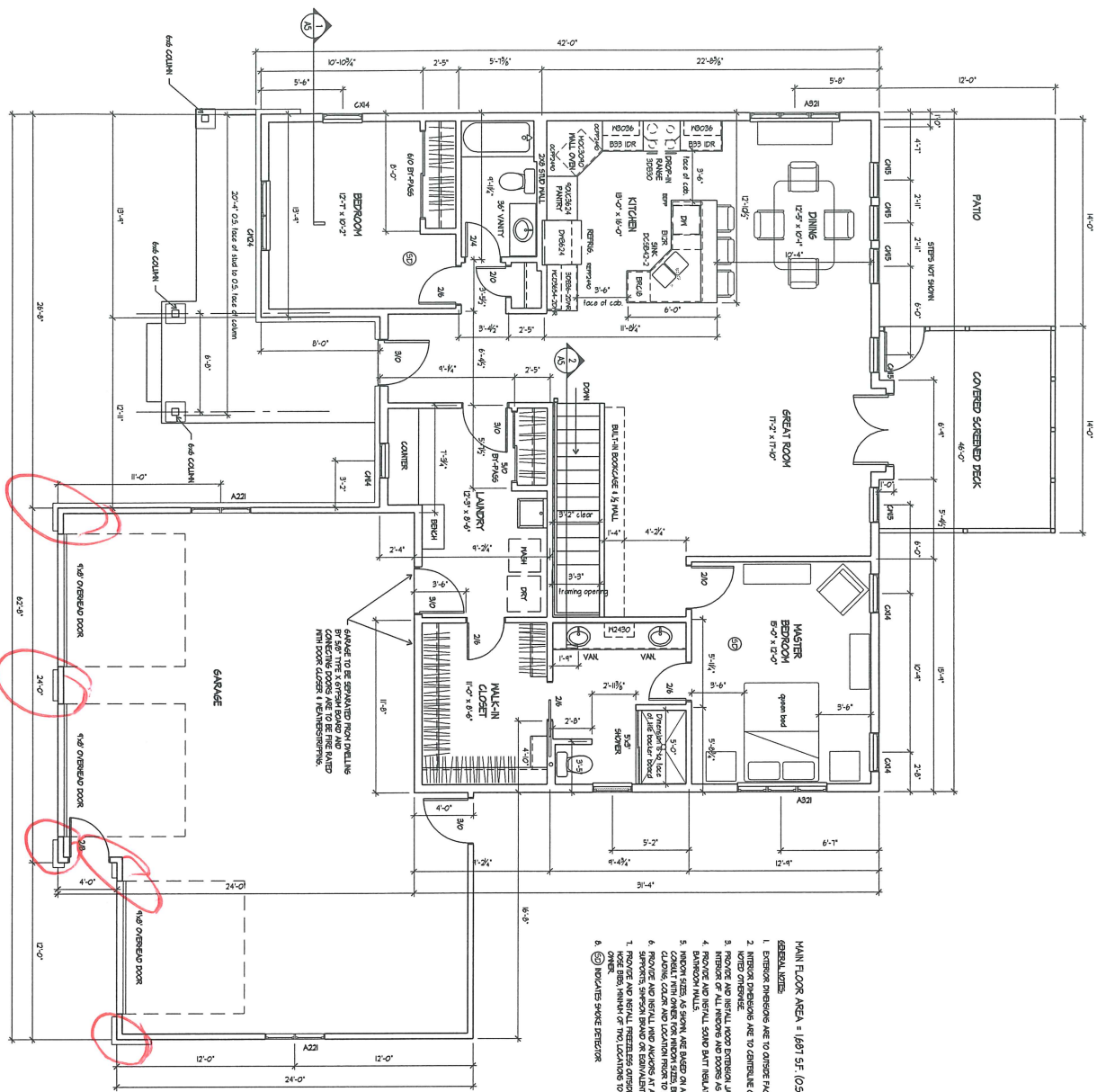
FIGURE 2

## EXAMPLE OF REQUIRED OUTSIDE CORNER DETAIL (IRC R602.10.5)

At corners, connect the two walls together as outlined in this detail to provide overturning restraint.





[illegible][illegible]

GARY AND JANLYN SLACH RESIDENCE  
WEST BRANCH, IOWA

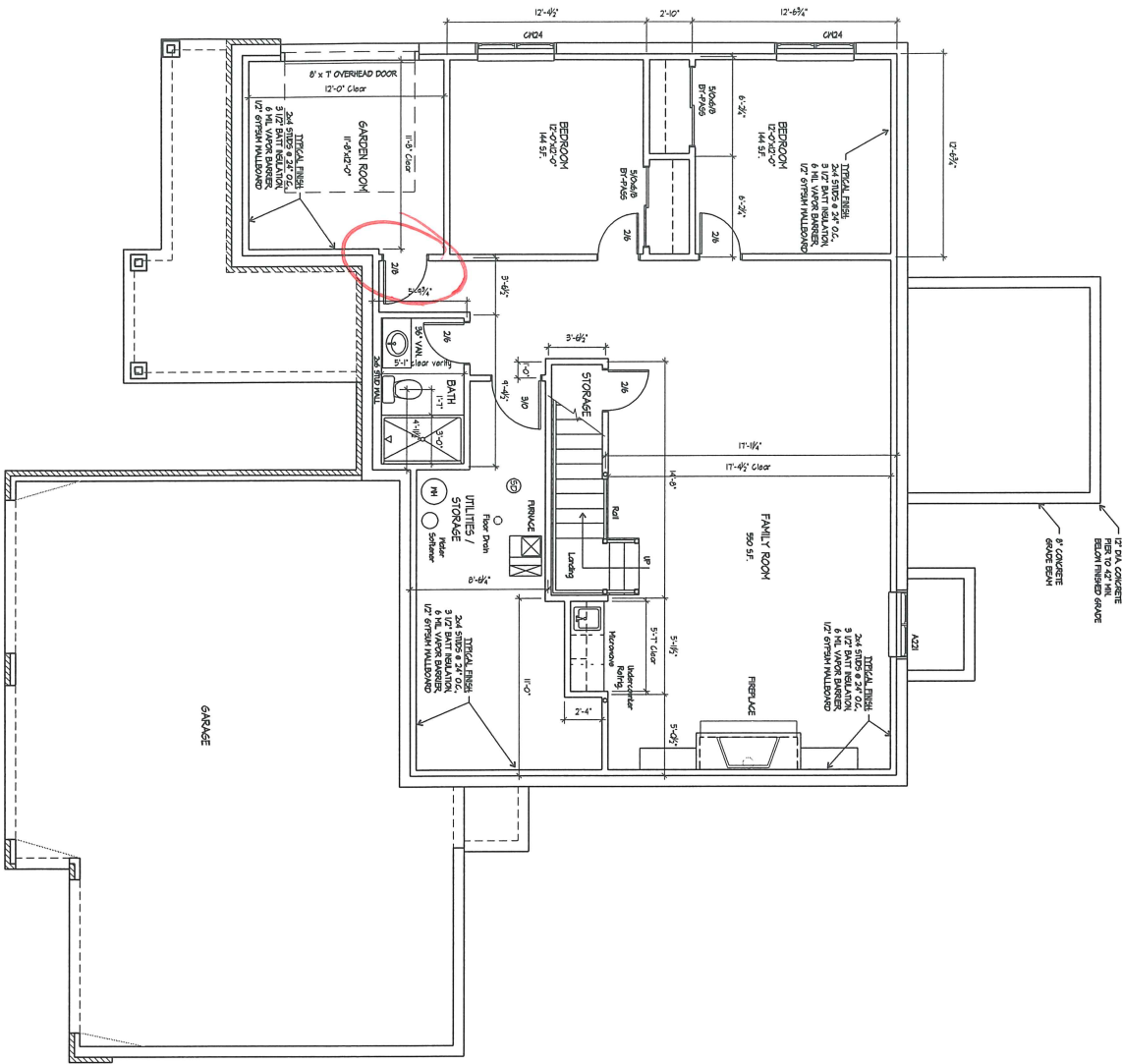
SCALE: 1/4" = 1'-0"

CHECKED BY:

DWG. BY:	JHS
SUBMITTED:	04-01-12

SHEET NO.





1  
A2

BASEMENT PLAN

1/4" = 1'-0"

# BASEMENT PLAN

GARY AND JANLYN SLACH RESIDENCE  
WEST BRANCH, IOWA

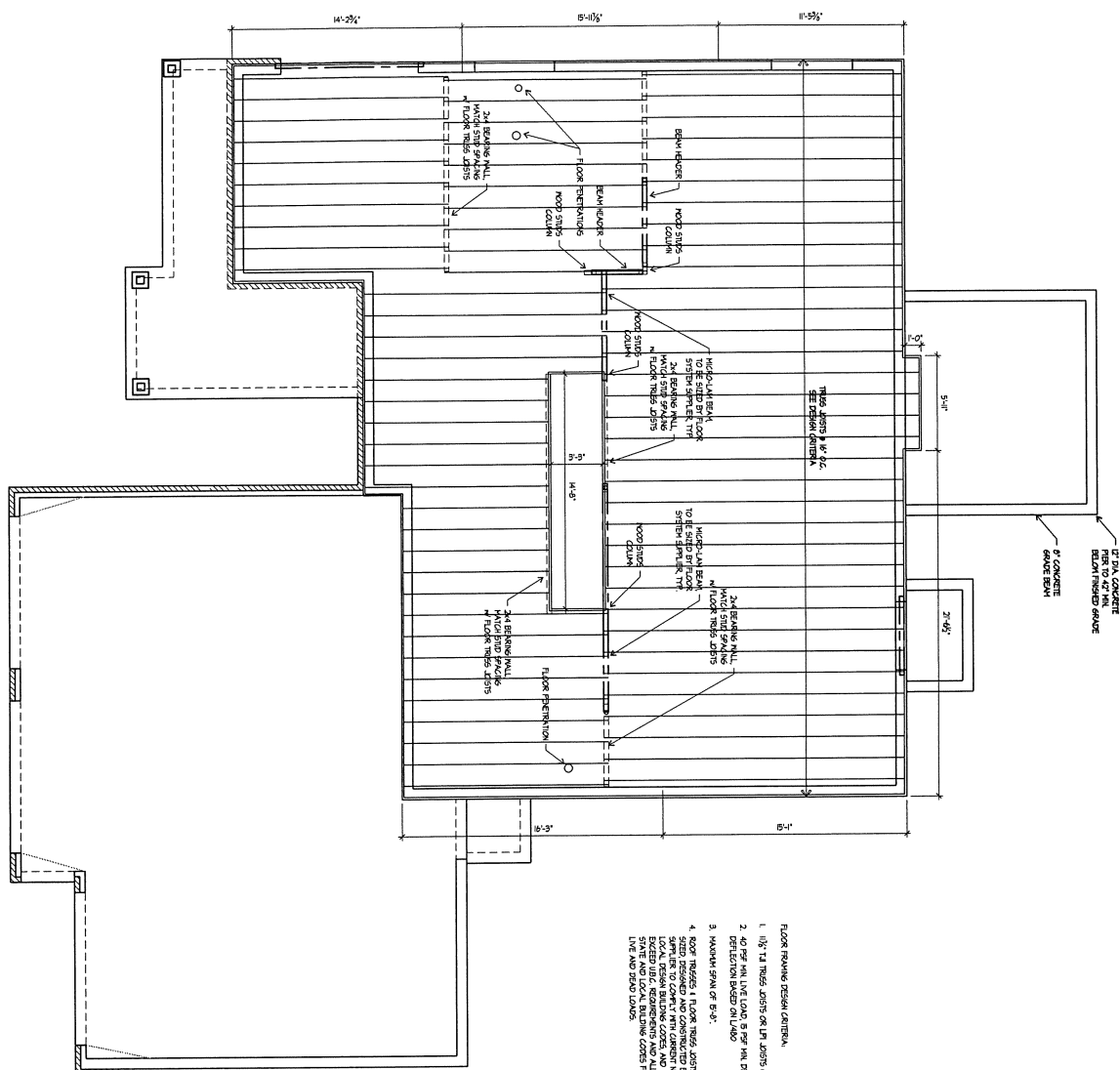
REV.	REVISION	DATE	INT.	CHK.

A2

SHEET NO.

SCALE: 1/4" = 1'-0"  
DESIGNED BY: JAS  
DATE: 04-21-12  
SUBMITTED: 04-21-12



[illegible]

FLOOR FRAMING PLAN

GARY AND JANLYN SLACH RESIDENCE  
WEST BRANCH, IOWA

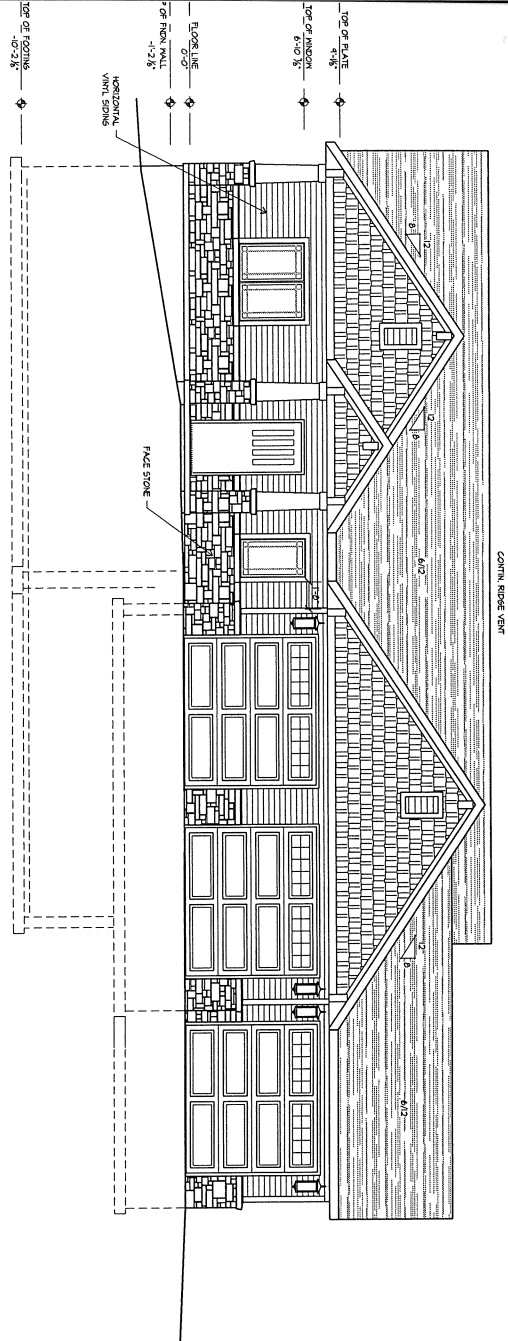
SCALE: 1/4" = 1'-0"

CHECKED BY:

SUBMITTED: 04-01-12

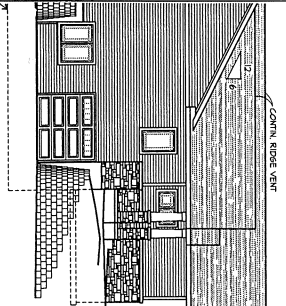
SHEET NO.

420



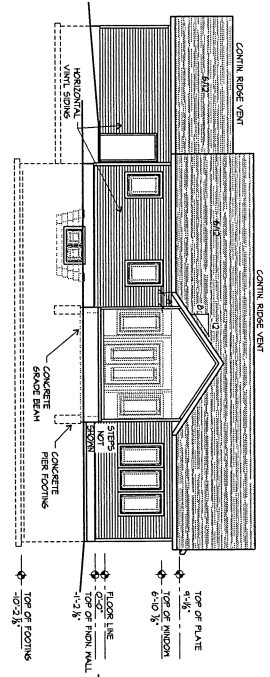
1 FRONT ELEVATION  
A4

1/8" = 1'-0"



3 REAR ELEVATION  
A4

1/8" = 1'-0"



4 RIGHT END ELEVATION  
A4

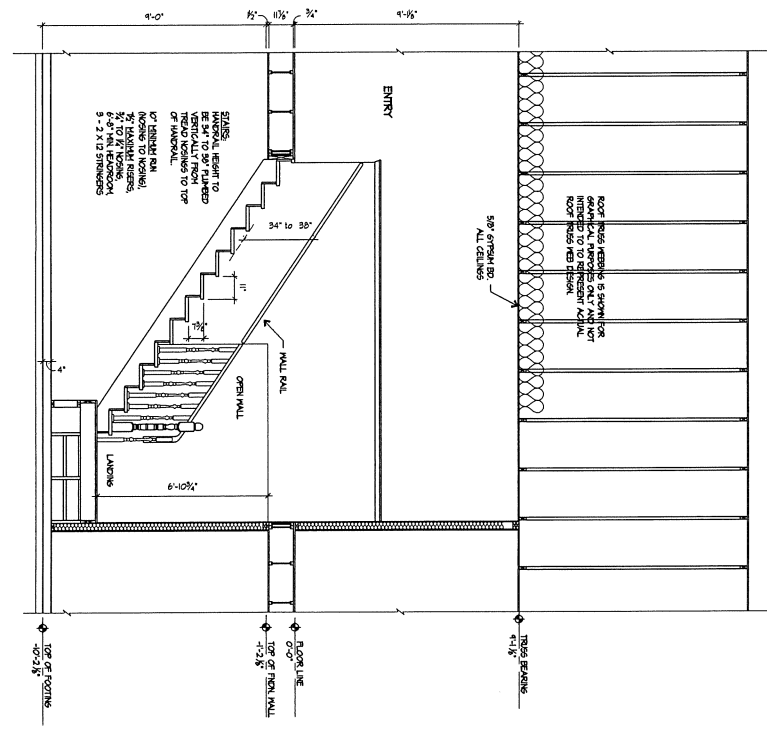
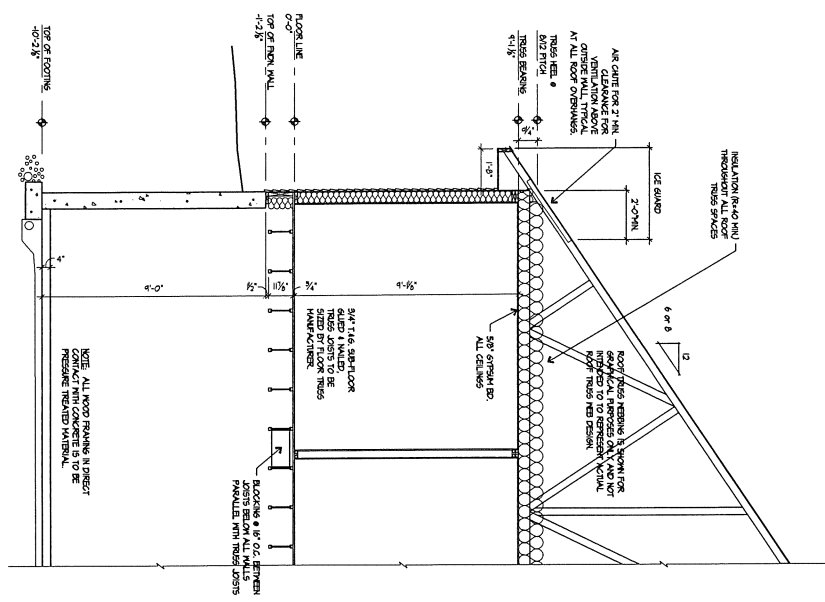
1/8" = 1'-0"

EXTERIOR ELEVATIONS  
GARY AND JANLYN SLACH RESIDENCE  
WEST BRANCH, IOWA

REV.	REVISION	DATE	INT.	CHK.

A4

SHEET NO.  
SCALE: 1/8" = 1'-0"  
DWG. BY: JAS  
CHECKED BY: JAS  
SUBMITTED: 04-1-12



3/8" = 1'-0"

3/8" = 1'-0"

2 BUILDING SECTION  
A5

<div style="writing-mode: vertical-rl; transform: rotate(180deg);"> <b>A5</b> </div>	<b>BUILDING SECTIONS</b>		<b>GARY AND JANLYN SLACH RESIDENCE</b>		<b>WEST BRANCH, IOWA</b>	
	SCALE: 3/8" = 1'-0"	JOB NUMBER:	DATE:	INT:	CHK:	
	DRAWN BY:					
	SHEET NO.:					

# Certificate of Occupancy

*And*  
*Zoning Compliance*  
*West Branch, Iowa*

**200 Ridge View Drive**

This Certificate issued pursuant to the requirements of Section 110 of the *International Residential Code* certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City regulating building construction or use for the following:

Use/Occupancy - R-3  
Type of construction - V-B

Design occupant load - 10  
Sprinkler system required - No

## Single Family Dwelling

Name of Owner — Gary & Janlyn Slach  
Name of Builder - TECH BUILDERS, Inc.  
Building Code Edition - 2009 IRC

Zoning District — R-1  
Subdivision - The Meadows Subdivision  
Lot - #15

Nelson R. Berglund Date: 2-1-13  
Building Official

YdO3